

3330 Piedmont Rd. NE  
Atlanta, GA 30305

November 26, 2025

STARBUCKS PIEDMONT RD & TOWER PLACE DR. – Narrative in support of the administrative variations.

**1. View of the drive-through from Piedmont Road:**

**Resolution:** *Additional building furring has been added to the existing bump to extend the building volume to screen the bump. Taller landscaping is also provided to screen the area. View of the window is further concealed by the retaining wall constructed by GDOT.*

**2. Variation from the maximum setback from the street and having a lane between the building and the street:**

**Resolution:** *As part of GDOT's street widening of Piedmont Road is closer to the building.*

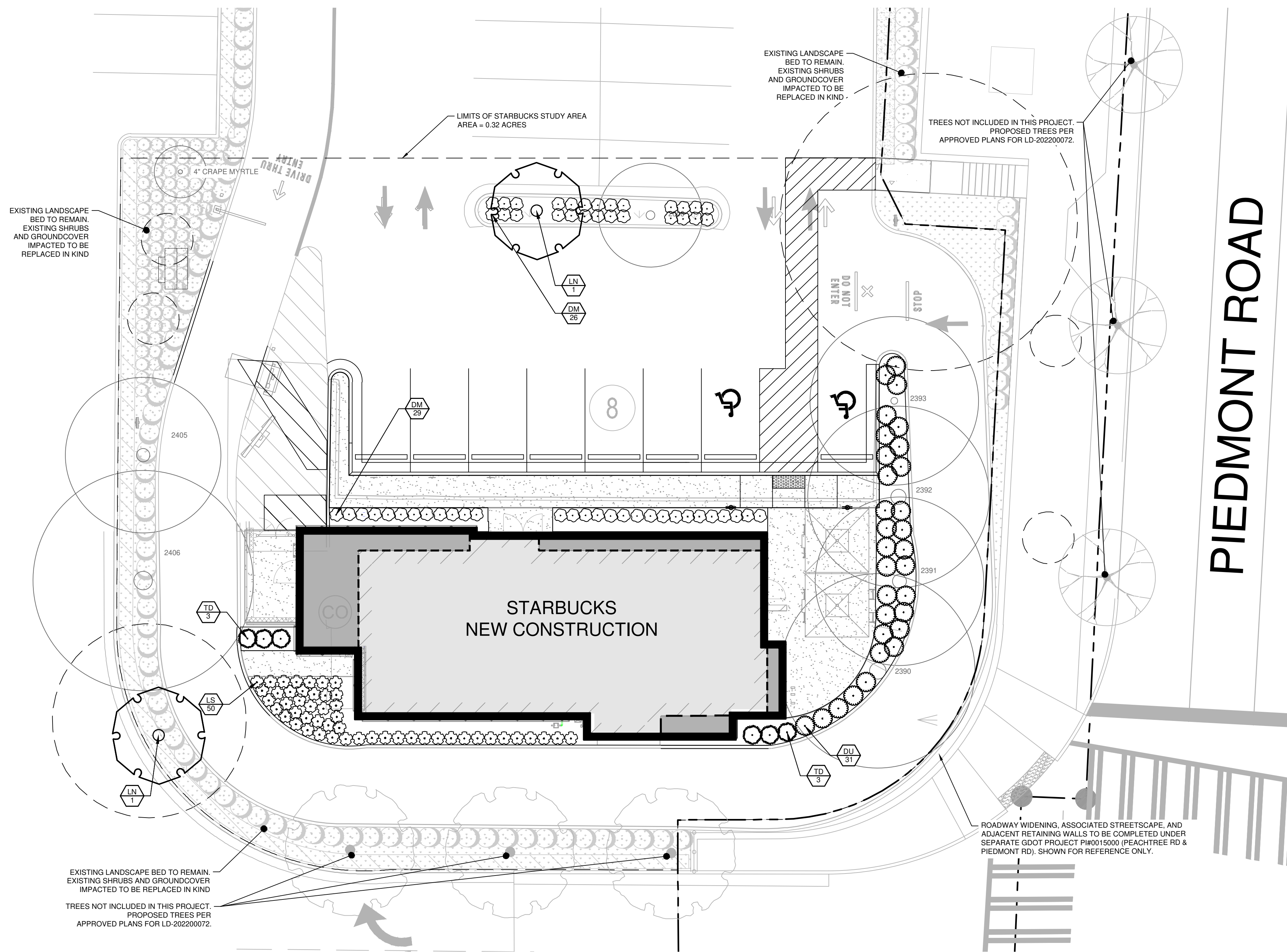
*Also, the retaining wall will block the view of the drive from Piedmont Road.*

**3. Concern regarding the visibility of the HVAC equipment from Piedmont:**

**Resolution:** *Our parcel sits approximately 5 feet below Piedmont Road - the project does not alter the existing grade change. Our building's height is 20 feet. The mechanical equipment has been relocated away from Piedmont Road, towards the rear of the roof, near the other services, and is fully surrounded by a high parapet, which is taller than the original building's parapet.*

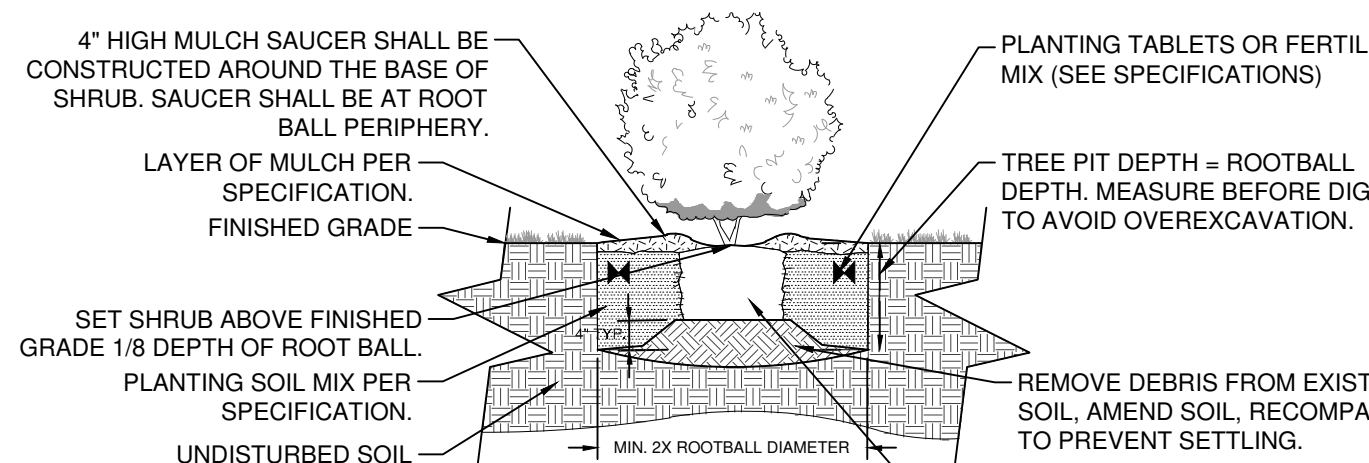
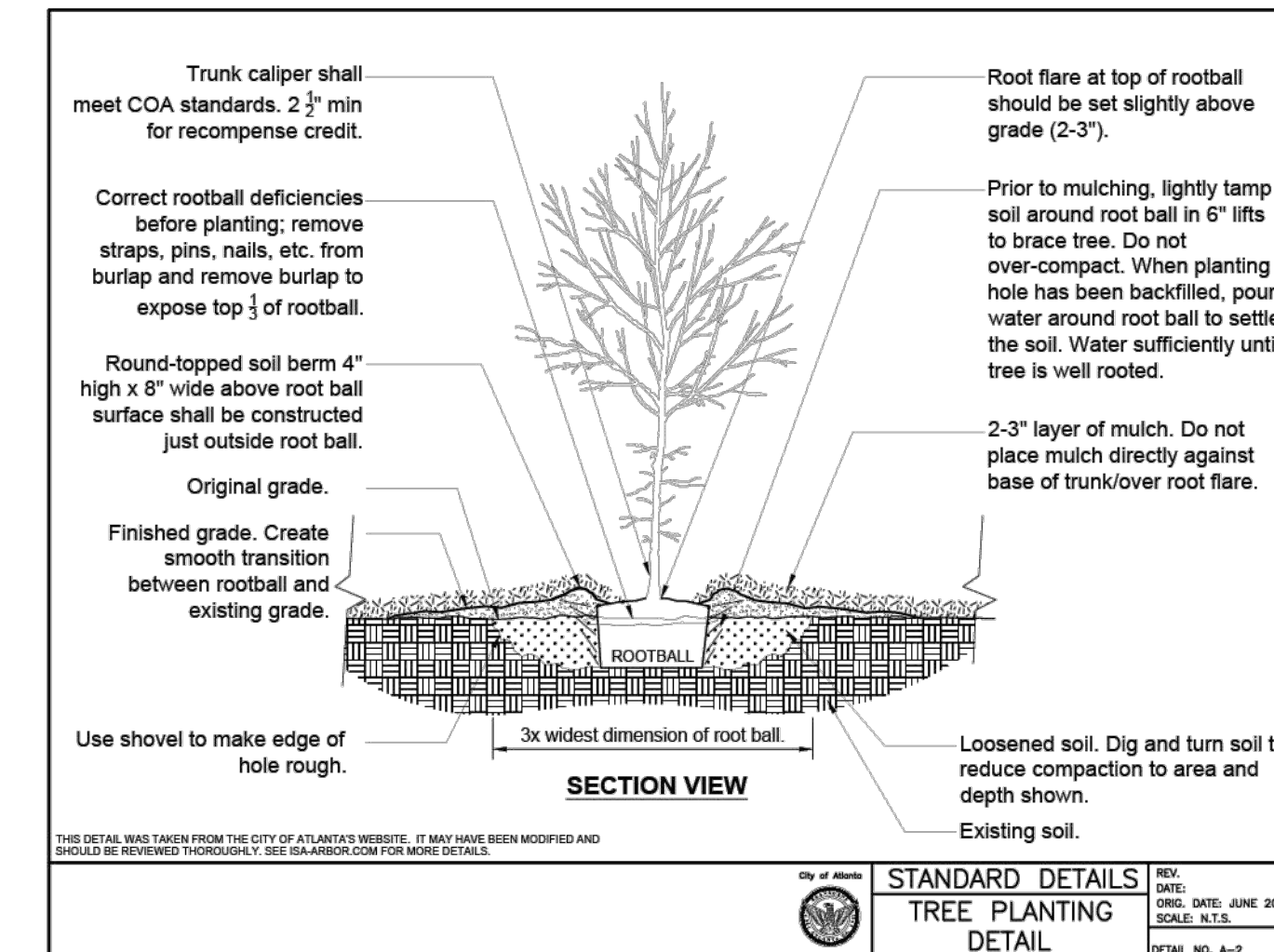


Drawing name: \\kimley-horn.com\ISO\_AMT\AMT\_CIVIL\10121233046\_Discoo\Kroger\CAD\PlanSheets\Starbucks\1.00 - TREE REPLACEMENT PLAN.dwg L1.00 TREE REPLACEMENT PLAN Sep 26, 2025 3:09pm by: Christy Patococco



**LANDSCAPE NOTES**

- REFER TO CIVIL SHEETS FOR GRADING AND DRAINAGE WITHIN LANDSCAPE AND HARDSCAPE AREAS.
- ALL PLANT MATERIAL MUST MEET THE MINIMUM STANDARDS AS PROVIDED IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) TREES MUST BE FREE OF INJURY, PESTS, DISEASE, NUTRITIONAL DISORDERS OR ROOT DEFECTS AND MUST BE IN GOOD VIGOR TO ASSURE A REASONABLE EXPECTATION OF SURVIVAL. STANDARDS FOR TRANSPLANTING SHALL BE IN KEEPING WITH THOSE ESTABLISHED IN THE INTERNATIONAL SOCIETY OF ARBORICULTURE PUBLICATION TREE AND SHRUB PLANTING MANUAL OR A SIMILAR PUBLICATION.
- ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL AND FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- ALL PLANTS ARE SUBJECT TO APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION
- ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED NATURAL HARDWOOD MULCH AT A MINIMUM OF 3 INCHES. THE MULCH SHALL BE FREE FROM MOLD, STICKS, CONES, WEEDS AND OTHER DEBRIS. COMPACTION OF THE MULCH SHALL OCCUR NATURALLY OVER A TWO WEEK PERIOD DURING WHICH AT LEAST ONE SIGNIFICANT RAINFALL HAS OCCURRED. ADDITIONAL MULCH SHALL BE PLACED IN ORDER TO MAINTAIN THE MINIMUM DEPTH UNTIL DATE OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AND 811 TO HAVE THE LOCATIONS OF THEIR UNDERGROUND UTILITIES MARKED PRIOR TO BEGINNING WORK. CAUTION SHALL BE EXERCISED TO AVOID INTERRUPTION OF SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING UNTIL THE WORK IS ACCEPTED BY THE OWNER. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO: WATERING, SPRAYING, FERTILIZING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION FROM THE OWNER) ANY PLANT MATERIAL THAT DIES, TURNS BROWN, OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE SHALL BE REMOVED AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTING MIX: 50% ORGANIC SOIL ADDITIVES AND 50% TOPSOIL.
- THE AREA TO BE PLANTED SHALL BE SPRAYED WITH HERBICIDE ONE WEEK PRIOR TO TILLING AND PLANTING. ALL EXISTING TURF AND VEGETATION SHALL BE STRIPPED AND REMOVED PRIOR TO THE INSTALLATION OF ANY TURF OR PLANT MATERIAL.
- CONTRACTOR TO VERIFY THAT PLANTING LOCATIONS DO NOT CONFLICT WITH EXISTING UTILITIES, STRUCTURES, EASEMENTS OR DRAINAGE PATTERNS.
- CONTRACTOR TO REFER TO THE EROSION CONTROL PLANS FOR ALL TEMPORARY AND PERMANENT SEEDING AREAS.
- THE QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE SOLELY FOR THE INFORMATION OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE QUANTITIES SHOWN IN THE PLANT SCHEDULE WITH THE QUANTITIES SHOWN ON THE PLANTING PLAN. ALL DIFFERENCES IN THE QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. CONTRACTOR IS RESPONSIBLE TO INSTALL THE PLANT MATERIAL QUANTITIES THAT ARE SHOWN IN THE LANDSCAPE PLANS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE (INCLUDING, BUT NOT LIMITED TO WEEDING, WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE LANDSCAPE ARCHITECT AND THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR THE FULL WARRANTY OF ALL THE PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- ALL SLOPES THAT ALL GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL FABRIC PRIOR TO PLANTING. EROSION CONTROL FABRIC SHALL BE OF THE TYPE THAT DECOMPOSES AFTER 18 MONTHS TO 2 YEARS.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT, AT ANY TIME UNTIL THE END OF THE GUARANTEE PERIOD, ANY AND/OR ALL PLANT MATERIAL THAT DOES NOT MEET THE SPECIFICATIONS AS SET FORTH HEREIN AND IN THE PLANT SCHEDULE.



**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CONT.	REMARKS
<b>TREES</b>								
LN		2	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	3-5 CANES, 2" CANE MIN.	12' MIN.	B&B	FULL; WELL-BRANCHED; MULTI-STEM
TD		6	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE ARBORVITAE	--	5' MIN.	B&B	STRAIGHT TRUNK; FULL BRANCHED
<b>SHRUBS</b>								
DU		31	DISTYLIUM X 'PIIDIST-I'	EMERALD HEIGHTS+ DISTYLIUM	7 GAL.	18" HT MIN.		FULL; MATCHED
DM		55	DISTYLIUM X 'PIIDIST-V' TM	CINNAMON GIRL DISTYLIUM	3 GAL.	6" HT MIN.		FULL; MATCHED
LS		50	LIGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE CHINESE PRIVET	3 GAL.	12" HT MIN.		FULL; MATCHED

**PLANT WATERING NOTES:**

All trees to have gator watering bags and be watered for the first two years or until established. All shrubs, groundcover and trees need to be monitored 2-3 per week for watering needs. The root zones of all trees, shrubs and groundcover need to maintain a soil moisture level of 20-60%. Contractor to check the soil moisture level at the root zone three times per week to determine whether the shrubs and groundcover need water. If it rains .5 inches in a week contractor can check the soil moisture levels and monitoring watering twice per week. Contractor to monitor gator bags on trees 2-3 times per week and ensure that the bags are filled with water until trees are established.

**RECOMPENSE CALCULATIONS**  
 $R = \$100 (Nrem - Nrep) + \$30 (TDBHrem - TCrep)$

$Nrem = 1$   
 $Nrep = 2$   
 $TDBHrem = 15"$   
 $TCrep = 6"$

$R = \$100 (1-2) + \$30 (15-6) = \$170$

**SITE ACREAGE CALCULATIONS**

STARBUCKS SITE ACREAGE = .32 ACRES  
 REQUIRED: 90" MINIMUM PER ACRE

INCHES TO REMAIN = 107" TDBH  
 SITE ACREAGE = .32 x 90" MIN. PER ACRE = 28.8" MIN. TOTAL  
 PLAN INDICATES  
 6" TCI TO BE PLANTED ON PRIVATE PROPERTY

TOTAL OF 113" CALIPER INCHES ON SITE

REQUIREMENT MET

NOTES:  
 IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER PLACED IN PIT.

1 SHRUB CONTAINER DETAIL  
 1" = 1"

**Kimley Horn**  
 PREPARED BY: Kimley Horn  
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**STARBUCKS COFFEE COMPANY**  
 95 MERRICK WAY, SUITE 650  
 CORAL GABLES, FL  
 PHONE: 470.217.4087

IFC SET	EGS	EGS	DATE	BY
BUILDING RESUBMITTAL	11/04/2024	EGS		
LDP RESUBMITTAL	10/31/2024	EGS		
LDP RESUBMITTAL	10/10/2024	EGS		
LDP RESUBMITTAL	09/19/2024	EGS		
LDP RESUBMITTAL	07/12/2024	ZLR		
SAP UPDATES - AMENDMENT 1 REVISION 1	05/31/2024	ZLR		
ISSUANCE AND REVISION DESCRIPTIONS				
No.			DATE	BY

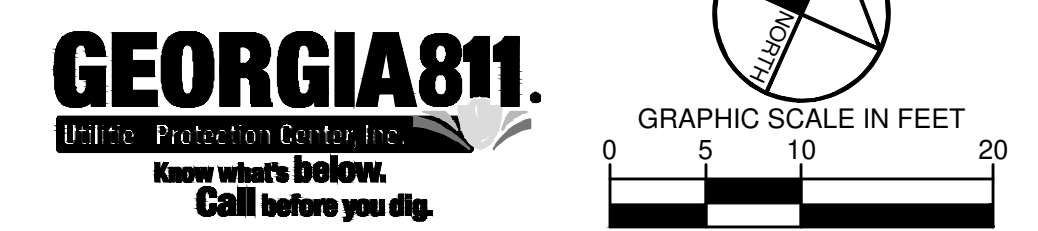
**STARBUCKS NEW CONSTRUCTION**  
 3330 PIEDMONT ROAD NE, ATLANTA, GA 30305  
 LAND LOT 61 & 62, 17TH DISTRICT  
 PARCEL ID: 170620003065

**GEORGIA REGISTERED LANDSCAPE ARCHITECT**  
 CODY L. ZANNI  
 09/26/2025

GSWCC NO. (LEVEL II) 0000076496  
 DRAWN BY SFD  
 DESIGNED BY ALB  
 REVIEWED BY ZLR  
 DATE 11/04/2024  
 PROJECT NO. 014102106

TITLE **TREE REPLACEMENT PLAN**  
 SHEET NUMBER **L1.00**

**ISSUED FOR CONSTRUCTION**



FINAL MURAL GRAPHICS IS TBD

**EXTERIOR BUILDING MATERIALS**

PATIO (NORTHEAST) ELEVATION FRONTS PIEDMONT ROAD NE, UNDERGOING GDOT ROAD WIDENING.

**MATERIAL MIX RATIOS:**

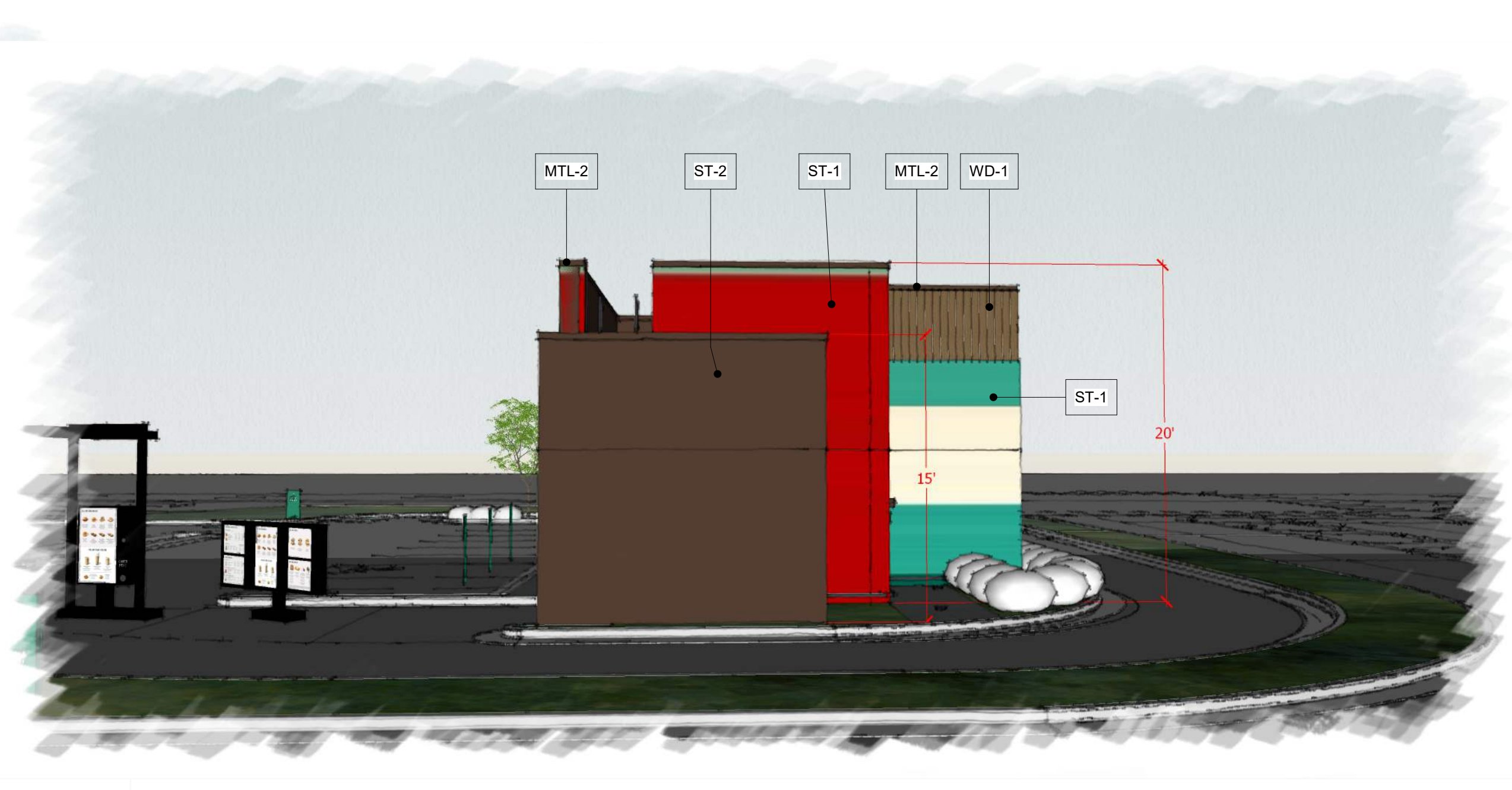
- 31% GLAZING
- 23% STUCCO
- 37% FIBER CEMENT
- 9% METAL WALL PANEL

**EXTERIOR MATERIAL LEGEND**

- WD-1 WOOD CLADDING NICHHA VINTAGEWOOD CEDAR, AWP 3030, VERTICAL INSTALLATION
- SF-1 STOREFRONT MEDIUM BRONZE AB-4 (BY ARCADIA) OR EQUAL
- MTL-1 METAL PAINTED TO MATCH STOREFRONT (LADDER, GATE, MISC. METALS)
- MTL-2 METAL PRE-FINISHED TO MATCH STOREFRONT
- ST-1 STUCCO 3-COAT, FINE FINISH TO MATCH SW7031 MEGA GREIGE (INTEGRALLY COLORED ACRYLIC FINISH)
- ST-2 STUCCO 3-COAT FINE FINISH TO MATCH SW7020 BLACK FOX (INTEGRALLY COLORED ACRYLIC FINISH)



3 DT BUMP ELEVATION  
Scale: 3/4" = 1'-0"



4 REAR ELEVATION  
Scale: 3/4" = 1'-0"



1 FRONT ENTRY ELEVATION  
Scale: 3/4" = 1'-0"



2 PATIO ELEVATION  
Scale: 3/4" = 1'-0"

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STARBUCKS TEMPLATE VERSION | 2023.04.24

**GPD GROUP**  
Professional Corporation  
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Akron, OH 44311  
330.572.2100 Fax 330.572.2101

GPD PROJECT NO: 2022261.05

PRELIMINARY DRAFT  
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CONSTRUCTION, BID,  
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ISSUED FOR CONSTRUCTION

PROJECT NAME:  
**PIEDMONT RD. & TOWER  
PL. DR.**

PROJECT ADDRESS:  
**3330 PIEDMONT RD. NE,  
ATLANTA, GA 30305**

STORE #: 78363  
PROJECT #: 98713-001  
ISSUE DATE: 04/17/24  
DESIGN MANAGER: ROCIO GALINDO  
PRODUCTION DESIGNER: MICHELLE GOSS  
CHECKED BY: GPD GROUP

Revision Schedule			
Rev	Date	By	Description
3	4/17/24		SAP Amendment
4	5/31/24		SAP Amendment-1 Revision-1

SHEET TITLE:  
**SCHEMATIC EXTERIOR  
ELEVATIONS**  
SCALE: AS SHOWN

SHEET NUMBER:  
**SD1-1**

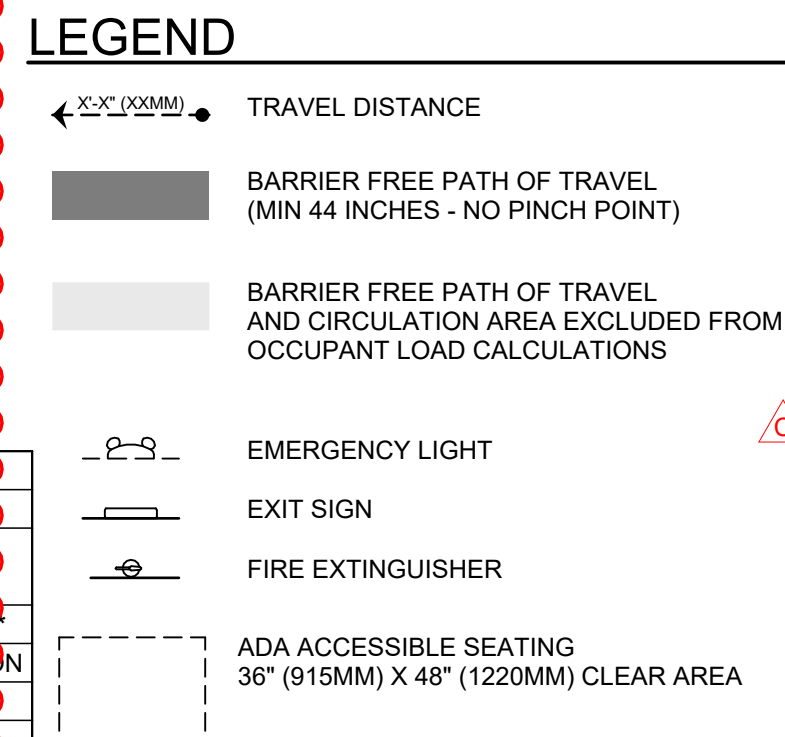
EGRESS CALCULATIONS	
EXIT WIDTH REQUIRED - 71 OCC. x 0.2	= 15 IN.
EXIT WIDTH PROVIDED	= 108 IN.
EXITS	= (2) TWO FROM CAFE, 108 IN. TOTAL
NUMBER OF EXITS REQUIRED	= 2
NUMBER OF EXITS PROVIDED	= 2 CAFE, 1 BOH/SERVICE (3 TOTAL)
MAXIMUM ALLOWABLE TRAVEL DISTANCE	= 200' - 0"
MAXIMUM TRAVEL DISTANCE PROVIDED	= 65' - 3"
MINIMUM EXIT SEPARATION	= 78' - 4" (MAXIMUM DIAGONAL) / 2 = 39' - 2"
EXIT SEPARATION PROVIDED	= 39' - 6"

PLUMBING FIXTURE CALCULATIONS			
CHAPTER 29-2018 GEORGIA STATE MINIMUM CODE TABLE 2902.1			
OCCUPANCY	MALE	FEMALE	TOTAL**
	52 OCC.	52 OCC.	103 OCC.
	WATER CLOSETS		
	1 PER 75		
FIXTURES	REQUIRED	1 M	1 F
	PROVIDED	1 M	1 F
	URINALS*		
	1 PER 200		
	0 M	1 M	1 F
	0 M	1 M	1 F

\*IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67% OF THE REQUIRED WATER.  
 \*\*RETAIL ESTABLISHMENT SERVES WATER UPON REQUEST.  
 \*\*\* FIXTURE COUNT OCCUPANCY INCLUDES ADDITIONAL OUTDOOR SEATING (32 OCCUPANTS)

ROOM SCHEDULE	
NAME	AREA
BAR	430 SF
CAFE	560 SF
RESTROOM 1	56 SF
RESTROOM 2	51 SF
WORKROOM	307 SF
VESTIBULE	41 SF
ICE ROOM	63 SF
PATIO (EXTERIOR LOAD)	476 SF
OFFICE	48 SF
PARTNER REST	57 SF
GRAND TOTAL	2090 SF

OCCUPANCY CALCULATIONS	
CAFE: 560 SQ. FT. / 15 SQ. FT. / OCC.	38 OCC.
BANQUETTE LENGTH = 410 IN.	23 OCC.
BAR: 430 SQ. FT. / 100 SQ. FT. /	5 OCC.
WORKROOM: 307 SQ. FT. / 300 SQ. FT. / OCC.	2 OCC.
RESTROOM-1: 56 SQ. FT. / 15 SQ. FT. / OCC.	N/A
RESTROOM-2: 51 SQ. FT. / 15 SQ. FT. / OCC.	N/A
(RESTROOM) VESTIBULE: 41 SQ. FT. / 15 SQ. FT. / OCC.	N/A
ICE ROOM: 63 SQ. FT. / 100 SQ. FT. / OCC.	1 OCC.
OFFICE: 48 SQ. FT. / 150 SQ. FT. / OCC.	1 OCC.
PARTNER REST: 57 SQ. FT. / 150 SQ. FT. / OCC.	1 OCC.
<b>TOTAL OCC. LOAD (EGRESS):</b>	<b>71 OCC.</b>
PATIO: 476 SQ. FT. / 15 SQ. FT. / OCC. (EXTERIOR LOAD)	32 OCC.
<b>TOTAL OCC. LOAD (PLUMBING FIXTURE CALCULATIONS):</b>	<b>103 OCC.</b>



### HEALTH DEPT. PLAN NOTES

- GENERAL CONTRACTOR TO SCHEDULE WITH REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR APPROVED CONTRACTOR, CONTACT THE VENDOR.
- THE SPACE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- REFERENCE INTERIOR SCHEDULE SHEETS (1600 SERIES) FOR ADDITIONAL INFORMATION.
- PROVIDE SNEEZE GUARDS WHERE REQUIRED BY JURISDICTION.
- ALL FOOD STORAGE AND DISPLAY SHELVING SHALL BE A MINIMUM 6" (150MM) ABOVE FINISH FLOOR.

### KEYED NOTES

- THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
- BARRIER-FREE PATH OF TRAVEL.
- 30" X 52" CLEAR FOR WHEELCHAIR ACCESS.
- 67" DIAMETER MINIMUM TURN RADIUS FOR WHEELCHAIR ACCESS.
- 32" (815 MM) MINIMUM CLEAR AT RESTROOM DOOR.
- POS TRANSACTION PLANE, CONDIMENT CART TOP AND HAND-OFF PLANE ARE 34 INCHES (860 MM) ABOVE THE FINISHED FLOOR FOR WHEELCHAIR ACCESSIBILITY.
- PROVIDE BARRIER-FREE SIGNAGE AT ACCESSIBLE RESTROOMS PER ALL APPLICABLE CODES.
- PROVIDE TACTILE "EXIT" SIGNAGE.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN WHERE REQUIRED BY APPLICABLE LAWS OR CODES.
- MULLION MOUNTED DOOR ACTUATOR.

### HEALTH DEPT. FINISH SCHEDULE

- BAR**  
 FLOOR: POLYVINYL FLOORING  
 WALL: WALL TILE, BACKSPLASH, WITH POLYVINYL BASE  
 CEILING: GYPSUM CEILING
- CAFE**  
 FLOOR: CERAMIC TILE  
 WALL: PLASTER AND WOOD CLADDING  
 CEILING: OPEN TO STRUCTURE AND WOOD SLAT CEILING
- WORKROOM**  
 FLOOR: POLYVINYL FLOORING  
 WALL: FRP WITH POLYVINYL BASE  
 CEILING: VINYL FACED ACOUSTICAL CEILING TILE
- RESTROOM**  
 FLOOR: CERAMIC TILE  
 WALL: WALL TILE WITH SCHLUTER COVE BASE  
 CEILING: GYPSUM CEILING

### MEANS OF EGRESS NOTES

- REFERENCE 2018 NFPA 101 LIFE SAFETY CODE CHAPTER 12 NEW ASSEMBLY OCCUPANCIES = AND CHAPTER 13 EXISTING ASSEMBLY OCCUPANCIES:
- EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT ACCESS DOORWAY. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER AUTHORIZED AGENT.
  - EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES.
  - PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING:
    - THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
    - THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
    - PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
    - PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
    - FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.
  - STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES (100 MM) OVER ANY WALKING SURFACE BETWEEN 27 INCHES (685 MM) AND 80 INCHES (2030 MM) ABOVE THE WALKING SURFACE. EXCEPTION: HANDRAILS SERVING STAIRS AND RAMPS ARE PERMITTED TO PROTRUDE 4 1/2 INCHES (115 MM) FROM THE WALL.
  - THE PATH OF EGRESS TRAVEL EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
    - EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
    - EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
    - NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT (30.5 M) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
  - WHERE KEY OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1 INCH (25 MM) LETTERING STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".
  - EGRESS DOORS OR GATES SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES (860 MM) TO 48 INCHES (1220 MM) ABOVE FINISHED FLOOR. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
  - LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES (1120 MM).



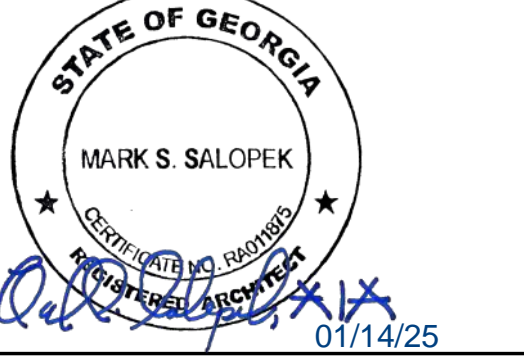
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STARBUCKS TEMPLATE VERSION I2023.04.24



GPD PROJECT NO: 2022261.05



FOR CONSTRUCTION

PROJECT NAME:  
**PIEDMONT RD. & TOWER  
 PL. DR.**

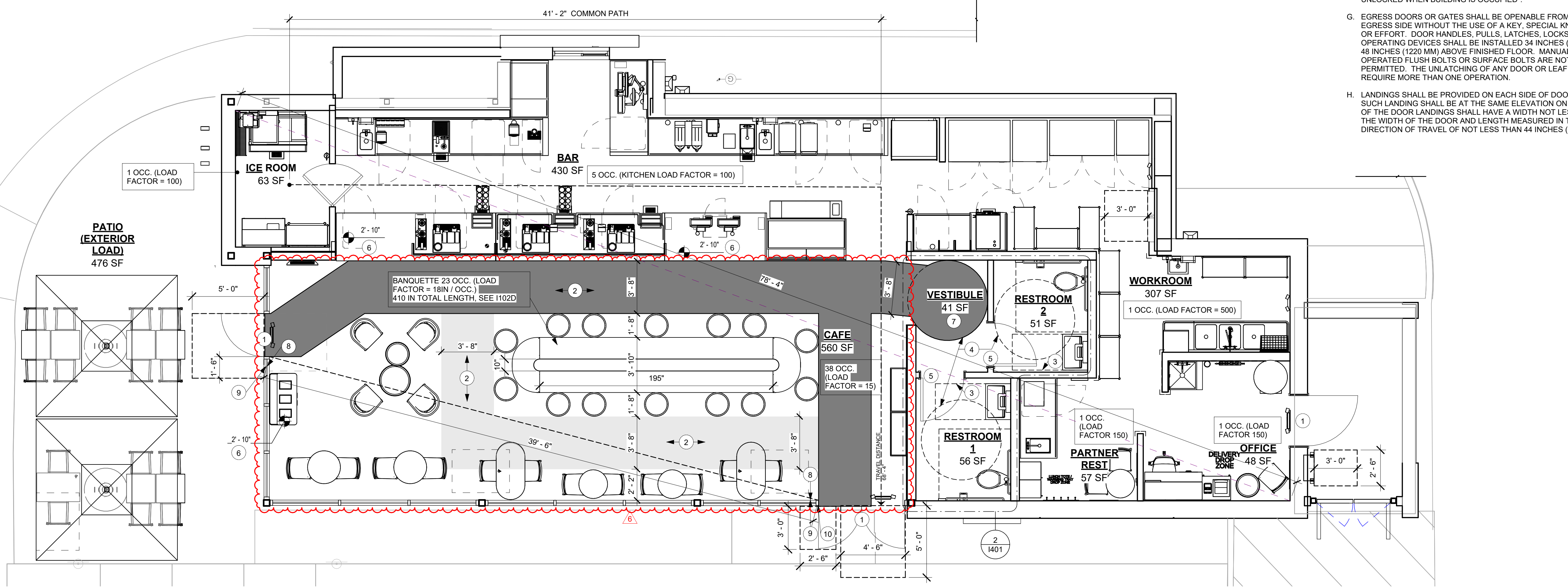
PROJECT ADDRESS:  
**3330 PIEDMONT RD. NE,  
 ATLANTA, GA 30305**

STORE #: 78363  
 PROJECT #: 98713-001  
 ISSUE DATE: 04/17/24  
 DESIGN MANAGER: ROCIO GALINDO  
 PRODUCTION DESIGNER: MICHELLE GOSS  
 CHECKED BY: GPD GROUP

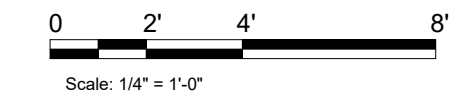
Revision Schedule			
Rev	Date	By	Description
B	9/13/24		ADDENDUM B
C	9/26/24		ADDENDUM C
D	10/25/24		ADDENDUM D
6	1/14/25		BULLETIN 2

SHEET TITLE:  
**LIFE SAFETY &  
 ACCESSIBILITY PLAN**  
 SCALE: AS SHOWN

SHEET NUMBER:  
**G002**




**1 LIFE SAFETY PLAN**  
 Scale: 1/4" = 1'-0"



City of Atlanta | Department of City Planning  
**OFFICE OF ZONING & DEVELOPMENT**

**APPROVED: SPECIAL ADMINISTRATIVE PERMIT**

with Red-Lines    with Conditions    Revision

DATE: 06/04/2024  
 REVIEWER: 

APPLICATION NUMBER: SAP-23-086



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STARBUCKS TEMPLATE VERSION i2023.04.24



GPD PROJECT NO: 2022261.05

**PRELIMINARY DRAFT  
 NOT FOR  
 CONSTRUCTION, BID,  
 RELIANCE, RECORDING  
 PURPOSES OR  
 IMPLEMENTATION**

**ISSUED FOR CONSTRUCTION**

PROJECT NAME:  
**PIEDMONT RD. & TOWER  
 PL. DR.**

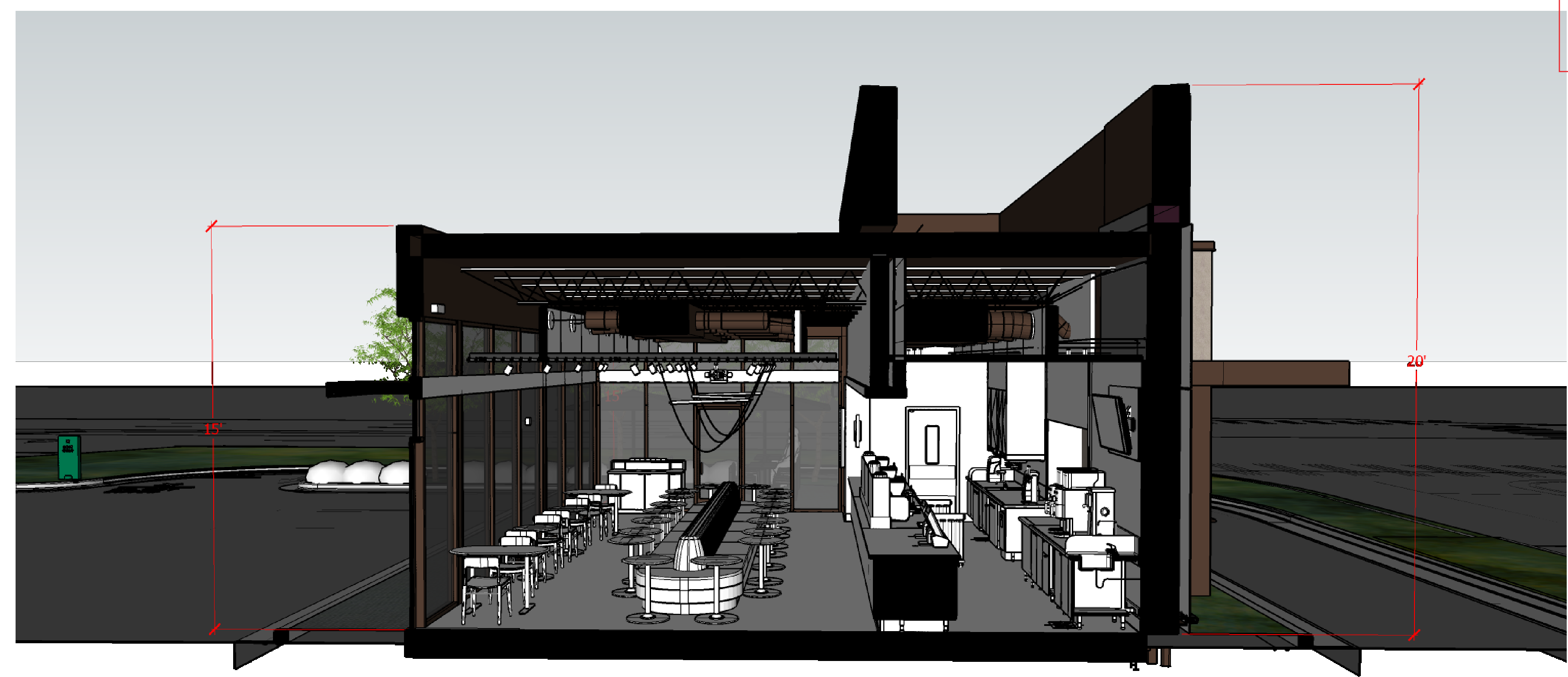
PROJECT ADDRESS:  
 3330 PIEDMONT RD. NE,  
 ATLANTA, GA 30305

STORE #: 78363  
 PROJECT #: 98713-001  
 ISSUE DATE: 04/17/24  
 DESIGN MANAGER: ROCIO GALINDO  
 PRODUCTION DESIGNER: MICHELLE GOSS  
 CHECKED BY: GPD GROUP

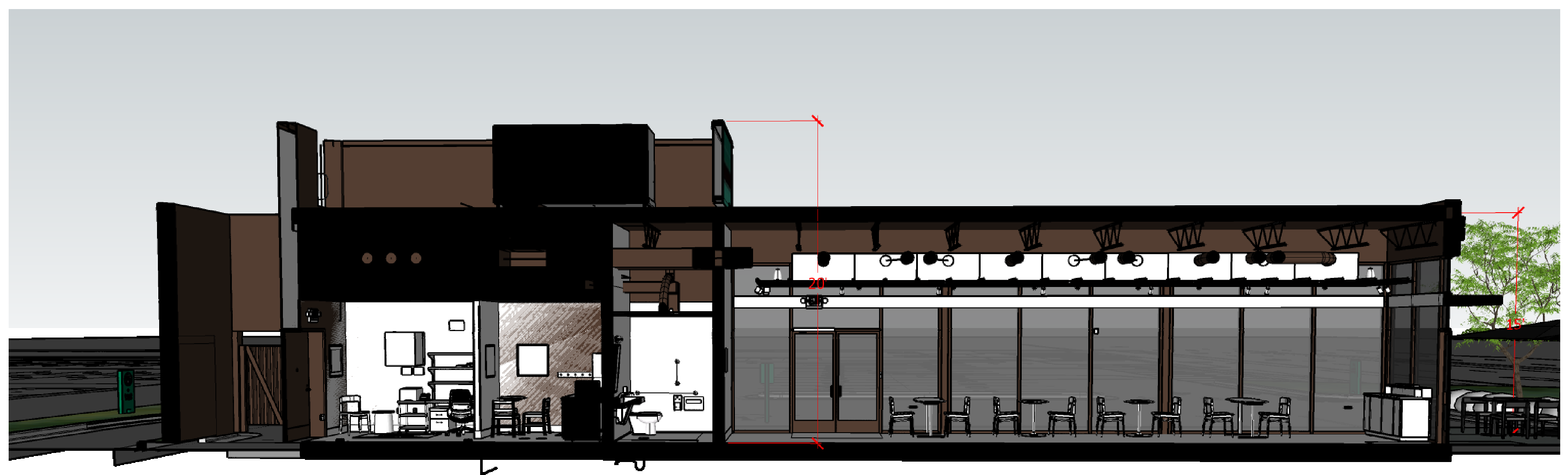
Revision Schedule			
Rev	Date	By	Description
3	4/17/24		SAP Amendment

SHEET TITLE:  
**SCHEMATIC BUILDING  
 SECTIONS**  
 SCALE: AS SHOWN

SHEET NUMBER:  
**SD3**



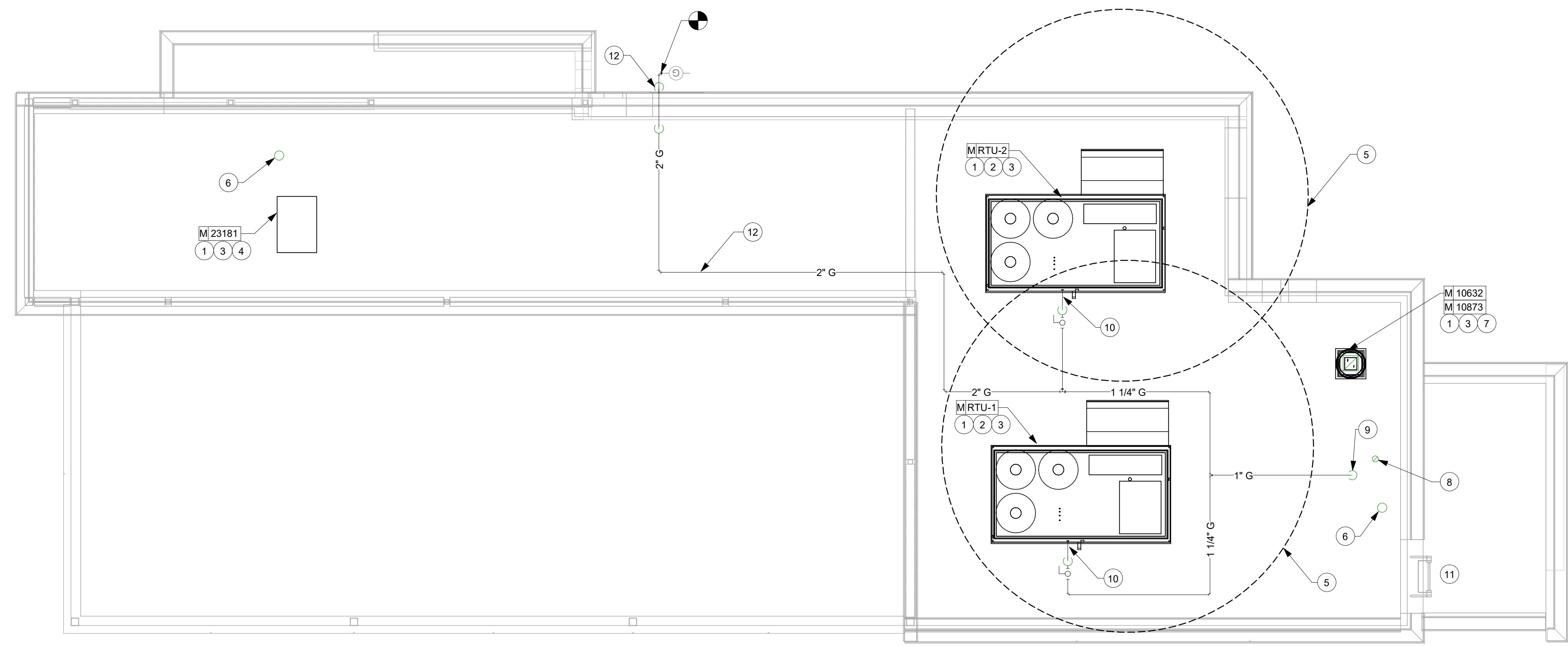
**1 BUILDING SECTION**  
 Scale: 6" = 1'-0"



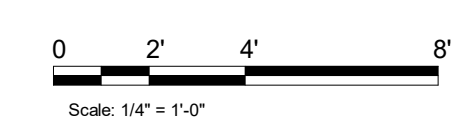
**2 BUILDING SECTION2**  
 Scale: 6" = 1'-0"



9/12/2024 12:06:59 PM Autodesk Docs://Starbucks 2022 (Revit 2023)98713-001\_78363\_Piedmont - Tower\_WORKSHARE.rvt



**1 MECHANICAL ROOF PLAN**  
Scale: 1/4" = 1'-0"



**KEYED NOTES**

1. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTION TO ALL MECHANICAL EQUIPMENT.
2. ROOFTOP AC UNIT PROVIDED AND INSTALLED BY GC. VERIFY EXACT LOCATION PRIOR TO START OF ANY WORK. VERIFY THAT OUTSIDE AIR INTAKE IS LOCATED A MINIMUM OF 10'-0" FROM ANY VENT OR EXHAUST OPENINGS.
3. REFER TO DETAILS ON SHEET M501 FOR FURTHER INFORMATION.
4. ICE MACHINE: GC SHALL PROVIDE AND INSTALL PRECHARGED REFRIGERANT LINES FROM ICE MACHINE TO REMOTE CONDENSER, SIZED PER MANUFACTURER'S REQUIREMENTS. COORDINATE WITH G.C. FOR EXACT LOCATION AND SUPPORT OF CONDENSER. REFER TO DETAILS ON SHEET M501 FURTHER INFORMATION. ROOF PENETRATIONS SHALL BE PROVIDED BY ROOFING CONTRACTOR. ALL ROOF PENETRATIONS SHALL BE MADE WEATHER TIGHT BY ROOFING CONTRACTOR. COORDINATE WITH ROOFING CONTRACTOR.
5. 10'-0" CLEARANCE FOR OUTSIDE AIR INTAKE.
6. 3" VENT THROUGH ROOF. REFER TO PLUMBING PLANS FOR CONTINUATION. ROOF PENETRATIONS SHALL BE PROVIDED BY ROOFING CONTRACTOR. ROOFING CONTRACTOR SHALL MAKE ALL PENETRATIONS WEATHER TIGHT.
7. ROOFTOP EXHAUST FAN PROVIDED AND INSTALLED BY GC. ROOF CURB SHALL BE INSTALLED AND MADE WEATHER TIGHT BY ROOFING CONTRACTOR. VERIFY THAT DISCHARGE IS LOCATED A MINIMUM OF 10'-0" FROM ANY OUTDOOR INTAKES.
8. 4" FRESH AIR/VENT FOR WATER HEATER. ROOF PENETRATIONS SHALL BE BY ROOFING CONTRACTOR. ALL ROOF PENETRATIONS SHALL BE MADE WEATHER TIGHT BY ROOFING CONTRACTOR. COORDINATE WITH ROOFING CONTRACTOR.
9. 1" GAS PIPING DOWN THRU ROOF FOR WATER HEATER UNIT. SEE SHEET M101 FOR MORE INFORMATION. ROOF PENETRATIONS SHALL BE BY ROOFING CONTRACTOR. ALL ROOF PENETRATIONS SHALL BE MADE WEATHER TIGHT BY ROOFING CONTRACTOR. COORDINATE WITH ROOFING CONTRACTOR.
10. GC SHALL PROVIDE AND CONNECT 1-1/4" GAS PIPING TO ROOFTOP UNIT. CONTRACTOR SHALL PROVIDE GAS SHUT-OFF VALVE, 6" DIRT LEG, AND UNION PRIOR TO FINAL CONNECTION.
11. ROOF ACCESS SHOWN FOR REFERENCE.
12. ROUTE GAS PIPING DOWN ON OUTSIDE OF WALL AND CONNECT TO GAS METER.
13. ROUTE GAS PIPING ON ROOF. SEE DETAIL 4 ON M501 FOR PIPING SUPPORT AND SPACING.



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STARBUCKS TEMPLATE VERSION | 2023.04.24



GPD PROJECT NO: 2022261.05



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**CHECKED BY:** GPD GROUP

Revision Schedule			
Rev	Date	By	Description

**SHEET TITLE:**  
MECHANICAL ROOF  
PLAN  
**SCALE:** AS SHOWN

**SHEET NUMBER:**  
M102