

GENERAL CONSTRUCTION:

1. THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS FOR THE BUILDING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK AFFECTED.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER/ARCHITECT /ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
4. EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT HIS EXPENSE.
5. ALL WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATIONS OR WRITTEN DIRECTIONS.
6. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
7. WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS, AND UNTIL THE JOB IS COMPLETED.
9. THE INTENT OF THESE DRAWINGS IS TO INDICATE THE SCOPE OF WORK REQUIRED IN ORDER TO CONSTRUCT COMPLETE AND FINISHED SPACES READY FOR OCCUPANCY. THE CONTRACTOR AND SUB-CONTRACTORS ARE EXPECTED TO VISIT THE PROJECT SITE PRIOR TO SUBMISSION OF BIDS AND NOTIFY THE OWNER, PRIOR TO BIDDING, OF ANY DISCREPANCIES WITHIN THE DRAWINGS OR POSSIBLE CONFLICTS WHICH AFFECT THE PROGRESS OF THIS PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS NOTIFYING THE OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE PROJECT.
10. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED THERETO, CONFORM WITH ALL LOCAL, REGIONAL, STATE, AND/OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING, AND/OR REMOVAL OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS.
11. ALL ITEMS MARKED "N.I.C." ARE NOT PART OF THIS CONTRACT.
12. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF (1) ONE YEAR AFTER COMPLETION, UNLESS OTHERWISE SPECIFIED, AND SHALL BE SO STATED IN CONTRACTOR'S WORK ORDER AND SHOP DRAWING AGREEMENT. ALL REPAIRS, CORRECTIONS, DISCREPANCIES, ETC. MUST BE MADE WITHIN ANY ADDITIONAL COST TO THE OWNER, AND WITHIN (3) THREE DAYS AFTER NOTICE IS GIVEN.
13. THE CONTRACTOR SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.
14. THE CONTRACTOR, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, PLANS, SPECIFICATIONS, CONDITIONS AT JOBSITE, ETC. PRIOR TO STARTING ANY WORK AND WITHIN (7) SEVEN CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE DESIGNER (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT) OTHERWISE THE DESIGNER WILL ASSUME NO RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HOLD HARMLESS THE DESIGNER FOR ANY PERSONAL INJURY OR DAMAGE TO THE PROJECT OR TO ADJACENT PROPERTIES AND OMISSIONS.
15. ALL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE AND AMMENDMENTS, LATEST EDITION.
16. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE DESIGNER WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE DESIGNER FROM ANY AND ALL RESPONSIBILITY, CLAIMS, OR LIABILITIES AGAINST THE DESIGNER FOR CULPABILITY, ETC. FROM DATE SHOWN ON PLANS ORIGIN UNTIL THE END OF TIME.
17. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
18. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED.
19. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURERS PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICES.
20. ALL VERTICAL ELEVATION DATUM FOLLOWED BY "AFF" (ABOVE FINISHED FLOOR) IS REFERENCED FROM THE 0'-0" FINISHED FLOOR. IF NOT FOLLOWED BY "AFF" THE VERTICAL ELEVATION DATUM IS REFERENCED FROM THAT ROOM'S FLOOR ELEVATION.
21. ALL INFORMATION SHOW ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS

22. DIMENSIONS ON THE PLANS ARE TYPICALLY TO THE FINISH SURFACE UNLESS NOTED TO THE CENTER LINE OF COLUMNS, UNLESS OTHERWISE NOTED.
23. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENT. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
24. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO, OSHA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.
25. THE TERMS "CONSTRUCTION CONTRACTOR," "GENERAL CONTRACTOR," "G.C." AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.
26. THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO PRICING OR BIDDING.
27. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ANY AND ALL WORK.
28. THE CONTRACTOR SHALL HAVE HAD EXPERIENCE ON AT LEAST THREE PROJECTS INVOLVING QUALITIES AND COMPLEXITIES AT LEAST EQUAL TO THOSE REQUIRED UNDER ALL DMSIONS DETAILED IN THESE DRAWINGS.
29. ALL WORKMEN PERFORMING UNDER THIS WORK SHALL BE SKILLED WORKMEN IN THEIR RESPECTIVE TRADES.
30. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR, AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.
31. THE CONTRACTOR SHALL REVIEW AND FAMILIARIZE THEMSELVES WITH THE GENERAL NOTES & SPECIFICATIONS AND DETERMINE WHICH NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY. EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTORS' COSTS.
32. SEE SPECIFICATIONS FOR PAYMENT OF PERMIT FEES.
33. THE CONTRACTOR SHALL PROVIDE ALL THE DRAWINGS, COMPLETED PAPERWORK AND CERTIFICATES OF INSPECTION AND SHALL PERFORM ALL THE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT APPROVAL.
34. UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION.
35. THE CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT'S OFFICE FOR REVIEW AND APPROVAL. NO ADDITIONAL WORK IS TO PROCEED UNTIL A SIGNED AUTHORIZATION TO PROCEED IS RETURNED TO THE GENERAL CONTRACTOR.
36. THE CONTRACTOR SHALL SCHEDULE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE WITH OTHER CONTRACTORS IN THE REQUIRED SEQUENTIAL INSTALLATION SCHEDULE AS APPROVED BY THE ARCHITECT.
37. ALL WORK IS TO CONFORM TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND SHALL BE NEW AND BEST QUALITY OF THE KINDS SPECIFIED.
38. NO MATERIAL SUBSTITUTIONS SHALL BE MADE. ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY ARCHITECT PRIOR TO THE START OF ANY WORK.
39. ALL SUBCONTRACTORS' SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO WORK BEING PERFORMED, UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR SHALL STAMP, SIGN AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT.
40. THE CONTRACTOR WILL PROVIDE TOILET FACILITIES AND WILL BE RESPONSIBLE FOR CLEANING, MAINTAINING, AND UPON COMPLETION OF THE WORK, RESTORING TO ITS ORIGINAL CONDITION.
41. CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES.
42. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL, AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO DRIVING OR CUTTING OF SLABS OR STRUCTURAL MEMBERS. NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING WORK.
43. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HERE ON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY

44. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
45. THE CONTRACTOR SHALL VERIFY ALL DOOR/WINDOW ROUGH OPENING DIMENSIONS WITH MANUFACTURERS.
46. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
47. PROVIDE FIRE PROTECTION AT ALL PENETRATION OF FIRE RATED ELEMENTS AS REQUIRED BY THE FIRE OFFICIAL.
48. ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING SPECIFIC RATING.
49. BUILDING FIRE DETECTION/ALARM SYSTEM SHALL BE MODIFIED AS NECESSARY TO MAINTAIN DESIGN EFFECTIVENESS. GENERAL CONTRACTOR SHALL PROVIDE SEPARATE PERMIT OR DOCUMENTATION AS REQUIRED TO COMPLY WITH 2007 FLORIDA BUILDING CODE.
50. ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF ANY CONFLICT WHERE THE METHODS OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE OWNER OR ARCHITECT OF ALL CONFLICTS.

DEMOLITION

1. G.C. SHALL SURVEY THIS PROJECT AND BECOME THOROUGHLY FAMILIAR WITH ALL ASPECTS OF THE WORK REQUIRED. ANY DISCOVERED VARIANCE FROM THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR A SOLUTION BEFORE FINAL PRICING IS GIVEN TO THE OWNER.
2. G.C. SHALL MAKE ARRANGEMENTS FOR ALL REQUIRED TEMPORARY PROTECTION (PRIOR TO START OF DEMOITION).
3. G.C. SHALL COORDINATE ALL TRADES AND DISCIPLINES INVOLVED WITH DEMOLITION.
4. TEMPORARY WORK SHALL INCLUDE (BUT NOT BE LIMITED TO) THE FOLLOWING:
-TEMPORARY LIGHT
-TEMPORARY WALLS AND/OR FLOORING.
-PLASTIC PROTECTION (FIN. AND FURN.).
-TEMPORARY CEILING/HVAC.
5. G.C. SHALL KEEP THE AFFECTED AREAS CLEAR AT ALL TIMES AND SHALL BE RESPONSIBLE FOR DAILY CLEANUP.
6. G.C. SHALL PROVIDE TEMPORARY BARRIERS TO PROTECT ADJACENT AREAS OR PROPERTY.
7. THE DRAWINGS DO NOT SUPPORT TO SHOW ALL OBJECTS EXISTING AT THE SITE. G.C. MUST VERIFY AT SITE ALL OBJECTS TO BE PRESERVED AND REPORT TO OWNER ANY DISCREPANCY OR QUESTIONABLE ITEMS.
8. G.C. SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN AND, IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO MEET THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
9. G.C. SHALL NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
10. G.C. SHALL COORDINATE DEMOLITION AND REMOVALS WITH OWNER'S REPRESENTATIVE.
11. PATCH AND REPAIR FLOOR, WALL, AND CEILINGS AS REQUIRED FOR NEW FINISH MATERIALS.
12. CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES REQUIRED BY ANY PORTION OF THE WORK, BOTH DURING DEMOLITION AND CONSTRUCTION.
13. WHERE DEMOLITION OCCURS ADJACENT TO EXISTING TO REMAIN, PATCH AND REPAIR TO MATCH ADJACENT CONDITIONS FOR A UNIFORM APPEARANCE.

FINISHES

1. ALL WALLS (NEW AND EXISTING) SHALL BE PROPERLY PREPARED (SPACKLED, SANDED, ETC.) FOR PAINTING AS PER PLANS AND MANUFACTURER'S SPECIFICATIONS.
2. ALL PAINTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE.
3. ALL DRYWALL SURFACES WHICH ARE TO BE PAINTED SHALL RECEIVE (1) COAT OF P.V.A. PRIMER AND (2) COATS OF FINISH PAINT. (3) COATS TOTAL.
4. ALL WALLS WHICH HAVE BEEN PAINTED, THAT HAVE A PUNCHLIST ITEM, SHALL BE REPAINTED ENTIRELY BETWEEN THE (2) CLOSEST BREAK POINTS.
5. GENERAL CONTRACTOR SHALL FLASH PATCH AND PREPARE ALL FLOORS AS REQUIRED TO RECEIVE SPECIFIED FLOORING MATERIAL.
6. FLOORING CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY UNACCEPTABLE FINISH WORK CAUSED BY SUB-FLOOR CONDITIONS.

7. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL METAL ANGLES AND/OR MARBLE REDUCING SADDLES, IN ADDITION TO ANY FLOOR LEVELING AS MAY BE REQUIRED FOR SMOOTH TRANSITION AT ALL TILE FLOORING/MATERIAL TRANSITION POINTS.
8. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL, IN TRIPlicate, PRIOR TO COMMENCEMENT OF THE WORK. FINISH SAUPLES TO BE A MIN. 12" X 12" PAINT SAMPLES FOR GYP. BD. SURFACES TO BE PROVIDED ON 12" X 12" PIECES OF GYP. BD.
9. ALL DOORS AND FRAMES TO BE PAINTED THE SAME COLOR AND TYPE OF PAINT ON BOTH SIDES, UNLESS OTHERWISE NOTED. TOPS, EDGES, AND BOTTOMS SHALL BE SEALED AND PAINTED.
10. FLOORS MUST BE FREE OF DUST, OIL AND ALL FOREIGN MATTER. BUILDING MUST BE FULLY SEALED AND AIR CONDITIONED FOR 48 HOURS PRIOR TO INSTALLATION OF FLOOR COVERING. CRACKS 1/16" OR MORE, HOLES, AND OTHER UNEVENNESS MUST BE FILLED WITH A LATEX BASE FLOOR FILLER; HIGH SPOTS MUST BE LEVELLED. FLOOR MUST BE SWEPT CLEAN, WET MOPPED WITH WARM WATER AND SWEPT AGAIN. IF SWEEPING LEAVES A RESIDUE, FLOORS SHALL BE VACUUMED.

WOODWORK / CASEWORK

1. ALL ITEMS OF WOODWORK INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE PERFORMED BY SKILLED MECHANICS USING THE BEST TECHNIQUES KNOWN TO THE TRADE AND IN CONFORMANCE WITH ALL TRADE STANDARDS, SPECIFICALLY THE "PREMIUM GRADE" QUALITY STANDARDS AND THE GUIDELINES FOR "HIGH PRESSURE LAMINATE" OF THE ARCHITECTURAL WOODWORK INSTITUTE.
2. WOODWORK CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING HIS WORK WITH THE GENERAL CONTRACTOR.
3. WOODWORK CONTRACTOR SHOULD INSPECT THE ALIGNMENT OF ALL GYP. BD. CONSTRUCTION AND SHOULD NOTIFY THE ARCHITECT OF ANY CONDITION THAT WOULD PREVENT HIM FROM COMPLETING HIS WORK.
4. ALL HIGH-PRESSURE PLASTIC LAMINATE WORK SHALL BE SOLID, IN ONE PIECE AND WITHOUT SPICE JOINTS (EXCEPT WHERE PROHIBITED BY THE MAXIMUM AVAILABLE SIZE OF THE MANUFACTURED PLASTIC LAMINATE MATERIALS) AND SHALL BE BONDED TO THE CORE STOCK USING THE "HOT PLATE" PRESS METHOD. ALL EDGES AND EXPOSED CORNERS TO BE FINELY JOINED; UNSIGHTLY JOINTS, NICKS, SCRATCHES, CHIPS, DEFECTS, WAKEY OR UNEVEN LAMINATION WILL BE REJECTED. IF JOINTS ARE REQUIRED DUE TO LENGTH OF UNIT, JOINTS TO BE CENTERED SYMMETRICALLY OVER THE LENGTH OF THE UNIT.
5. ALL SURFACES TO BE LAMINATED (PL LAM. OR VENEERED) SHALL BE LAMINATED WITH THE SAME TYPE OF MATERIAL ON THE BOTH SIDES (BACKING) WHETHER VISIBLE OR NOT. PANEL AND PLYWOOD BACKS NOT EXPOSED TO VIEW SHALL BE VENEERED WITH THE SAME SPECIES AND THICKNESS OF VENEER USED FOR THE FACES. FOR BALANCED CONSTRUCTION, HOWEVER, THE VENEERED SURFACES NOT EXPOSED TO VIEW NEED NOT BE MATCHED.
6. WOODWORK CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR ON THE LOCATION AND INSTALLATION OF ALL GROUNDS AND BLOCKING INSIDE THE WALL CONSTRUCTION RELATED TO CABINETWORK.
7. WHERE ELECTRICAL WORK IS SPECIFIED IN CABINETS, LAMPS AND FIXTURES ARE TO BE PROVIDED BY THE GENERAL CONTRACTOR. CUTOUTS FOR SWITCHES, OUTLETS, AND WIRING DEVICES TO BE INSTALLED IN CABINETRY IN THE FIELD ARE BY THE WOODWORK CONTRACTOR AND ARE TO BE COORDINATED BY THE GENERAL CONTRACTOR.
8. WOODWORK CONTRACTOR SHALL PROVIDE ALL HARDWARE REQUIRED FOR FINISHED INSTALLATION OF CABINETS.
9. WOODWORK SUBCONTRACTOR SHALL SHIM AND LEVEL ALL COUNTERS TO BE LOCATED OVER FILES, AND PROVIDE A STABLE TEMPORARY SUPPORT UNTIL FILES ARE DELIVERED FOR INSTALLATION. CONTRACTOR TO PROVIDE FILLER STRIPS AS REQUIRED BETWEEN FILE CABINETS AND COUNTERTOPS, AND BETWEEN CABINETS AND SURROUNDING WALLS AND CEILINGS.
10. WOODWORK CONTRACTOR IS RESPONSIBLE TO CLEAN AND POLISH AND TOUCH-UP AS REQUIRED ALL WOODWORK AFTER THE INSTALLATION IS COMPLETED.
11. ALL CABINETRY SHALL HAVE PLYWOOD CORE. PARTICLE AND FIBER BOARD IS NOT ACCEPTABLE.

ELECTRICAL

1. GENERAL CONTRACTOR SHALL VERIFY THE AVAILABLE ELECTRIC SERVICE AND ADVISE THE ARCHITECT OF HIS FINDINGS PRIOR TO SUBMITTING A BID.
2. ELECTRICAL CONTRACTOR SHALL DISCONNECT, CONNECT, AND PROVIDE NECESSARY ELECTRIC RUNS IN ORDER TO CONFORM WITH NEW PLAN.
3. SWITCHES, DUPLEX OUTLETS, COVER PLATES SHALL BE INSTALLED BY COUPEPENT MECHANICS IN A FIRST CLASS MANNER.

4. THE ELECTRICAL CONTRACTOR SHALL INCLUDE AND COORDINATE ELECTRICAL REQUIREMENTS FOR ALL HVAC EQUIPMENT, EXHAUST FANS, AND --EC-- EQUIPMENT, ETC.
5. ALLNEW TELEPHONE AND ELECTRICAL OUTLETS TO BE INSTALLED ON AN EXISTING WALL SHOULD BE FLUSH MOUNTED WITH THE FINISHED WALL SURFACE. CUT OUT THE WALL AS REQUIRED TO ACCESS THE JUNCTION BOX AND CONDUIT, AND PATCH THE WALL AS REQUIRED.
6. GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED CONDUIT, COAXIAL CABLE AND TELEPHONE WRING COMPLETELY FROU AREAS IN SCOPE OF THIS CONTRACT.
7. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO COMPLETE CORE DRILLING AND ELECTRICAL HOOK-UP, PATCHING, ETC. ALL CORE DRILLING SHALL BE ACCOMPLISHED DURING STATED BUILDING APPROVED WORKING HOURS. CONTRACTOR SHALL VERIFY AND CONFORM TO THOSE HOURS WHEN WORK IS REQUIRED.
8. GENERAL CONTRACTOR SHALL REVISE AND UPDATE LABELS FOR ALL CIRCUIT BREAKERS.
9. TELEPHONE FLOOR AND WALL OUTLET BOXES SHALL BE CAPABLE OF FULLY HOUSING THE TELEPHONE COMPANY'S PRE-WIRED AMPHENOL CONNECTORS, BOTH FOR SINGLE -LINE EXTENSIONS AND FOR CALL DIRECTORS. CONTRACTOR COORDINATE WITH CITY I.T. DEPARTMENT PRIOR TO ROUGH-IN.
10. WHERE EXPOSED CONDUIT OR SURFACE MOUNTED WIREMOLD CONDUIT HAS BEEN SPECIFIED, THE CONDUIT SHALL BE RUN IN CORNERS OR ON SIDE OF COLUMNS IN A NEAT AND ORDERLY WAY USING 90° CORNERS RUNNING PARALLEL TO WALLS, COLUUNS, BEAMS,IS AND OTHER CONDUITS TO ABOVE HIGHEST POINT OF BASEBOARD, AT WHICH POINT CONDUIT IS TO RUN HORIZONTALLY TO ACTUAL LOCATION OF OUTLET AS DIMENSIONED ON PLAN.
11. ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C. AND LOCAL CODES.
12. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTED BY ENGINEER/ARCHITECT.
13. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. DEVICES, FOR ALL OUTLETS AS INDICATED.
14. PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES, AND WIRING DEVICES, FOR ALL OUTLETS AS INDICATED.
15. MATERIALS, PRODUCTS, AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SUCH AS APPEAR ON THE UL LIST OF APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF NEC, NEMA, AND ICEE.
16. ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE. DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK, ENCLOSURES. SHALL BE NEMA-1 FOR INDOOR LOCATIONS, NEMA 3R FOR OUTDOOR LOCATIONS OR AS OTHERWISE NOTED.
17. ALL PRODUCT SHALL BE UL APPROVED AND BEAR THE "UL" LABEL.

Date	
Description	
No.	

PRM Design Solutions, LLC.
2531 Killebrew Forest Ln. SW
Marietta, GA 30068
PH: 470.426.4580
E: design@prmdesignllc.com

PRM
Design Solutions, LLC.



DINING AREA EXPANSION FOR:
TABLA - BUCKHEAD
3005 PEACHTREE ROAD, SUITE D
ATLANTA, GA 30305

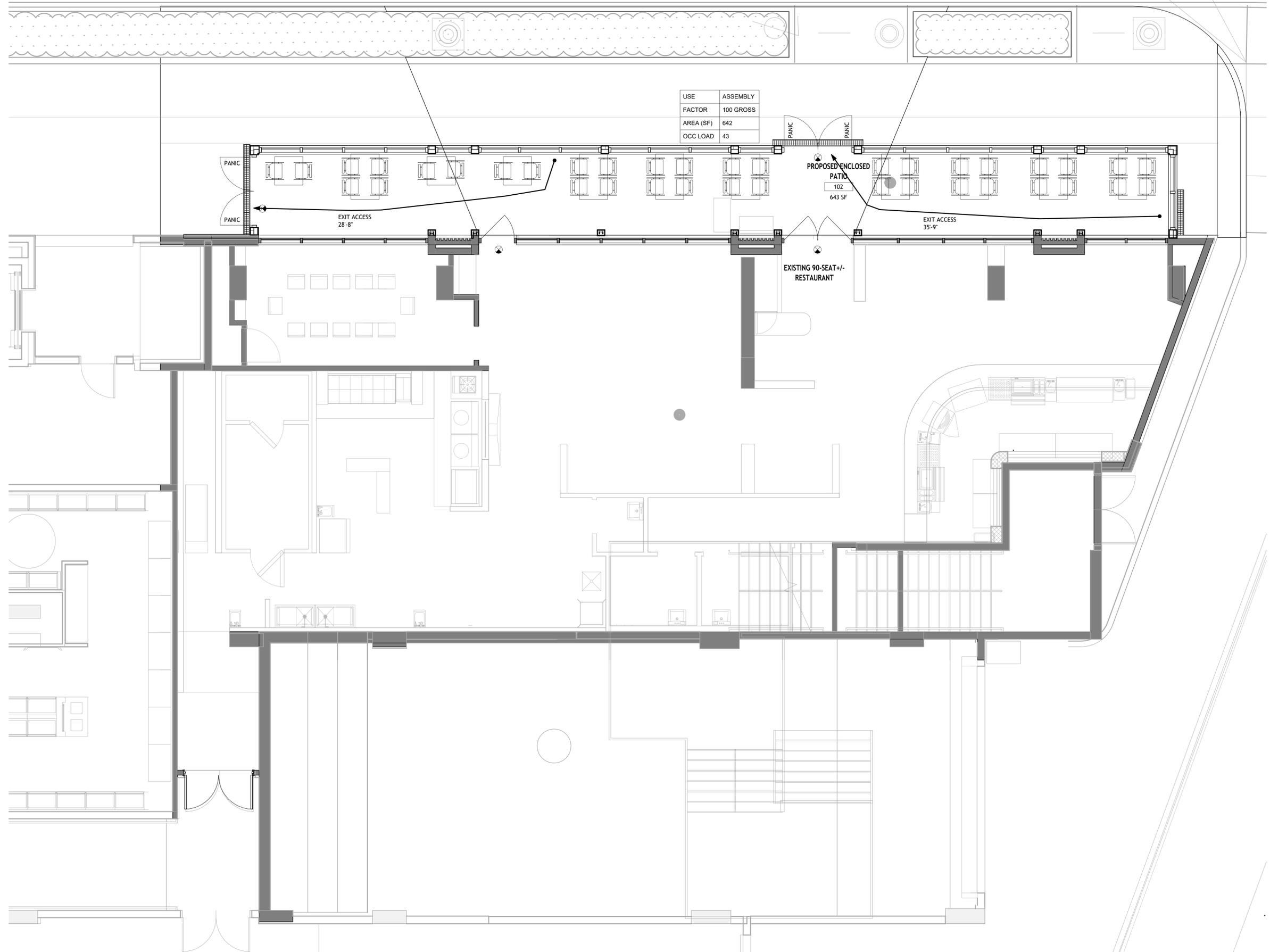
Project No:	25029
Date:	07.12.2025
Drawn by:	CAM
Chk by:	MS

GENERAL CONSTRUCTION NOTES

A-001

SCHEDULE FOR CONSTRUCTION

PHARR ROAD



USE	ASSEMBLY
FACTOR	100 GROSS
AREA (SF)	642
OCC LOAD	43

PROPOSED ENCLOSED PATIO
102
643 SF

EXISTING 90-SEAT +/- RESTAURANT

No.	Description	Date

PRM Design Solutions, LLC.
2531 Killebrew Forest Ln. SW
Marietta, GA 30068
PH: 470.426.4550
E: design@prmdesignllc.com

PRM
Design Solutions, LLC.



DINING AREA EXPANSION FOR:
TABLA - BUCKHEAD
3005 PEACHTREE ROAD, SUITE D
ATLANTA, GA 30305

Project No:	25029
Date:	07.12.2025
Drawn by:	CAM
Chk by:	MS

LIFE SAFETY PLAN

LS101

ISSUED FOR CONSTRUCTION

1 LIFE SAFETY PLAN
1/4" = 1'-0"

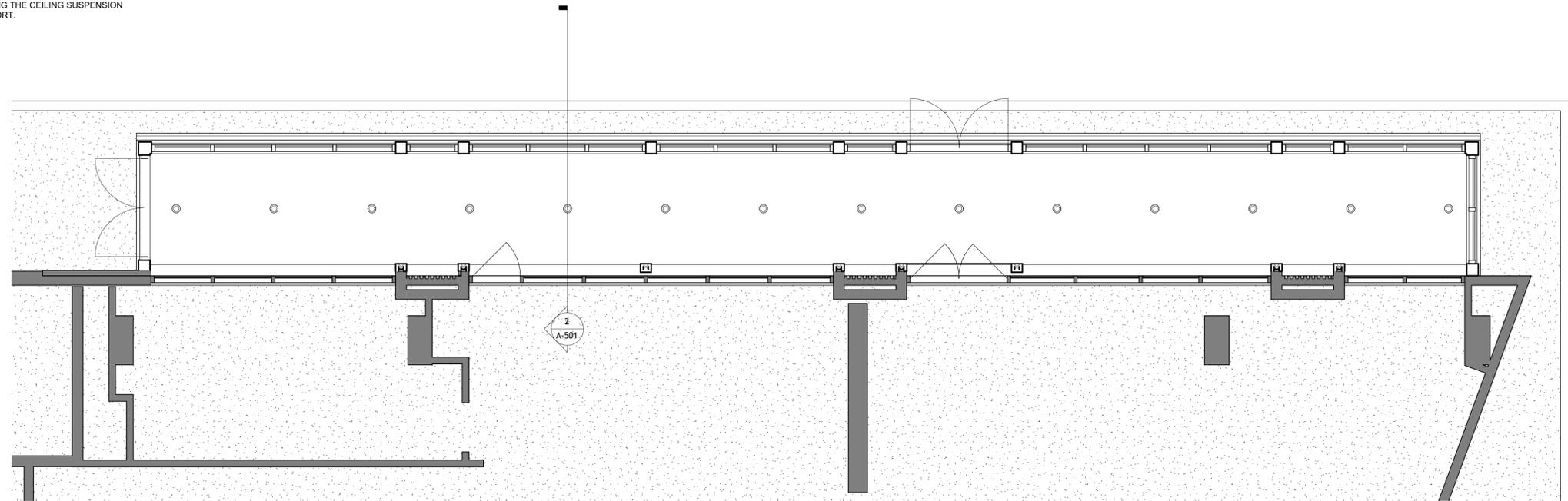
RCP NOTES

- NOTES:
- GENERAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED TO PROVIDE CLEARANCES FOR FIXTURES, DUCTS, CEILING, ETC. NECESSARY TO MAINTAIN THE SPECIFIED FINISHED CEILING HEIGHT ABOVE THE FINISHED FLOOR SLAB AS NOTED ON DRAWINGS. NOTIFY OWNER OF ANY DISCREPANCIES.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ROOF PENETRATIONS FOR HVAC EQUIPMENT AND PLUMBING - ALL ROOF FLASHING TO COMPLY WITH ROOF OR METAL BUILDING MANUFACTURER'S GUIDELINES AND DETAILS. COORDINATE LOCATIONS OF RATED WALL WITH FIRE/SMOKE DAMPERS & PENETRATIONS SEALS. REFERENCE LIFE SAFETY DIAGRAMS FOR EXTENTS OF UL RATED WALL, CEILING AND ROOF CONSTRUCTION AND CONSULTANT ENGINEERING DRAWINGS. NOTIFY OWNER OF ANY DISCREPANCIES.
 - COORDINATE ALL ACCESS PANEL LOCATIONS IN GWB CEILINGS AND RATED WALL ASSEMBLIES WITH MECHANICAL DRAWINGS.
 - CONTRACTOR TO COORDINATE LOCATION OF WATER HEATER AND ACCESS ABOVE GWB CEILING WITH MECHANICAL DRAWINGS.
 - ALL EXPOSED GYPSUM BOARD SHALL BE SEALED WITH ONE COAT OF SEALER AND TWO COATS SEMI-GLOSS ENAMEL. (RE: SPECS.)
 - FOR DETAILS NOT CALLED OUT ON REFLECTED CEILING PLAN, SEE INTERIOR ROOM ELEVATIONS.
 - ALL AV EQUIPMENT TO INCLUDE ELECTRONIC MENUS, MONITORS ETC. SHALL BE DONE BY OTHERS.
 - CEILING HEIGHTS SHOWN ARE FROM FINISHED CEILING SURFACE TO CONCRETE SLAB.
 - LOCATE ALL LIGHTS AND CEILING REGISTERS AS SHOWN.
 - REFER TO MECH. DRAWINGS FOR ALL REGISTERS AND DIFFUSERS.
 - REFER TO ELEC. DRAWINGS FOR ALL LIGHTING FIXTURES AND SPECIFICATIONS.
 - VERIFY AND LOCATE QUANTITY OF EXIT SIGNS. EMERGENCY LIGHTING AND SMOKE/HEAT DETECTION DEVICES AS REQUIRED BY CODE AND LICENSED ELECTRICAL SUB-CONTRACTOR.
 - INTERIOR PARTITIONS CANNOT CONNECT TO THE CEILING GRID.

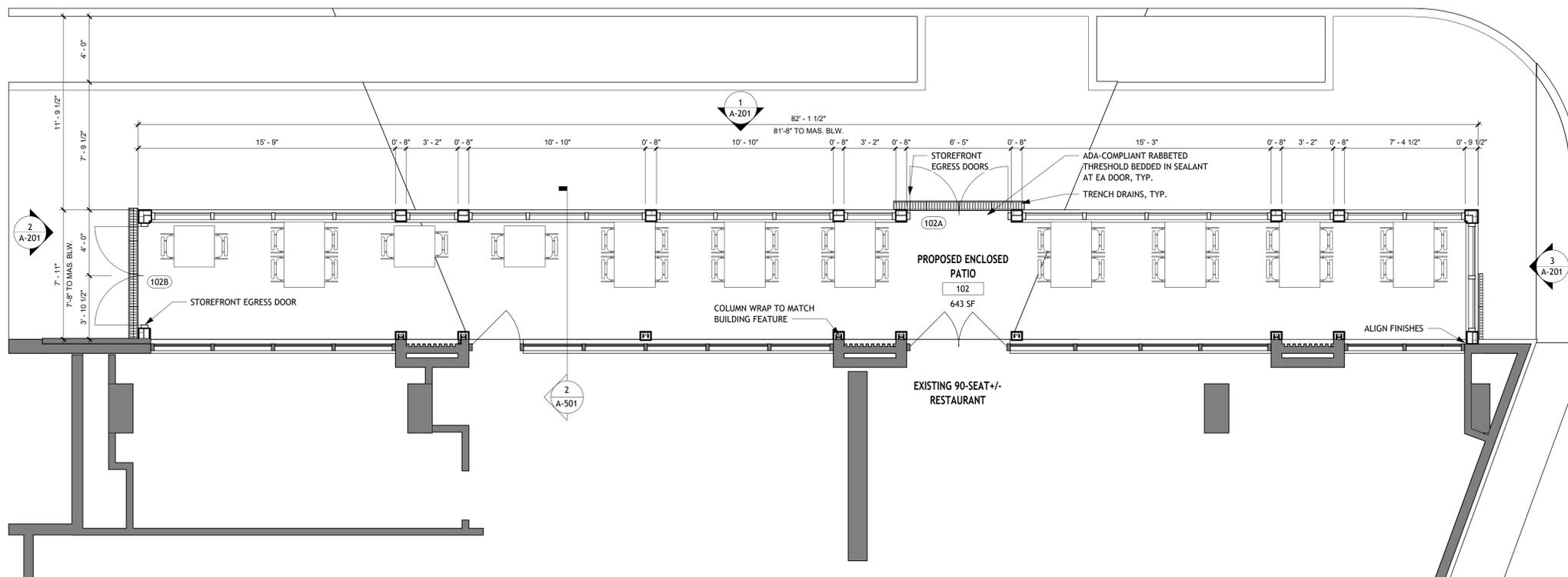
LIGHTING FIXTURES:

- ALL FIXTURES AND DEVICES SHALL BE CENTERED IN THE CEILING TILE UNLESS OTHERWISE NOTED.
- ALL FIXTURES SHALL BE CONTRACTOR FURNISHED AND INSTALLED.
- ALL LIGHT FIXTURES ARE SHOWN IN FIXTURE SCHEDULE FOR GRAPHICAL INDICATION ONLY.
- ALL WET AREAS RECEIVE APPROPRIATE WET CONDITION FIXTURES.
- ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSP. CEILING SYSTEM. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100% OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION NO. 12 GA. HANGERS SHALL BE ATTACHED TO THE GRID MEMBERS WITHIN 3" OF EACH CORNER OF EACH FIXTURE. TANDEM FIXTURES MAY UTILIZE COMMON WIRES.
- LIGHTING FIXTURES WEIGHING LESS THAN 56 LBS. SHALL HAVE, IN ADDITION TO THE REQUIREMENTS OUTLINED ABOVE, TWO NO. 12 GA. HANGERS CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK.
- LIGHTING FIXTURES 56 LBS. OR MORE SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.
- PENDANT-HUNG LIGHTING FIXTURES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE USING NO. 9 GA. WIRE OR APPROVED ALTERNATE SUPPORT WITHOUT USING THE CEILING SUSPENSION ITEM FOR DIRECT SUPPORT.

CEILING FINISHES SCHEDULE			
LABEL	MATERIAL	DESCRIPTIONS	REMARKS
ACT	2'x4' CEILING TILE	NOT USED	
ACT-2	2'x2' WASHABLE CEILING TILE	ARMSTRONG - CLEAN ROOM VL, FIRE GUARD, SQ. END NON-PERF. PANEL WITH PRELUDE GRID WHITE	
ACT-3	NOT USED	NOT USED	



2 REFLECTED CEILING PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

REFLECTED CEILING PLAN NOTES:

EXCEPT AS NOTED OTHERWISE, ARCHITECTURAL REFLECTED CEILING PLANS ESTABLISH THE LOCATIONS OF ALL VISIBLE CEILING DEVICES. ALL SPACES ARE TO BE EQUIPPED WITH A RETURN AND SUPPLY FOR AIR CIRCULATION. EACH SUITE WILL HAVE A THERMOSTAT TO ENSURE INDIVIDUAL COMFORTABILITY. INSTALL SUSPENDED CEILING THROUGHOUT TO AVOID INDUSTRIAL LOOK.

ALL ACT SUSPENDED CEILING HEIGHTS TO BE 10'-0" A.F.F. UNLESS NOTED OTHERWISE.

THE GC SHALL ABIDE BY AND BE RESPONSIBLE FOR ALL REQUIREMENTS STATED IN THE AIA DOCUMENT A201-GENERAL CONDITIONS (CURRENT ISSUE) UNLESS NOTED OTHERWISE.

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE. NO ALLOWANCE WILL BE MADE ON BEHALF OF THE CONTRACTOR OR SUBCONTRACTORS FOR FAILURE TO VISIT THE SITE.

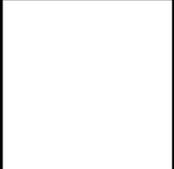
THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST FREE ENVIRONMENT WITHIN THE MAGNET VAULT.

THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.

THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.

NO.	REVISION	DATE



RESIDENTIAL - COMMERCIAL - HOSPITALITY - INDUSTRIAL
ONE PROJECT ARCHITECTURE, LLC
 YOUR DREAM - OUR PASSION
 691 EDGEWOOD AVE
 MARIETTA, GA 30067
 678.751.1250
 www.1PAArchitecture.com



NEW COVERED PATIO FOR:
TABLA RESTAURANT
 3005 PEACHTREE ROAD, SUITE 400
 ATLANTA, GA 30305

PROJ NO: 25029
 DATE: 07.12.2025
 DWN BY: MLS
 CKD BY: MLS

FLOOR PLAN

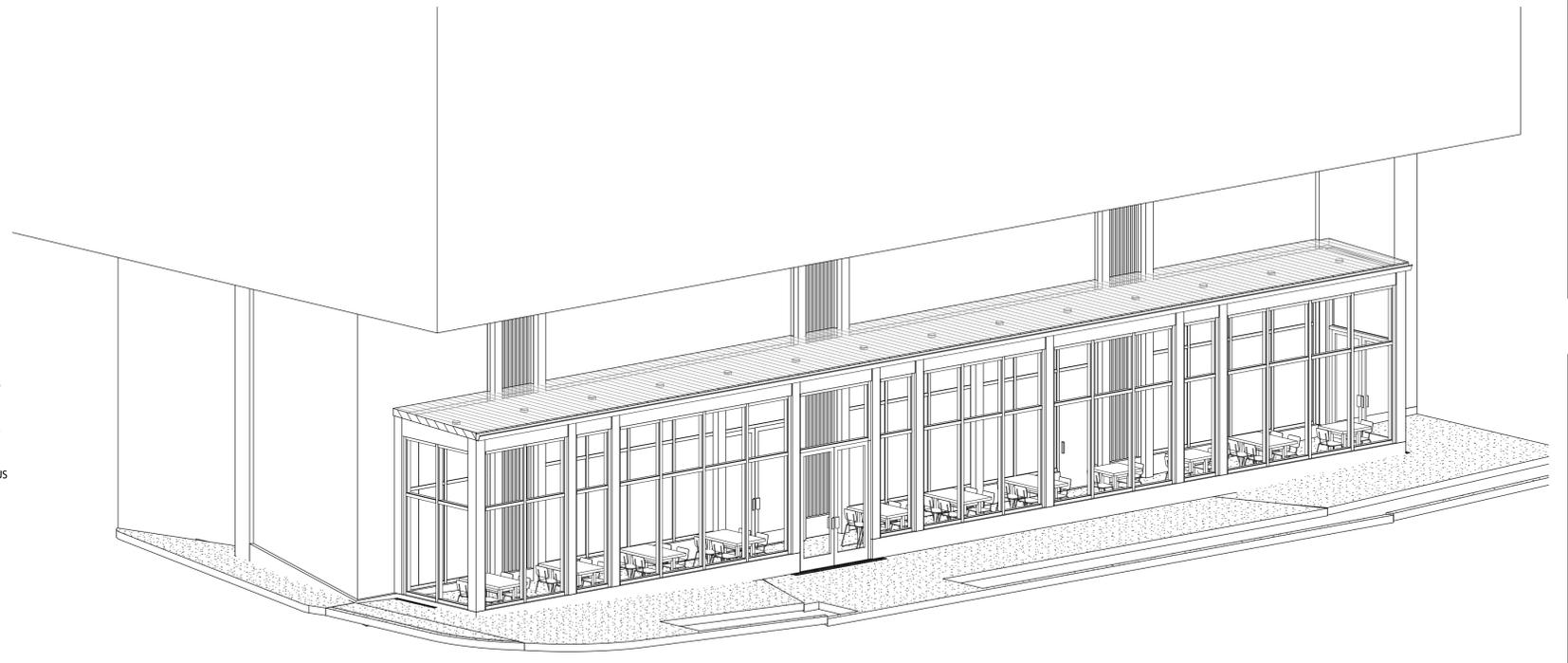
A-101

SCALE AS NOTED

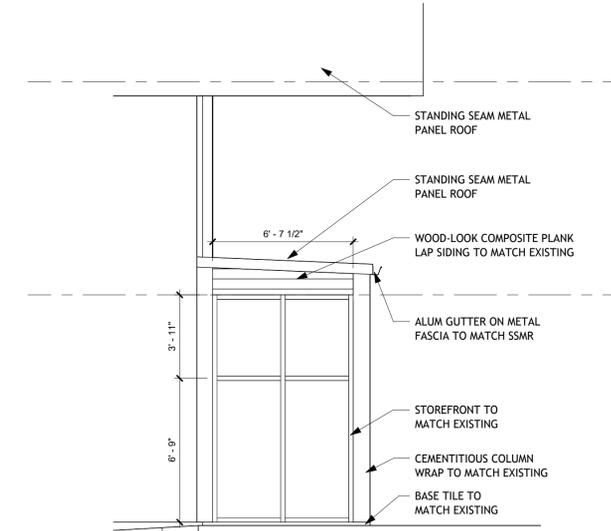
NOT FOR CONSTRUCTION



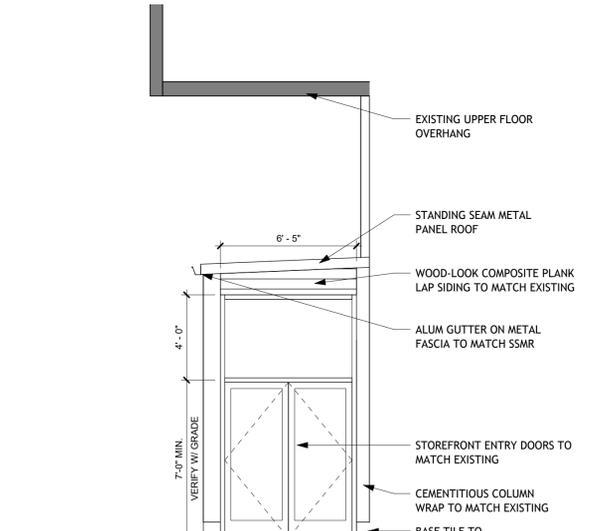
- EXISTING WOOD-LOOK COMPOSITE PLANK LAP SIDING MATERIAL TO BE MATCHED
- EXISTING STOREFRONT TO BE MATCHED
- EXISTING CEMENTITIOUS MATERIAL TO BE MATCHED
- EXISTING TILE BASE TO BE MATCHED



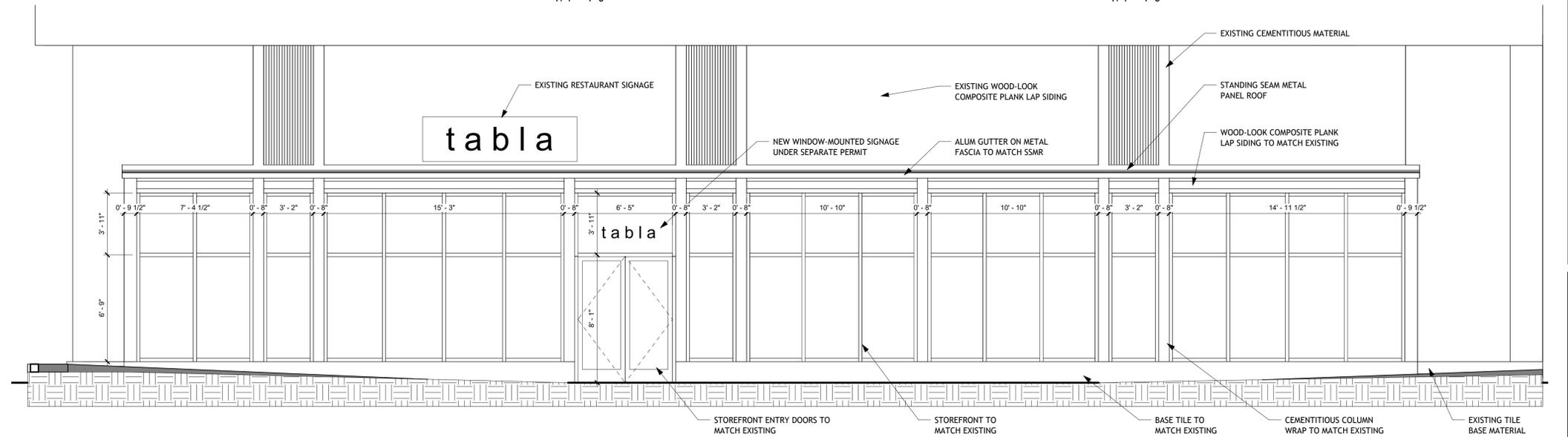
④ ENCLOSED DINING



③ RIGHT SIDE ELEVATIONS
1/4" = 1'-0"



② PEACHTREE ROAD ELEVATION
1/4" = 1'-0"



① REAR ELEVATION
1/4" = 1'-0"

No.	Description	Date

PRM
PRM Design Solutions, LLC.
2531 Killebrew Forest Ln SW
Marietta, GA 30068
PH: 470.426.4550
E: design@prmdesignllc.com
Design Solutions, LLC.

STATE OF GEORGIA
08.02.2025
MATTHEW L. SILVI
REGISTERED ARCHITECT
REGISTRATION NO. RA018983

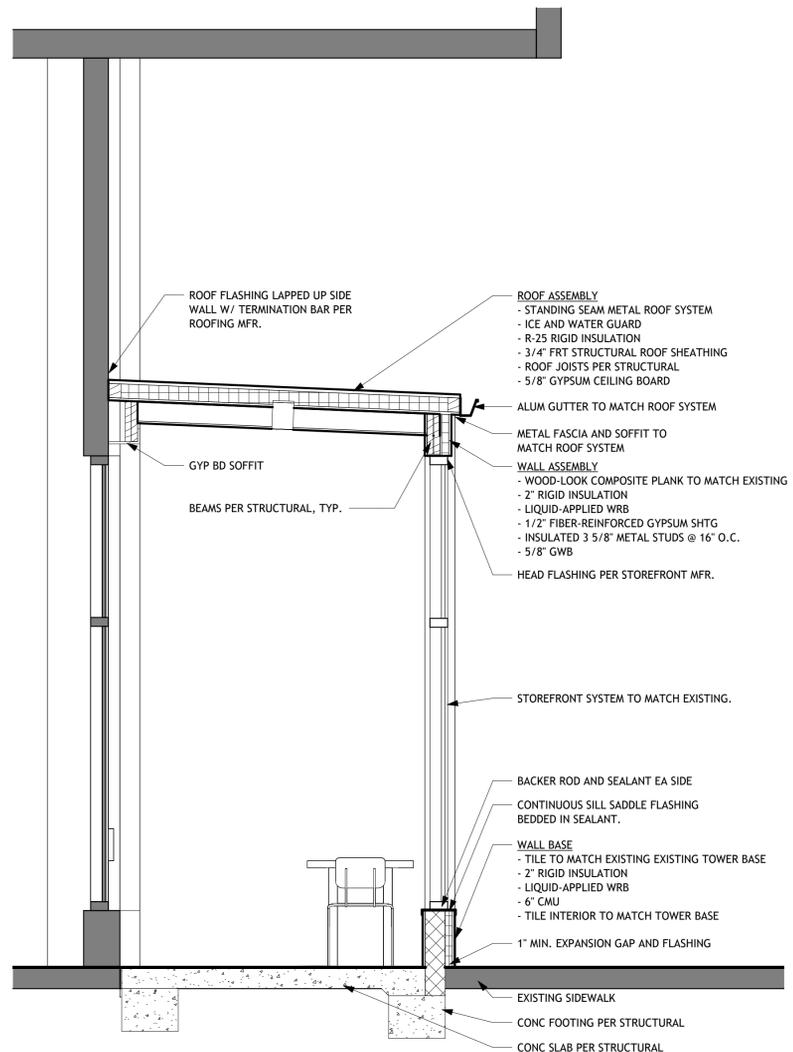
DINING AREA EXPANSION FOR:
TABLA - BUCKHEAD
3005 PEACHTREE ROAD, SUITE D
ATLANTA, GA 30305

Project No:	25029
Date:	07.12.2025
Drawn by:	CAM
Chk by:	MS

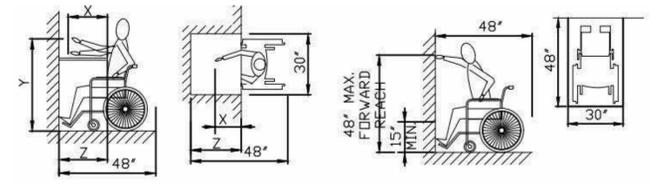
BUILDING ELEVATIONS
A-201
ISSUED FOR CONSTRUCTION

DOOR SCHEDULE

Mark	Door				Frame		Hardware						Comments		
	Width	Height	Thickness	Material	Finish	Door Type	Material	Finish	Fire Rating Label	Lockset	Closer	Hinges		Gaskets	Other
102A	6'-0"	8'-0"	0'-2"	ALUM	M.E.	FULL-LITE	ALUM	M.E.	0-HR	ENTRY	OH	CONT	WEATHER	ADA-COMPLIANT RABBETED THRESHOLD	BED THRESHOLD IN SEALANT
102B	6'-0"	7'-4"	0'-2"	ALUM	M.E.	FULL-LITE	ALUM	M.E.	0-HR	ENTRY	OH	CONT	WEATHER	ADA-COMPLIANT RABBETED THRESHOLD	BED THRESHOLD IN SEALANT

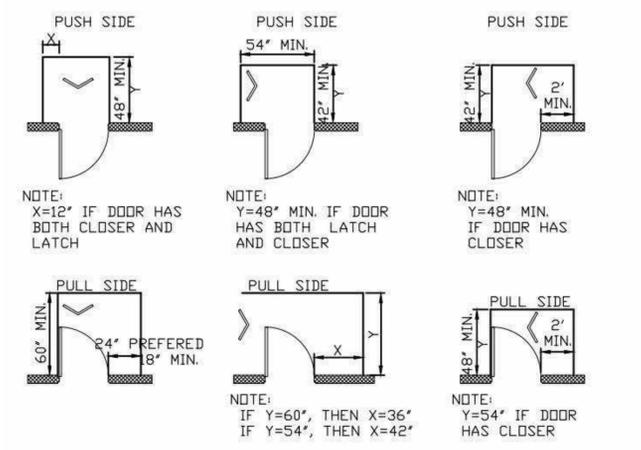
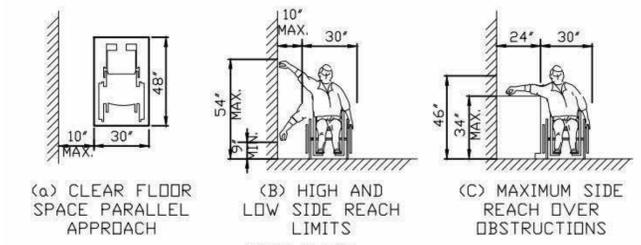


2 COVERED DINING SECTION
1/2" = 1'-0"



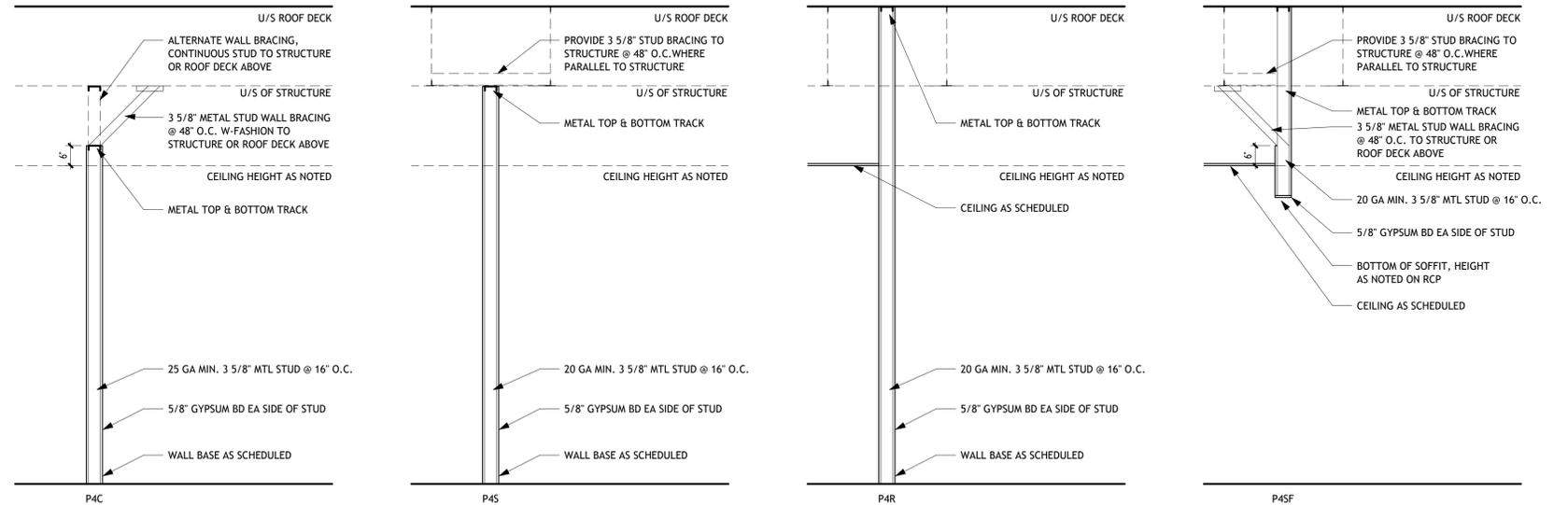
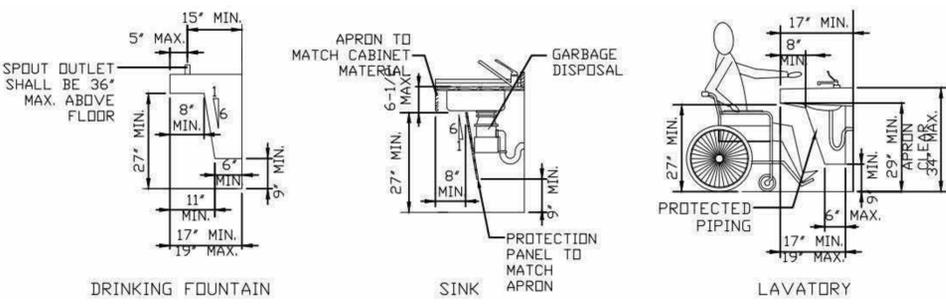
(a) MAXIMUM FORWARD REACH OVER AN OBSTRUCTION
NOTE: X SHALL BE 25% Z SHALL BE X WHEN X > 20", THEN Y SHALL BE 48" MAX. WHEN X IS 20-25", THEN Y SHALL BE 44" MAX.
FORWARD REACH

(b) HIGH FORWARD REACH LIMIT



FRONT APPROACHES HING SIDE APPROACHES LATCH SIDE APPROACHES

NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES



1 PARTITION TYPES
1/2" = 1'-0"

Date
Description
No.

PRM Design Solutions, LLC.
2531 Killebrew Pkwy, Suite 100
Marietta, GA 30068
PH: 470.426.4550
E: design@prmdesignllc.com

PRM
Design Solutions, LLC.

STATE OF GEORGIA
08.02.2025
MATTHEW L. SILVI
REGISTERED ARCHITECT

DINING AREA EXPANSION FOR:
TABLA - BUCKHEAD
3005 PEACHTREE ROAD, SUITE D
ATLANTA, GA 30305

Project No:	25029
Date:	07.12.2025
Drawn by:	M.SILVI
Chk by:	M.SILVI

PTN TYPES & DETAILS

A-501

DESIGNED FOR CONSTRUCTION

Great American Construction Co., Inc.

3330 Cobb Pkwy ~ Acworth, GA 30101 ~ gac2121@bellsouth.net

September 4, 2025

City of Atlanta Office of Zoning & Development

55 Trinity Ave SW # 3350

Atlanta, GA 30303

Re: Special Administrative Permit Application – TABLA Outdoor Dining Patio

To Whom It May Concern,

I am submitting this letter in support of our Special Administrative Permit (SAP) application for **TABLA 3005 Peachtree Rd Ste D Atlanta, GA 30305**. The purpose of this application is to obtain approval for the construction of a new outdoor dining space to enhance customer experience and support the continued success of said business within the community.

Project Description: The proposed project consists of the addition of a covered outdoor patio adjacent to the existing restaurant building. The structure will feature:

- **Framing and structural construction** to integrate seamlessly with the existing building.
- **Slider windows and doors** to allow flexible use of the space in varying weather conditions.
- **HVAC modifications** to ensure proper ventilation and comfort for patrons.
- **Electrical work** including installation of lighting and ceiling fans for safety, functionality, and ambiance.

All work will comply with applicable building codes and design standards. The design intention is to maintain architectural consistency with the existing restaurant while creating a welcoming, functional dining area.

Justification for Administrative Variations (if applicable):

Should any administrative variations be required during the review of this application, we respectfully request consideration based on the following:

1. **Compatibility with Surroundings:** The proposed patio is designed to complement the existing structure and surrounding streetscape without adversely impacting neighboring properties.
2. **Enhanced Community Use:** The covered patio will provide additional dining options, encouraging pedestrian activity and supporting the vitality of the area.
3. **Minimal Impact:** The project is modest in scale, confined to the existing restaurant site, and does not increase building height or encroach on adjacent properties.

We believe this project will have a positive impact on the restaurant, its patrons, and the surrounding community by expanding accessible dining options while maintaining compliance with zoning and development standards.

Thank you for your consideration of this application. Please do not hesitate to contact me at **770-310-4378** or gac2121@bellsouth.net should you need additional information or supporting documentation.

Carl Conforti

CEO

Great American Construction Co., Inc.