Smith Hanes

7 7 0 7 8 0 | 3 | 6 949 w. marietta st nw #x-113 atlanta, ga 30318 - 5276 smith@smithhanes.com

Margaret McBride, RA

October 22nd, 2024

City of Atlanta Office of Zoning & Development 55 Trinity Avenue Atlanta, GA 30303

Design Review Committee for SPI-9 SAP Application - Project Summary Letter

Project: 99 West Paces (Restaurant) Address: 99 West Paces Ferry Rd NW Atlanta, GA 30305 Project Area: 3,576 SF Interior Conditioned Area (+744 SF Kitchen Mezzanine) Building Height: 12 Story High Rise, Tenant Space Height is ~18'-0"

To Whom it May Concern,

This project consists of a Commercial Tenant Fit-up for a Restaurant & Bar at 99 West Paces Ferry Rd. The 3,576 SF existing space is at the Ground Level of the multi-story Residential building with no adjacent tenants. Tenant space is adjacent to underground parking garage entry and parking is provided for the tenant in the garage. See following pages to this letter for exterior existing imagery.

The scope of work for this project is majority interior work that includes new floor infill slab, new steel framed mezzanine above Kitchen of 744 sf, new interior partitions, new finishes, furniture and fixtures along with related mechanical, electrical and plumbing work.

Exterior alternations are limited in scope of work and only include modifications to existing storefront along West Paces Ferry frontage. We are proposing 239 sf of dark stone cladding at one section of existing storefront to create an upscale and dramatic emphasis on the entry to this restaurant that we think aesthetically also aligns with the overall building as well as the look and feel of the interior of the restaurant. This change to the finish of the existing building at this portion of the storefront, we feel, directly speaks to the existing dark tone and language of the storefront it is replacing / covering. This restaurant wants to create a sense of permanence and richness with texture by elevating the finish to a dark stone cladding that differentiates itself only slightly to create presence along the streetfront.

The adjustments to the exterior finishes at the facade are limited to 12'-6" in height from the sidewalk and consist of a stone cladding finish over new substrate and exterior assembly that connects to existing structure. New infill wall with cladding is in-line with existing storefront for 10'-7" and remaining portions of storefront on each side have cladding system proud of them by a few inches. This is to create depth with a minimal shadow line at the entry area and to minimize storefront alterations where possible. Stone cladding is from Marmi - Black Cardosa Finish. Entry doors are custom Sho Sugi Ban wood plank with custom hardware and pulls by Mill & Woods. Finishes and hardware are all code compliant. All awnings, lighting and existing exterior storefront and finishes to remain. No exterior dining or outdoor patio seating is planned for.

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These alterations to the existing storefront for an opaque new finish and door will reduce the fenestration percentage calculations by 4% for the length of the building along West Paces Ferry at ground level. In addition, the design at the interior side of the storefront along West Paces does obscure the view to the interior with partitions to fully enclose the space in a manner consistent with other Omakase restaurants. Remaining fenestration on the building outside the scope would not change, nor would the overall space or scope of uses for the building.

We are Requesting a Variation from the Atlanta zoning code 16-18I.017-5 fenestration requirement of 65%. We are covering 239 sf of storefront / fenestration, which calculates a 4% decrease in fenestration from 65.3% down to 61.3% for the length of the street frontage along West Paces Ferry at ground level.

Recommendations Regarding Variations:

Sec. 16-18I.017.5: Fenestration including all window and door openings shall be provided at the sidewalk level for a minimum of 65 percent of the length of the building for nonresidential uses. The code requires 65% fenestration along West Paces Ferry Road and the approved SAP 18-131 which allowed for construction of the full building met this requirement at 65.3%. While this SAP will only modify a portion of the full street frontage, fenestration in the affected area will drop to zero and significantly reduce the overall fenestration to well below code requirements.

Recommendation: One of the major goals of the Special Public Improvement District regulation is to create a walkable community. Fenestration requirements are a key tactic to achieve this as they are intended to create an engaging pedestrian experience along the adjacent sidewalk by allowing passersby to see into the establishment. While the committee understands, the applicant desires to achieve an intimate feeling inside the space, the proposed approach, literally blocking out the windows, would set an undesirable precedent counter to the goals of the district. Therefore, the committee recommended the applicant revise their design, particularly as it relates to the treatment of the windows along West Paces Ferry that are not proposed to receive the stone and wood entrance treatment.

<u>Specifically</u>, the committee suggested the following potential options, but is also open to considering alternative ideas to be proposed by the applicant:

- Reconfigure the layout of the restaurant to allow for the remaining windows along West Paces to be converted into (retail) display windows that are internally illuminated and provide visual interest to pedestrians.
- 2. Establish an artistic, visually attractive installation on the street facing side of the proposed partition walls to provide an engaging pedestrian experience on the exterior of the space,
- 3. Retain the windows proposed to be converted to opaque glass and walled over in some manner to allow for pedestrians to look into the restaurant before 5p.

Additional Recommendations: None Smith Hanes 770 780 1316 949 W. MARIETTA ST NW #X-113 ATLANTA, GA 30318 - 5276 SMITH @SMITHHANES.COM

Design Team Response to DRC Recommendations:

For Resubmission and Response to the DRC Recommendations above, we are submitting revised design drawings. The change to the design aligns with the DRC Recommendation #3.

Our revision to the design proposes to keep the existing storefront and visibility into the space from the sidewalk for the central portion of windows. We have removed the interior partition and will plan for views in and out at this section. The portion of windows at the far right / East side of our space along West Paces Ferry will have some custom wine storage and cooling equipment that will not allow for any views to the interior of the space. Our design intent is to keep those windows in the design as opaque.

Thank you in advance for your consideration,

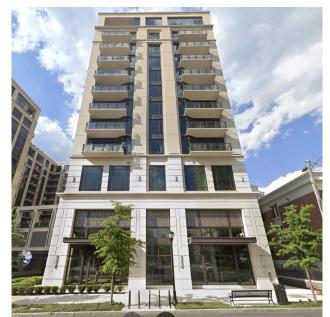
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Margaret McBride, RA Smith Hanes Studio

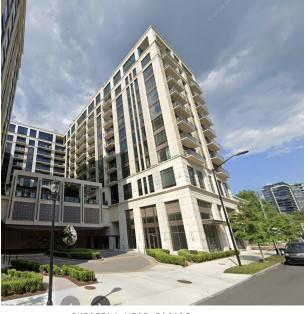


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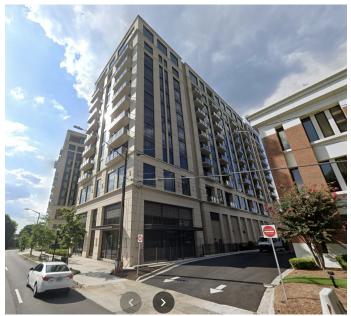
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EXISTING SOUTH FACADE West Paces Ferry Frontage



EXISTING WEST FACADE



EXISTING EAST FACADE

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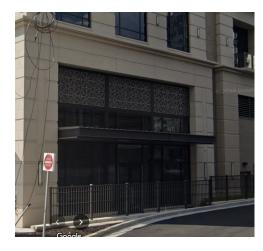
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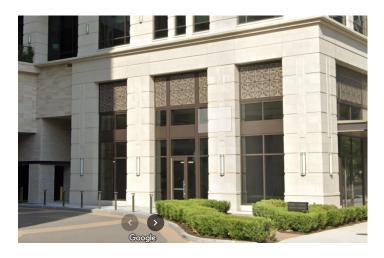
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EXISTING SOUTH FACADE West Paces Ferry Frontage

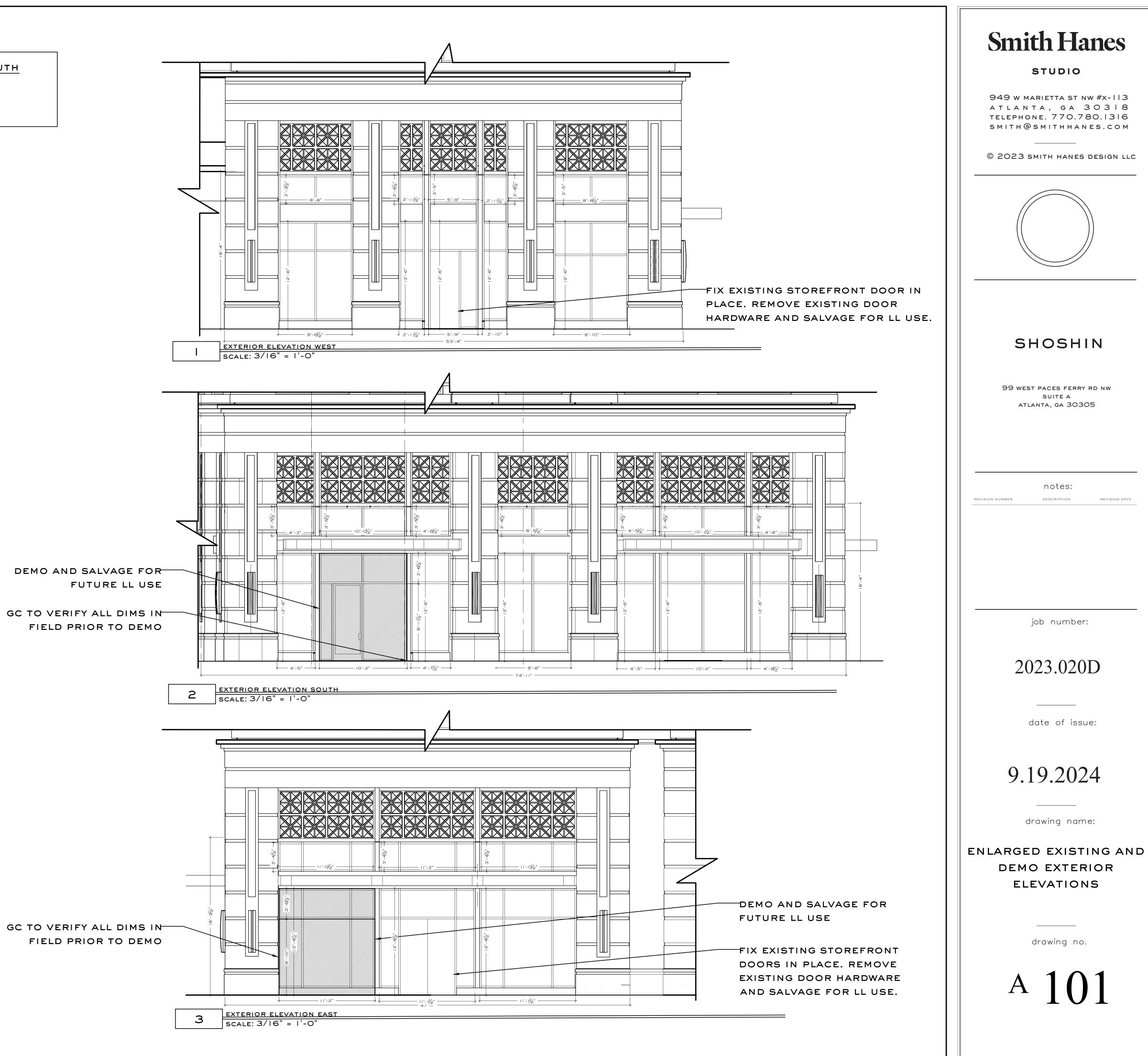


EXISTING EAST FACADE



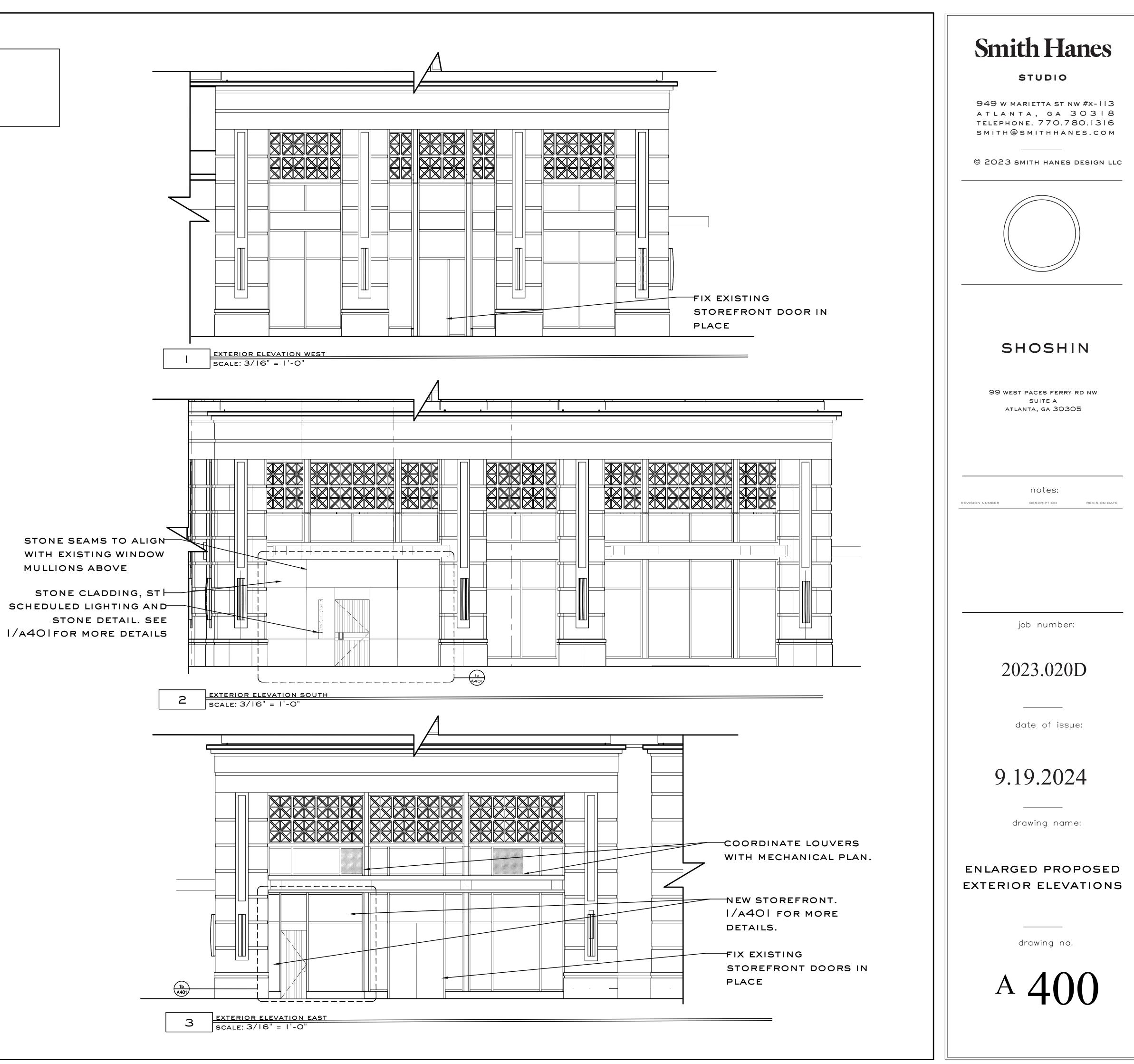
EXISTING WEST FACADE

FENESTRATION CALCULATIONS : EXISTING FACADE SOUTH FACADE AREA - 5,963.4SF FENESTRATION AREA - 3,894.1SF PERCENTAGE FENESTRATION - 65.3%

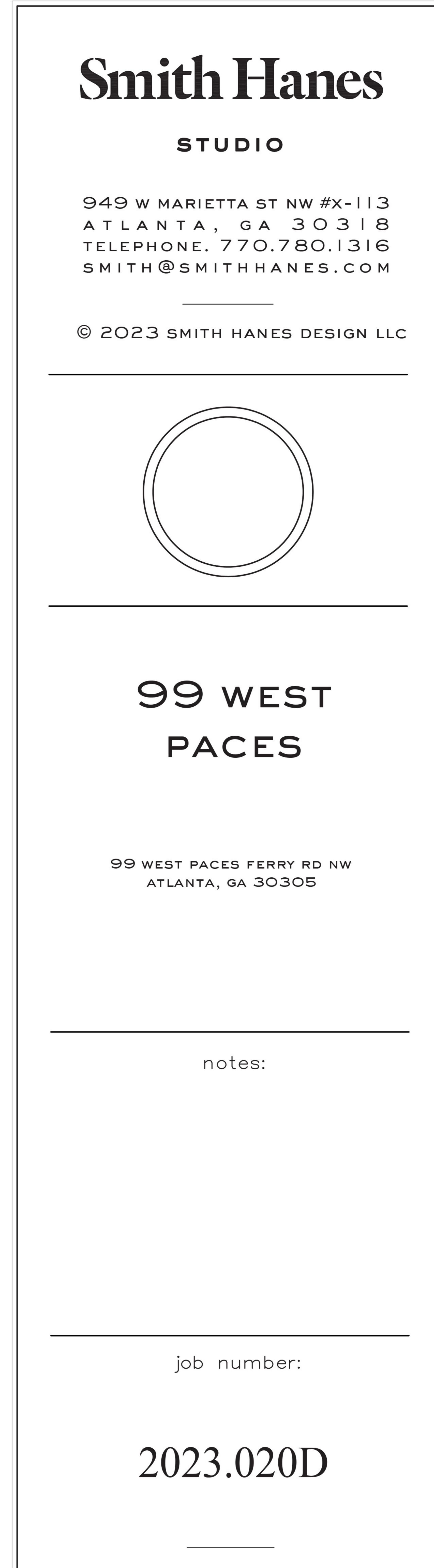


FENESTRATION CALCULATIONS : FACADE SOUTH FACADE AREA - 5,963.4SF FENESTRATION AREA - 3,533.1SF PERCENTAGE FENESTRATION - 59.2%

MULLIONS ABOVE







date of issue: