

11.26.2024

Rhodes Adair  
Senior Manager, Investments  
Regency Centers  
3715 Northside Parkway NW, Suite 4-400  
Atlanta, GA 30327

Re: SAP-21-095 Buckhead Landing

To whom it may concern:

Regarding the presence of a breeze block knee wall on a non-street-facing patio at Buckhead Landing: it is my view that there are no practical or code-based justifications for the wall's removal.

The breeze block wall was added to the project for multiple design reasons. First, the natural slope of the site created a drop-off in this general area, which we mitigated through the introduction of bleacher seating and stepped planters, supplemented by the breeze block wall to further limit any risk to the patio's patrons. Second, the elevation of the patio relative to the adjacent sidewalk and drive aisles allows the knee wall to act as a modesty panel for anyone seated on the patio. Third, the breeze block contributes to the overall project and patio aesthetic while performing the important functions listed above. Please note: the breeze block wall is not intended to host signage – any previous renderings indicating signage in this location is not a current representation of the design.

From a code standpoint, the Zoning code does not list any restrictions that would conflict with the design of the wall as-is. Regulations on fences and walls are located in Zoning Sec. 16-181.017(6) and list three primary controls (items a-c below). I have commented below each control on why it does NOT apply in this situation.

- a. Fences and walls shall only be allowed in the supplemental zone when meeting the following regulations:
  - o Fences and walls are not prohibited because none of the area between the parking lot at Buckhead Landing and the patio is a supplemental zone. The "supplemental zone" is defined (Zoning Sec. 16-181.016) as "the area between any building, parking lot or parking structure and the back of the required sidewalk walk zone when no intervening building exists". Therefore, we need both a required sidewalk walk zone and a building to create a supplemental zone. We have a building, but there is no "required sidewalk walk zone", because the definition of a sidewalk (Zoning Sec. 16-181.015) stipulates that sidewalks are only required along public streets. The parking lot is not a public street.
- b. Fences and walls located between the primary building and the lot line and not exceeding six feet in height may be erected but shall not be permitted between the primary building and the street.
  - o Fences and walls are not prohibited because the area in question does not fall between the building and the lot line or the building and the street.
- c. No barbed wire, razor wire, chain link fence or similar elements shall be visible from any public plaza or sidewalk-level outdoor dining area, or public right-of-way.
  - o A breeze block wall is not similar to barbed wire, razor wire, or chain link therefore it is not prohibited.

If you have any comments or questions feel free to reach out.

Regards,

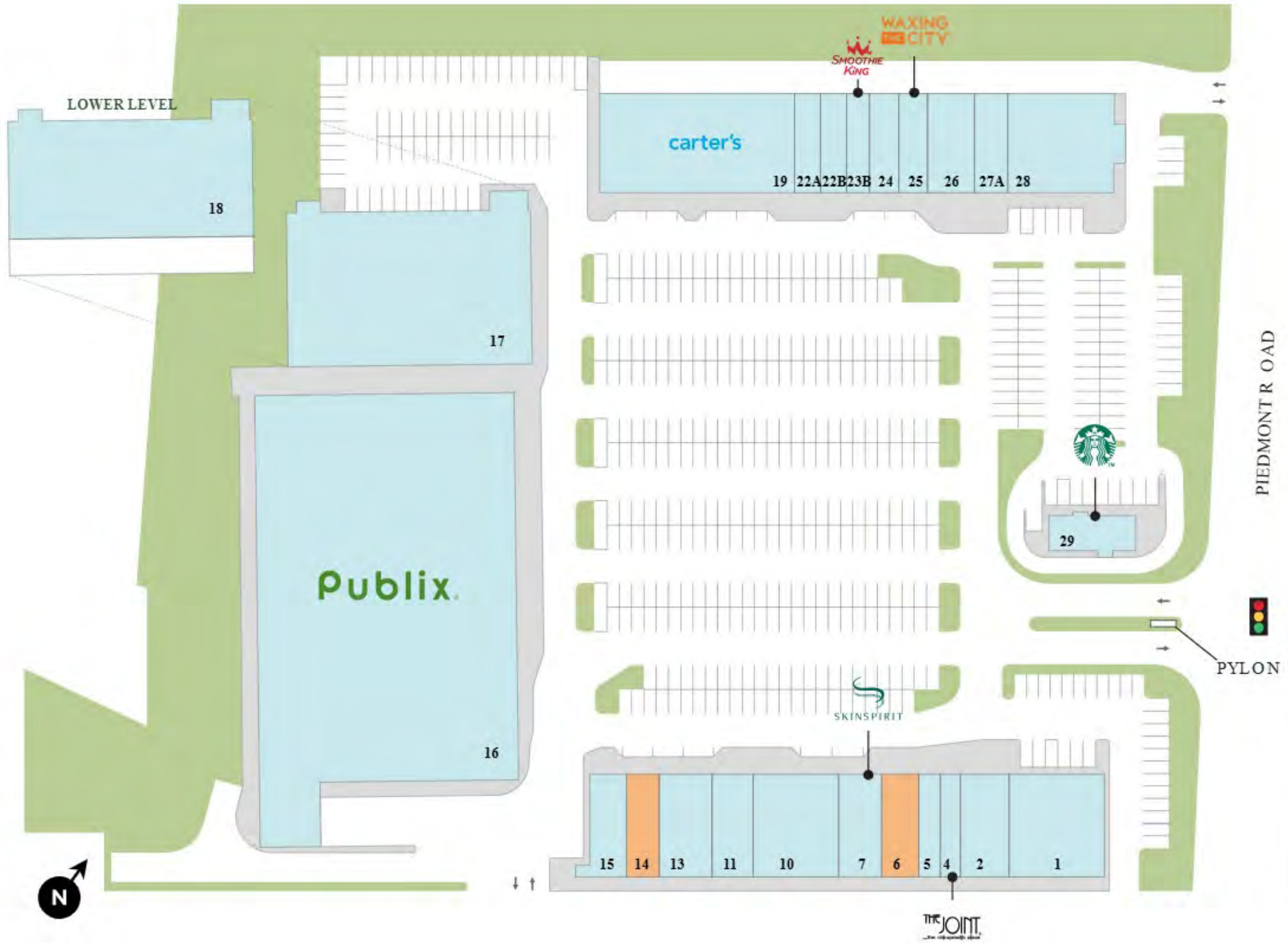


Evan Burch, AIA  
GA RA016282  
Associate









THE JOINT







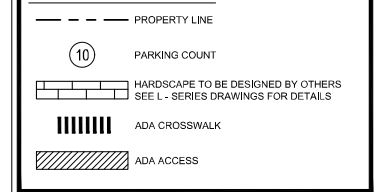
**DEVELOPMENT SUMMARY:**

<b>SITE SUMMARY:</b>	
NET LOT AREA:	10.88 ACRES 474,206 SF
EXISTING GROCERY SQUARE FOOTAGE TO BE REMOVED:	55,187 SF
EXISTING BUILDING SQUARE FOOTAGE TO REMAIN:	97,622 SF
PROPOSED BUILDING SQUARE FOOTAGE:	54,965 SF
TOTAL BUILDING SQUARE FOOTAGE:	152,017 SF
TOTAL FLOOR AREA RATIO (FAR):	0.32
TRANSITIONAL YARD (REAR YARD):	35 FT
<b>USEABLE OPEN SPACE:</b>	
USEABLE OPEN SPACE REQUIRED (UOSR):	47,421 SF
50% OF UOSR QUALIFYING AS PUBLIC SPACE:	23,711 SF
PROVIDED USEABLE OPEN SPACE:	48,000 SF
UOSR QUALIFYING AS PUBLIC SPACE:	24,054 SF
<b>PARKING SUMMARY:</b>	
VEHICLE PARKING:	522 SPACES
EXISTING:	522 SPACES
MINIMUM REQUIRED:	75 SPACES
MAXIMUM ALLOWED:	522 SPACES
PROPOSED PARKING AFTER RESTRIPING:	481 SPACES
*PER APPROVED ZONING ORDINANCE (Z-21-07), PROPOSED PARKING COUNT WILL NOT EXCEED EXISTING PARKING COUNT.	
BICYCLE PARKING:	38 SPACES
MINIMUM REQUIRED:	38 SPACES
PROPOSED:	38 SPACES
LOADING DOCK REQUIRED:	1 - 12' X 35' SPACE
LOADING DOCK PROVIDED:	1 - 12' X 35' SPACE

**SITE NOTES:**

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREIN IS FROM AN ELECTRONIC FILE PROVIDED BY ASD | SKY, DATED 05/16/2022 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITIONS SHOWN HEREIN ARE FROM A SURVEY FILE PROVIDED BY LEICRAW ENGINEERING INC., DATED 03/7/2018.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE. ALL PAVEMENT MARKINGS TO BE INSTALLED WITH SLIP RESISTANT PAINT.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
7. ALL PAVEMENT MARKINGS TO BE INSTALLED WITH SLIP RESISTANT PAINT.

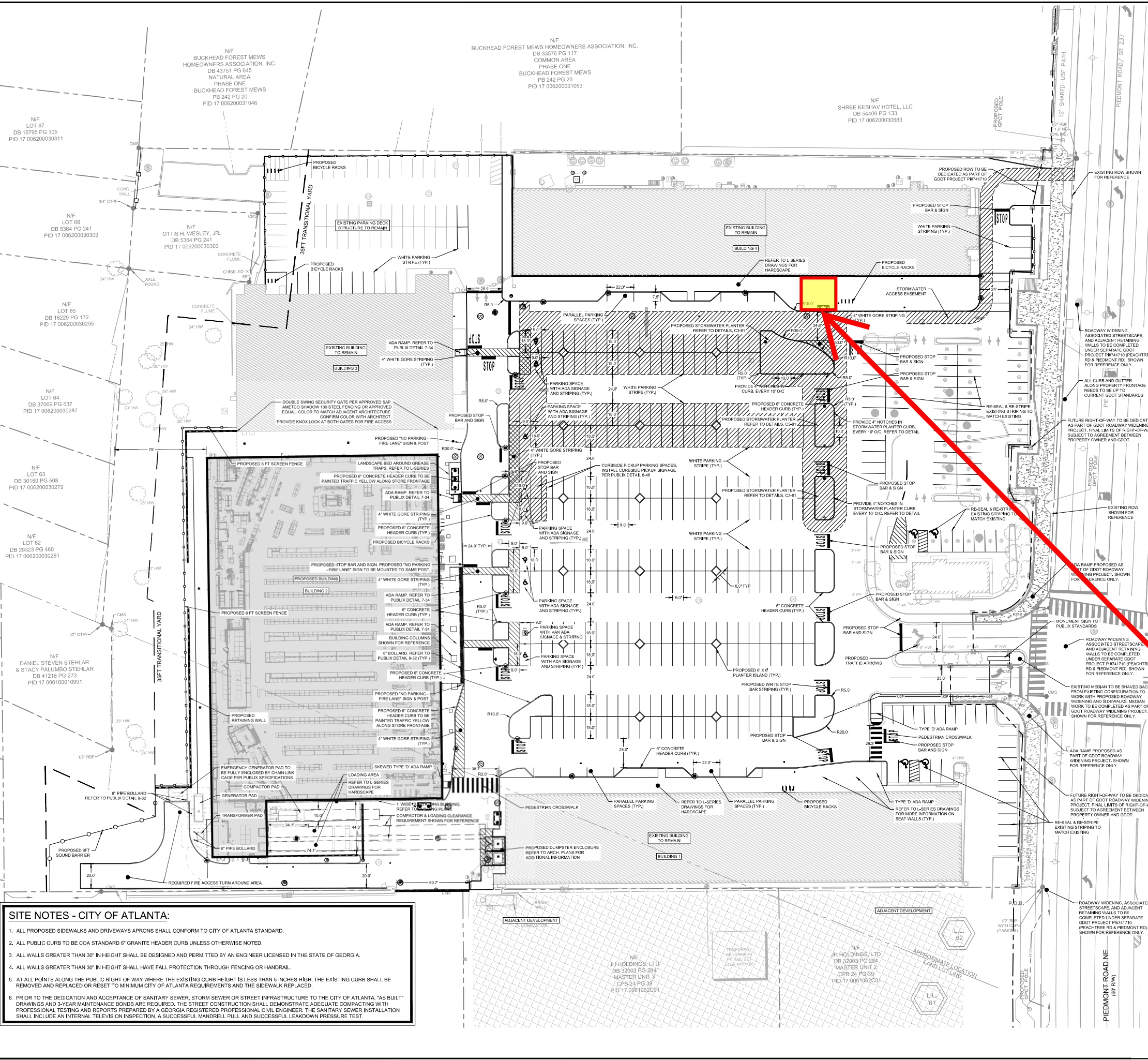
**SITE PLAN LEGEND:**



**GENERATOR NOTES:**

1. PROPOSED LOCATION OF STORAGE TANK(S) AT THE SUBJECT SITE IS:
1. NOT WITHIN 500 FEET OF ANY EXISTING COMMUNITY WATER SUPPLY WELL.
2. NOT WITHIN 500 FEET OF ANY NON-TRANSIENT, NON-COMMUNITY WATER SUPPLY WELL.
3. NOT WITHIN 100 FEET OF ANY OTHER EXISTING POTABLE WATER SUPPLY WELL.

**Proposed Outdoor Dining area for suite 26. No permitted site work or exterior facade work is required for this.**



- SITE NOTES - CITY OF ATLANTA:**
1. ALL PROPOSED SIDEWALKS AND DRIVEWAYS APRONS SHALL CONFORM TO CITY OF ATLANTA STANDARD.
  2. ALL PUBLIC CURB TO BE COA STANDARD 6" GRANITE HEADER CURB UNLESS OTHERWISE NOTED.
  3. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
  4. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL.
  5. AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 6 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF ATLANTA REQUIREMENTS AND THE SIDEWALK REPLACED.
  6. PRIOR TO THE DEDICATION AND ACCEPTANCE OF SANITARY SEWER, STORM SEWER OR STREET INFRASTRUCTURE TO THE CITY OF ATLANTA, "AS BUILT" DRAWINGS AND 3-YEAR MAINTENANCE BONDS ARE REQUIRED. THE STREET CONSTRUCTION SHALL DEMONSTRATE ADEQUATE COMPACTING WITH PROFESSIONAL TESTING AND REPORTS PREPARED BY A GEORGIA REGISTERED PROFESSIONAL CIVIL ENGINEER. THE SANITARY SEWER INSTALLATION SHALL INCLUDE AN INTERNAL TELEVISION INSPECTION, A SUCCESSFUL MANDRELL PULL AND SUCCESSFUL LEAKDOWN PRESSURE TEST.



**REGENCY CENTERS**  
3715 NORTHSIDE PARKWAY NW #400  
ATLANTA, GEORGIA 30305  
PHONE: 404.575.3200

NO.	REVISION DESCRIPTIONS	DATE	BY
01	ISSUED FOR PERMIT	05/09/23	DLP
02	REVISION TO SITE DEVELOPMENT	05/09/23	DLP
03	PUBLIC REVIEW SET	05/09/23	DLP
04	PUBLIC REVIEW SET	05/09/23	DLP
05	SITE DEVELOPMENT RESUBMITTAL	05/09/23	DLP
06	VERTICAL DIMENSIONAL SUBMITTAL	05/09/23	DLP
07	CITY OF ATLANTA SANITATION REVIEW SUBMITTAL	05/09/23	DLP
08	FULTON COUNTY HEALTH SUBMITTAL	05/09/23	DLP

**BUCKHEAD LANDING**  
3300 BUCKHEAD BLVD, ATLANTA, GA 30305  
LAND LOT 61 & 62, 17TH DISTRICT

**GEORGIA 811**  
Call before you dig.

05/09/23

GEWCC CERT. LEVEL: 0000076496  
DRAWN BY: DLP  
DESIGNED BY: DLP  
REVIEWED BY: ZLR  
DATE: 07/08/2022  
PROJECT NO: 012733046  
TITLE: SITE PLAN  
SHEET NUMBER: C2-00

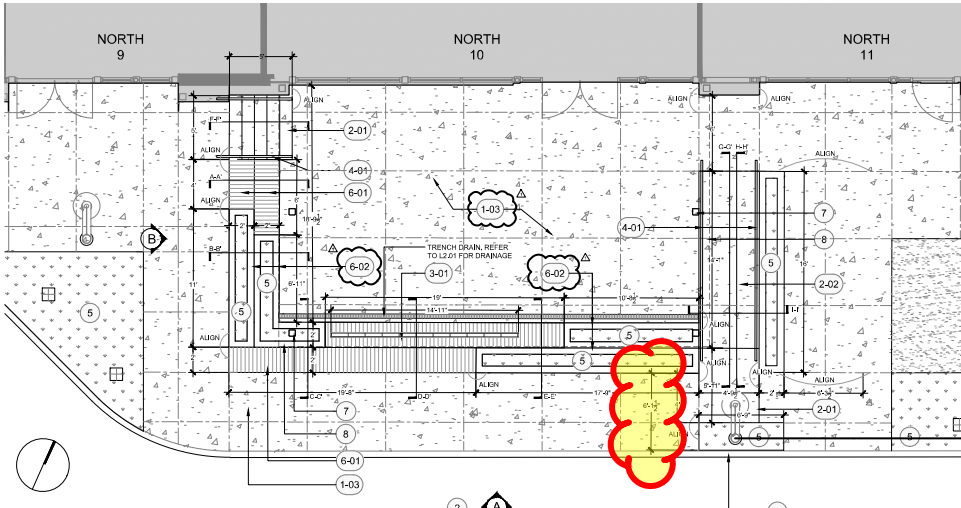
ISSUED FOR CONSTRUCTION

Drawing name: Kimley-Horn\_010102733046\_disco.krogerCAD\BuckheadC2-00\_SITE PLAN.dwg, C2-00 SITE PLAN, May 09, 2023, 10:10am, by: Dustin Phipps

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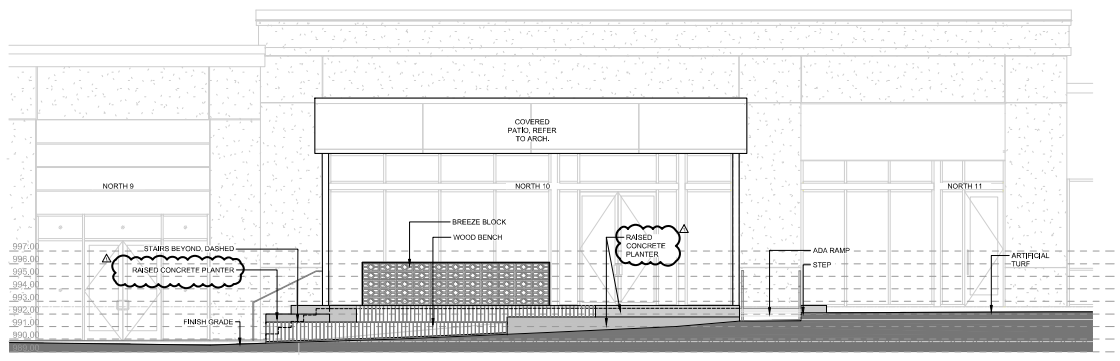


FOR PERMIT AND CONSTRUCTION

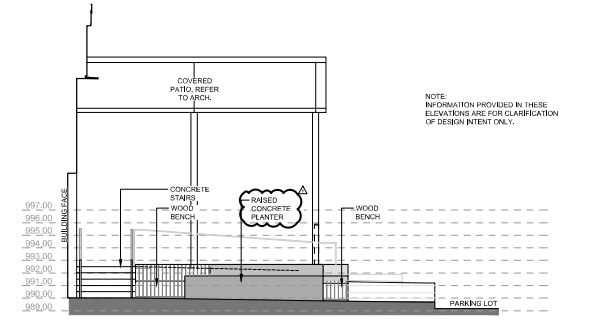


**NORTH RETAIL BUILDING - PLAN ENLARGEMENT**  
1/4" = 1'-0"

REFERENCE NOTES SCHEDULE NORTH BUILDING ENLARGEMENT						
SYMBOL	DESCRIPTION	QTY	DETAIL	COLOR	FINISH	REMARKS
(2)	PARKING LOT CURBS, ABLES, REFER TO CIVIL					
(3)	CURB, REFER TO CIVIL					
(7)	CANDOPY POST, REFER TO ARCH.					
(8)	CANDOPY OVERHANG ABOVE, REFER TO ARCH.					
SYMBOL DESCRIPTION						
(5)	LANDSCAPE AREA, REFER TO LANDSCAPE PLAN					
1 PAVEMENTS, CURBS, JOINTS						
SYMBOL	DESCRIPTION	QTY	DETAIL	COLOR	FINISH	REMARKS
(1-03)	PAVING TYPE - C		11.3,30	STANDARD	MEDIUM EXPOSED AGGREGATE	3000 PSI CONTRACTOR TO PROVIDE 9x3" MOCKUP FOR L.A. APPROVAL, INSTALL PER MANUFACTURER'S INSTRUCTIONS.
3 RAMPS, STAIRS						
SYMBOL	DESCRIPTION	QTY	DETAIL	COLOR	FINISH	REMARKS
(2-01)	CAST IN PLACE CONCRETE STAIRS		11.1,22	STANDARD	MEDIUM EXPOSED AGGREGATE	3000 PSI REFER TO PLAN / DETAIL
(2-02)	CONCRETE RAMP		20.1,22	STANDARD	MEDIUM EXPOSED AGGREGATE	3000 PSI REFER TO PLAN / DETAIL
3 SITE WALLS, EMBANKMENTS						
SYMBOL	DESCRIPTION	QTY	DETAIL	COLOR	FINISH	REMARKS
(5-01)	BREEZE BLOCK SIGN WALL		11.1,21 21.1,21	STANDARD	STANDARD	DIAMOND BREEZE BLOCK 16"X8" THICK ATLANTIC COAST PRECAST STACED BOND ATLANTICCOASTPRECAST.COM
4 RAILINGS, BARRIERS, FENCING						
SYMBOL	DESCRIPTION	QTY	DETAIL	COLOR	FINISH	REMARKS
(6-01)	HANDRAIL		91.3,00	BROWN	POWDER COAT	CONTRACTOR TO PROVIDE SAMPLE FOR L.A. APPROVAL
6 MISCELLANEOUS SITE FEATURES						
SYMBOL	DESCRIPTION	QTY	DETAIL	COLOR	FINISH	REMARKS
(6-01)	CUSTOM ACCOYA WOOD BENCH		11.1,20 11.1,20 21.1,20	STANDARD	MISCELLANEOUS UV PLUS FOR HARDWOODS (UNLESS STAIN IS APPLIED)	REFER TO PLAN
(6-02)	CONCRETE PLANTER		31.5,20 31.5,20 31.5,21	STANDARD	SMOOTH TROWEL	PROVIDE SUBMITTALS AND SHOP DRAWINGS OF ALL COMPONENTS, HARDWARE AND ATTACHMENTS FOR REVIEW AND APPROVAL CONTRACTOR TO PROVIDE MOCKUP FOR L.A. APPROVAL



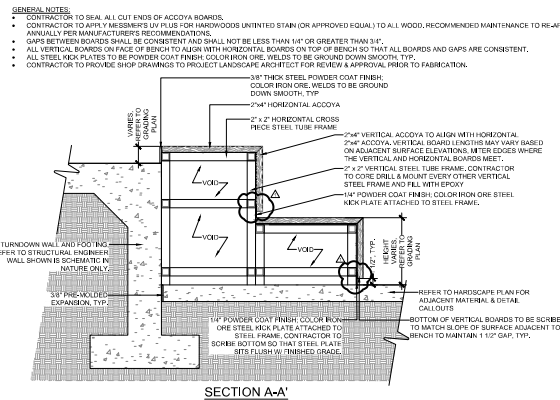
ELEVATION - A



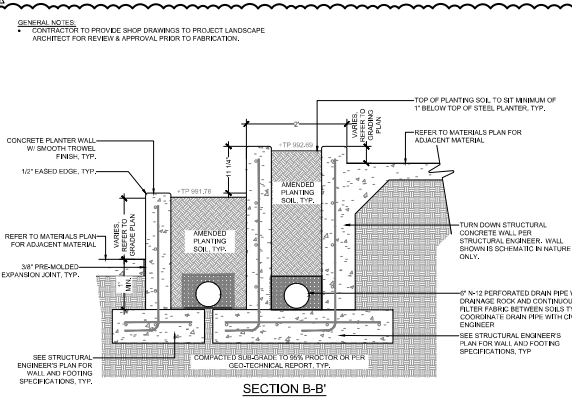
ELEVATION - B

NOTE: INFORMATION PROVIDED IN THESE ELEVATIONS IS FOR CLARIFICATION OF DESIGN INTENT ONLY.

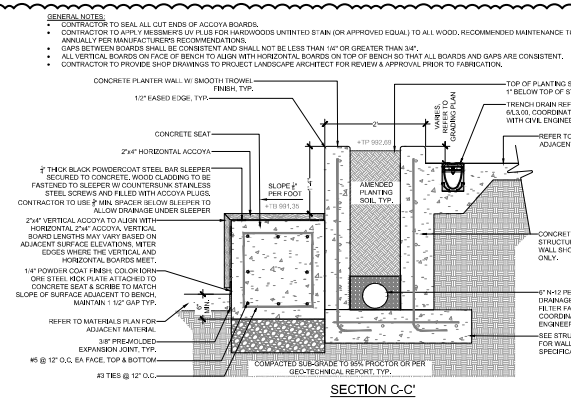
**1 NORTH RETAIL BUILDING PATIO ELEVATIONS**  
1/8" = 1'-0"



**2 WOOD BENCH @ NORTH RETAIL BUILDING PATIO**  
1" = 1'-0"



**3 RAISED PLANTER @ NORTH RETAIL BUILDING PATIO**  
1" = 1'-0"

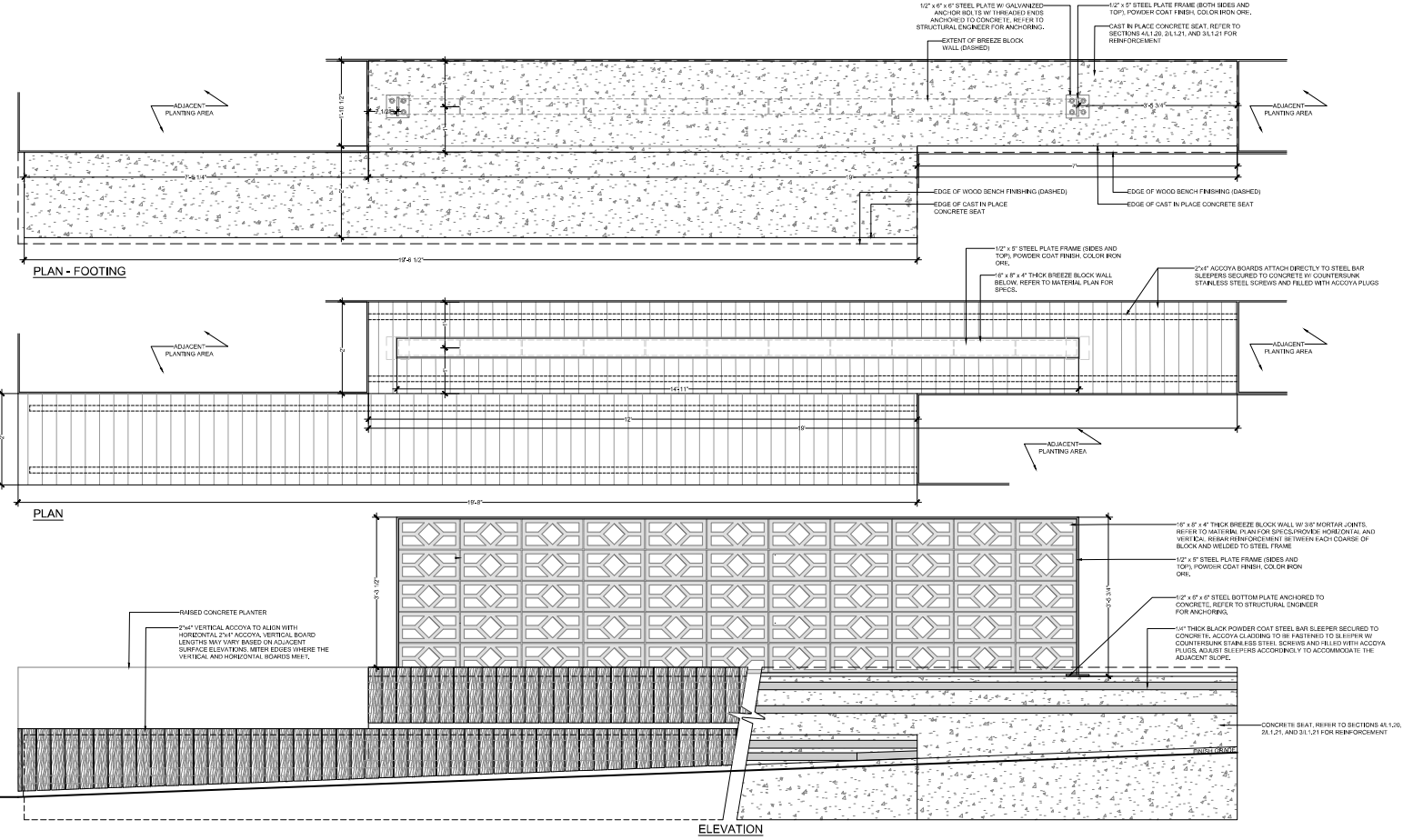


**4 WOOD BENCH & RAISED PLANTER @ NORTH RETAIL BUILDING PATIO**  
1" = 1'-0"

REVISIONS			
NO.	DATE	REVISION	BY

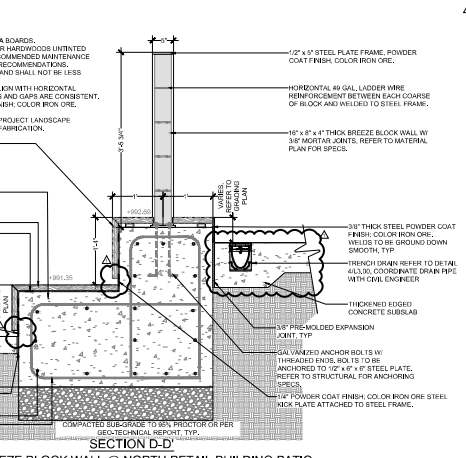
PROJECT:	NORTH RETAIL BUILDING PATIO ENLARGEMENT & DETAILS
DATE:	08/19/22
DESIGNED BY:	SS
CHECKED BY:	NMM
DATE:	



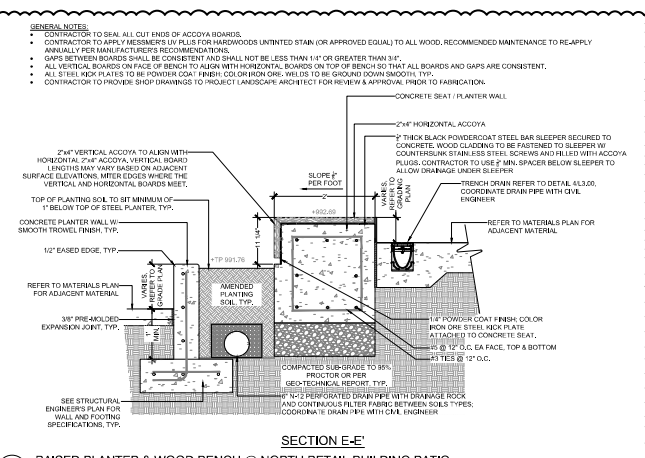


**1 BREEZE BLOCK WALL**  
P = 1x07

- GENERAL NOTES:**
- CONTRACTOR TO SEAL ALL CUT ENDS OF ACCOVA BOARDS.
  - CONTRACTOR TO APPLY MESSERS' UV FLUOR FOR HARDWOODS UNFINISHED STAIN (OR APPROVED EQUAL) TO ALL WOOD. RECOMMENDED MAINTENANCE TO BE APPLIED ANNUALLY PER MANUFACTURER'S RECOMMENDATIONS.
  - GAPS BETWEEN BOARDS SHALL BE CONSISTENT AND SHALL NOT BE LESS THAN 1/8" OR GREATER THAN 1/4".
  - ALL VERTICAL BOARDS ON FACE OF BENCH TO ALIGN WITH HORIZONTAL BOARDS ON TOP OF BENCH SO THAT ALL BOARDS AND GAPS ARE CONSISTENT.
  - ALL STEEL NICK PLATES TO BE POWDER COAT FINISH, COLOR IRON ORE. WELDS TO BE GROUND DOWN SMOOTH, TYP.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO FABRICATION.
  - 2" THICK VERTICAL ACCOVA TO ALIGN WITH HORIZONTAL 2" THICK ACCOVA. VERTICAL BOARD LENGTHS MAY VARY BASED ON ADJACENT SURFACE ELEVATIONS. MITER EDGES WHERE THE VERTICAL AND HORIZONTAL BOARDS MEET.
  - CONCRETE SEAT.
  - 2" THICK HORIZONTAL ACCOVA.
  - 2" THICK BLACK POWDER COAT STEEL BAR SLEEPER SECURED TO CONCRETE. WOOD CLADDING TO BE FASTENED TO SLEEPER W/ COUNTERSUNK STAINLESS STEEL SCREWS AND FILLED WITH ACCOVA PLUGS. CONTRACTOR TO USE # 4 MIN. SPACER BELOW SLEEPER TO ALLOW DRAINAGE UNDER SLEEPER.
  - 1/4" POWDER COAT FINISH, COLOR IRON ORE STEEL NICK PLATE ATTACHED TO CONCRETE SEAT TO BE SCREWED TO MATCH SLOPE OF SURFACE ADJACENT TO BENCH TO MAINTAIN 1/2" GAP, TYP.
  - REFER TO MATERIALS PLAN FOR ADJACENT MATERIAL.
  - 3/8" PRE-ALIGNED EXPANSION JOINT, TYP.
  - 48 @ 12" O.C. EA. FACE, TOP & BOTTOM #3 TIES @ 12" O.C.
  - COMPACTED SUB-GRADE TO 90% PROCTOR OR PER GEO-TECHNICAL REPORT, TYP.



**2 WOOD BENCH AND BREEZE BLOCK WALL @ NORTH RETAIL BUILDING PATIO**  
P = 1x07



**3 RAISED PLANTER & WOOD BENCH @ NORTH RETAIL BUILDING PATIO**  
P = 1x07

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NO.	DATE	ISSUES

PROJECT:		
NORTH RETAIL BUILDING PATIO DETAILS		
PROJECT NO.	DATE	DESCRIPTION
11501	08/19/22	

















