

MEMORANDUM

To: COA Office of Zoning and Development

From: Mr. Charles Zakem, PE
Kimley-Horn and Associates, Inc.

Date: October 16, 2024

Subject: SAP for 102 West Paces Ferry Rd – Project Description and Variation Request Letter

Project Description:

Kolter Urban desires to redevelop the property located at 102 West Paces Ferry Road in the SPI-9 Buckhead Village District of Atlanta, Georgia. This site was previously entitled under Z-02-02/Z-84-52 and Z-02-03/Z-84-52 in 2003 and again under SAP-22-051 in 2022. This application is separate from any previous application and is not intended to be a revision or an amendment to any previous application.

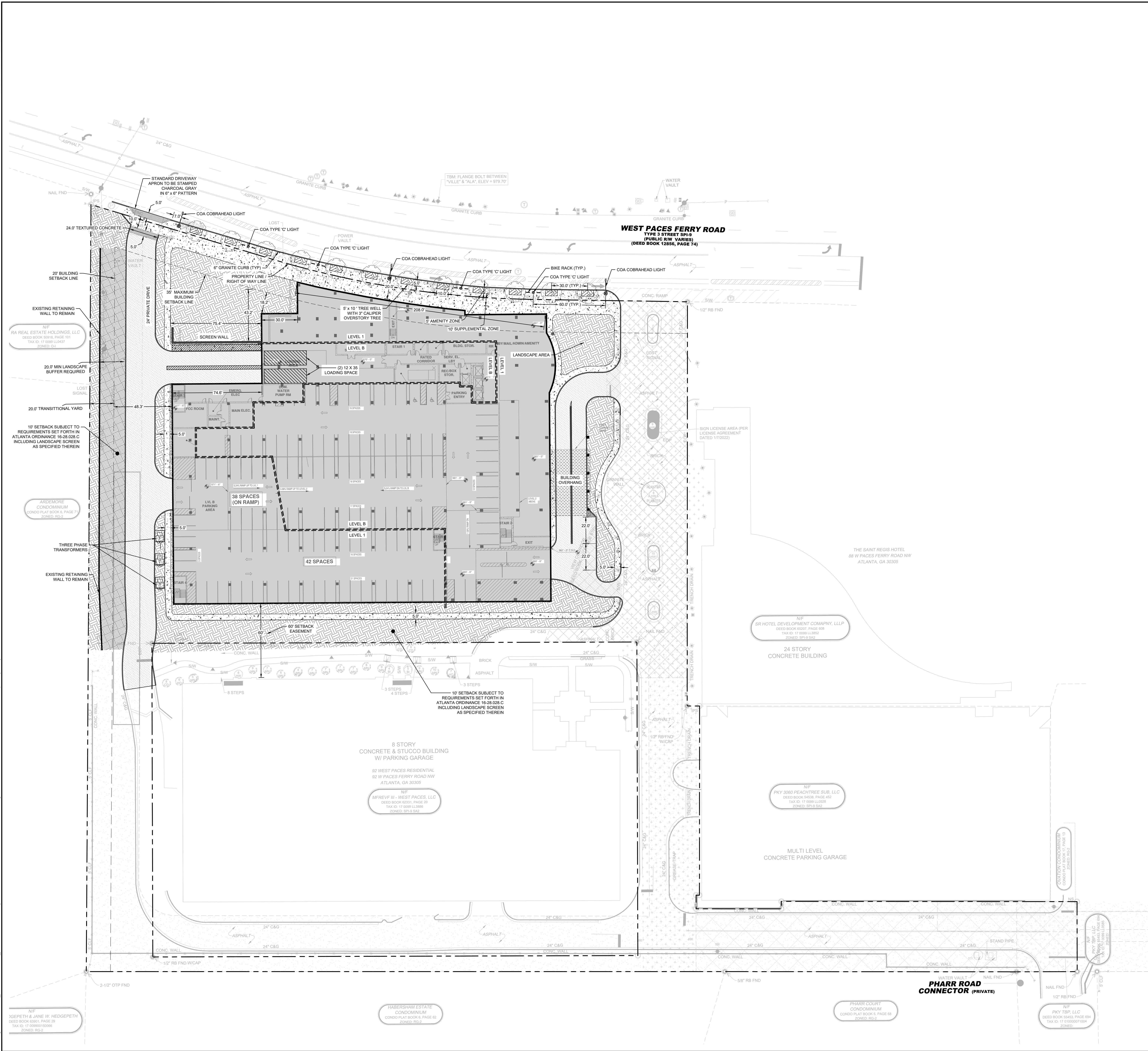
The proposed project includes the demolition of a shopping center and associated parking lot and the construction of a high-rise multifamily condominium building with integral parking deck and ground floor active use amenity areas. The site is part of the overall Buckhead Plaza master planned area and lies west of the St. Regis hotel and north of the 92 West Paces apartment building. The 92 West Paces Ferry Road parcel is a perforation within the 102 West Paces Ferry Road parcel and maintains access to public right-of-way by several permanent easements through this parcel. The overall project program consists of the following.

- 198 condominium units
 - (12) 1-bedroom
 - (108) 2-bedroom
 - (78) 3-bedroom
- 448 parking spaces

The following variations to the applicable zoning code are requested as part of this project.

- **Sec. 16-18I.012 Developmental controls table. Maximum setback.** The project requests a variation from the maximum setback from the required sidewalk. The maximum allowable setback is 20 feet from the back of the required sidewalk along West Paces Ferry Road (a Type 3 street). The project as designed is meeting this requirement for approximately two-thirds of the frontage along West Paces Ferry Road. The project endeavors to leave an open public amenity space at the northwest corner of the building, which will be enabled by increasing the maximum setback.
- **Sec. 16-18I.017 Relationship of building to street. (5)(c).** The project requests a variation from the requirement to start all windows along Type 3 streets at no more than 3 feet above the sidewalk elevation. Due to topography and the design of the amenity space on the ground floor, as the sidewalk continues west down West Paces Ferry Road, the grade of the sidewalk becomes more than 3 feet below the finished floor of the ground floor of the building. This condition makes it impossible to start the windows no more than 3 feet above the sidewalk grade.

Drawing name: K:\AMT_Civil\1454510001_102 West Paces Ferry\CAD\Plan\sheetC0-20 - SAP SITE PLAN.dwg C:\20 - SAP SITE PLAN Dec 16, 2024 12:43pm by: Benji Curran



SAP FILE NUMBER:
SAP-XX-XXX

ZONING CLASSIFICATION:
SPI-9 - SUBAREA 2

ADJACENT STREETS:
WEST PACES FERRY ROAD

SITE NOTES:

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILES PROVIDED BY RJTR AND STUDIOS AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY TERRAMARK, DATED 07/05/2024.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
7. ALL UTILITIES ALONG PEACHTREE STREET & PEACHTREE CENTER WAY WILL BE COORDINATED WITH GEORGIA POWER.

SITE NOTES - CITY OF ATLANTA:

1. A STREET ADDRESS NUMBER SHALL BE LOCATED DIRECTLY ABOVE OR BESIDE THE PRIMARY BUILDING AND BUSINESS ESTABLISHMENT ENTRANCES. SHALL BE CLEARLY VISIBLE FROM THE SIDEWALK, AND SHALL HAVE A MINIMUM HEIGHT OF SIX INCHES.
2. ALL SIDEWALK PAVING MATERIALS SHALL BE CONTINUED ACROSS ANY INTERVENING DRIVEWAY CURB CUT AT THE SAME PREVAILING GRADE AND CROSS SLOPE AS THE ADJACENT SIDEWALK CLEAR ZONE.

LOT AREA SUMMARY:

NET LOT AREA:	202,940 SF (4.67 AC)
GROSS LAND AREA:	224,916 SF (5.16 AC)

PROPOSED LAND USE & DENSITIES:

RESIDENTIAL (MULTIFAMILY)	506,285 SF (198 UNITS)
1 BEDROOM:	12 UNITS
2 BEDROOM:	108 UNITS
3 BEDROOM:	78 UNITS

FLOOR AREA RATIO (FAR) ALLOWED: 2.84
 = 638,761 SF / 224,916 SF (GLA)

FLOOR AREA RATIO (FAR) PROVIDED: 2.25
 = 506,285 SF / 224,916 SF (GLA)

PROPOSED PARKING:

MAXIMUM PARKING:	501 SPACES TOTAL
RESIDENTIAL:	501 SPACES (2/1BR + 2BR + 2.5/3BR + 0.33 GUEST/UNIT) = 2 x 120 + 2.5 x 78 + 0.33 x 198 = 501 MAX SPACES
PROPOSED PARKING:	448 SPACES TOTAL
BICYCLE PARKING:	50 SPACES
MINIMUM REQUIRED:	50 SPACES
TOTAL PROVIDED:	50 SPACES
RESIDENTIAL:	50 SPACES
FIXED: 12 SPACES	
ENCLOSED: 38 SPACES	
LOADING SPACES:	(2) 12' x 35' (TOTAL)
MINIMUM REQUIRED:	(2) 12' x 35'
PROVIDED:	(2) 12' x 35'

OPEN SPACE REQUIREMENTS:

REQUIRED OPEN SPACE:	44,983 SF (20% OF GLA)
PROVIDED OPEN SPACE:	47,200 SF *
BALCONIES:	10,000 SF *
LANDSCAPE AREA & PLAZAS:	31,000 SF *
SIDEWALK (PRIVATE PROPERTY):	5,000 SF *
LANDSCAPE AREA IN RIGHT OF WAY:	600 SF *

* THE PROVIDED OPEN SPACE SQUARE FOOTAGE MAY FLUCTUATE AS AMENITY DESIGNS ARE COMPLETED. HOWEVER, THE MINIMUM REQUIREMENT OF 44,983 SQUARE FEET WILL BE MET

LEGEND

- PROPERTY LINE
- STANDARD DUTY CONCRETE SIDEWALK
- 6" x 6" CHARCOAL GRAY PAVERS
- PROPOSED ASPHALT PAVEMENT
- VEGETATED AREA
- TRAFFIC DIRECTION
- 20' - 30' REQUIRED LANDSCAPE BUFFER

GRAPHIC SCALE IN FEET
0 15 30 60

811
Know what's below. Call before you dig.

Kimley Horn
1200 PEACHTREE STREET, NE SUITE 900 ATLANTA, GEORGIA 30309
PHONE 404.419.8700 WWW.KIMLEY-HORN.COM © 2022 KIMLEY-HORN AND ASSOCIATES, INC.

KT 102 WEST PACES, LLC
2095 PEACHTREE ROAD NE ATLANTA, GA 30305

NO.	REVISION DESCRIPTIONS	DATE

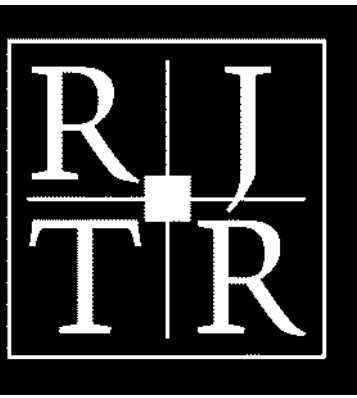
102 WEST PACES FERRY
102 WEST PACES FERRY ROAD ATLANTA, GA 30305

ISSUED FOR CONSTRUCTION

SAP - SITE PLAN

SHEET NUMBER **C0.20**

GSWCC CERT. (LEVEL II) 0000076499
 DRAWN BY BAC
 DESIGNED BY BAC
 REVIEWED BY CAZ
 DATE 10/16/2024
 PROJECT NO. 014510001
 TITLE



PRINTED

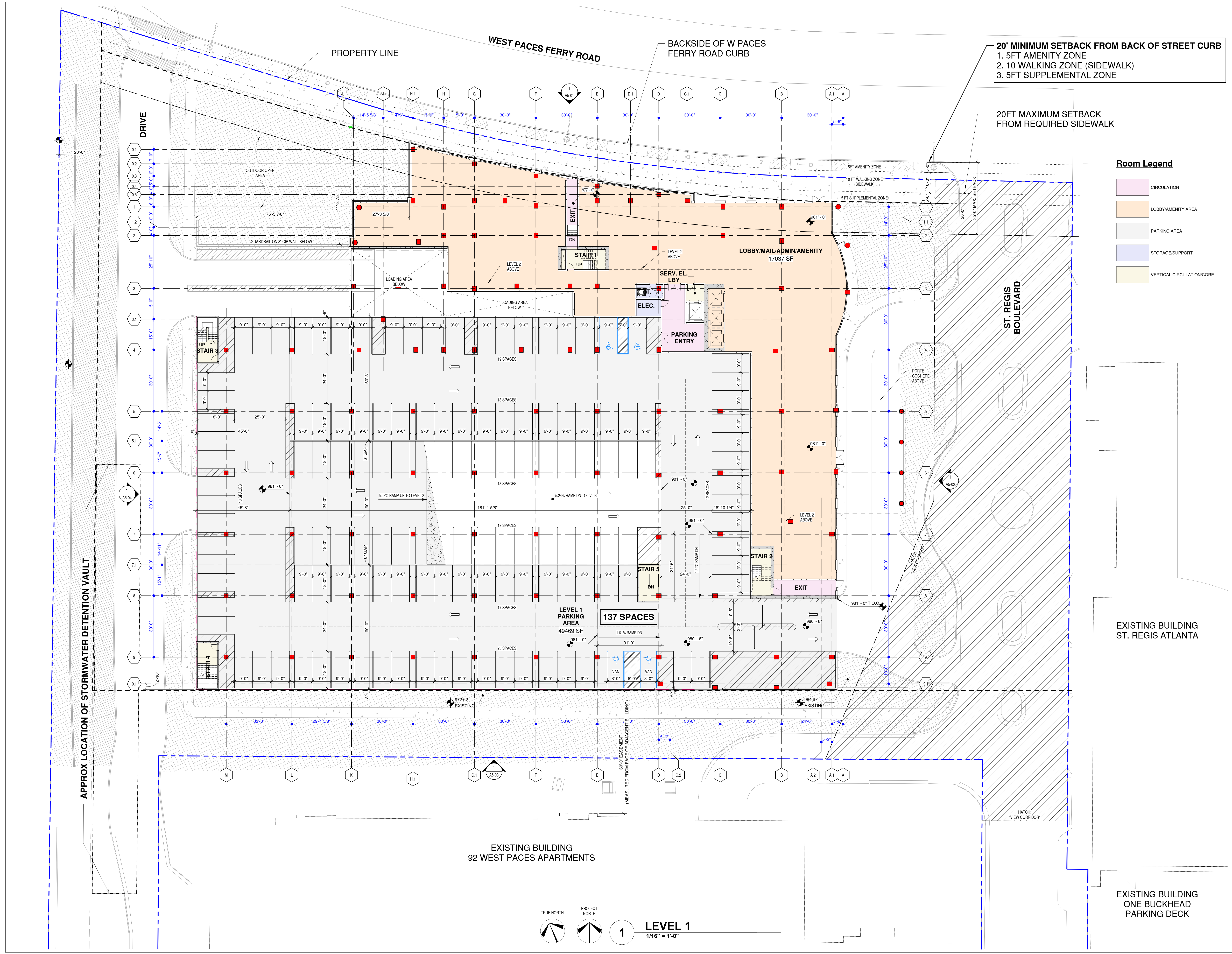
Rev #	Date	Issue/Revision
1	10-28-24	PROGRESS SET

NOT ISSUED FOR CONSTRUCTION

LEVEL 1 - FLOOR PLAN
102 WEST PACES FERRY
 102 WEST PACES FERRY ROAD
 ATLANTA, GA

COMMISSION NO: 23-111
 DRAWING NO:

A1-01



20' MINIMUM SETBACK FROM BACK OF STREET CURB
 1. 5FT AMENITY ZONE
 2. 10 WALKING ZONE (SIDEWALK)
 3. 5FT SUPPLEMENTAL ZONE

20FT MAXIMUM SETBACK FROM REQUIRED SIDEWALK

Room Legend

- CIRCULATION
- LOBBY/AMENITY AREA
- PARKING AREA
- STORAGE/SUPPORT
- VERTICAL CIRCULATION/CORE

EXISTING BUILDING ST. REGIS ATLANTA

EXISTING BUILDING ONE BUCKHEAD PARKING DECK

TRUE NORTH PROJECT NORTH

1 LEVEL 1
 1/16" = 1'-0"

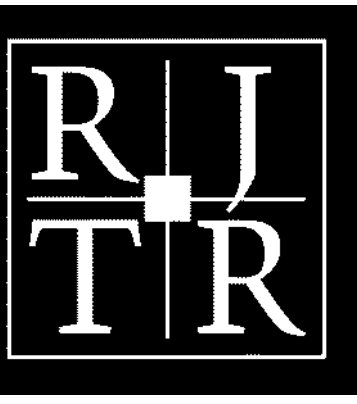
EXISTING BUILDING 92 WEST PACES APARTMENTS

APPROX LOCATION OF STORMWATER DETENTION VAULT

DRIVE

ST. REGIS BOULEVARD

HATCH VIEW CORRIDOR

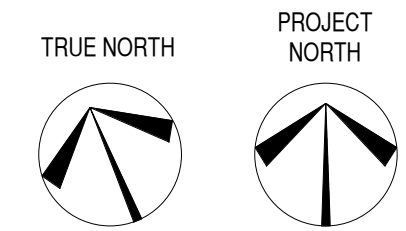
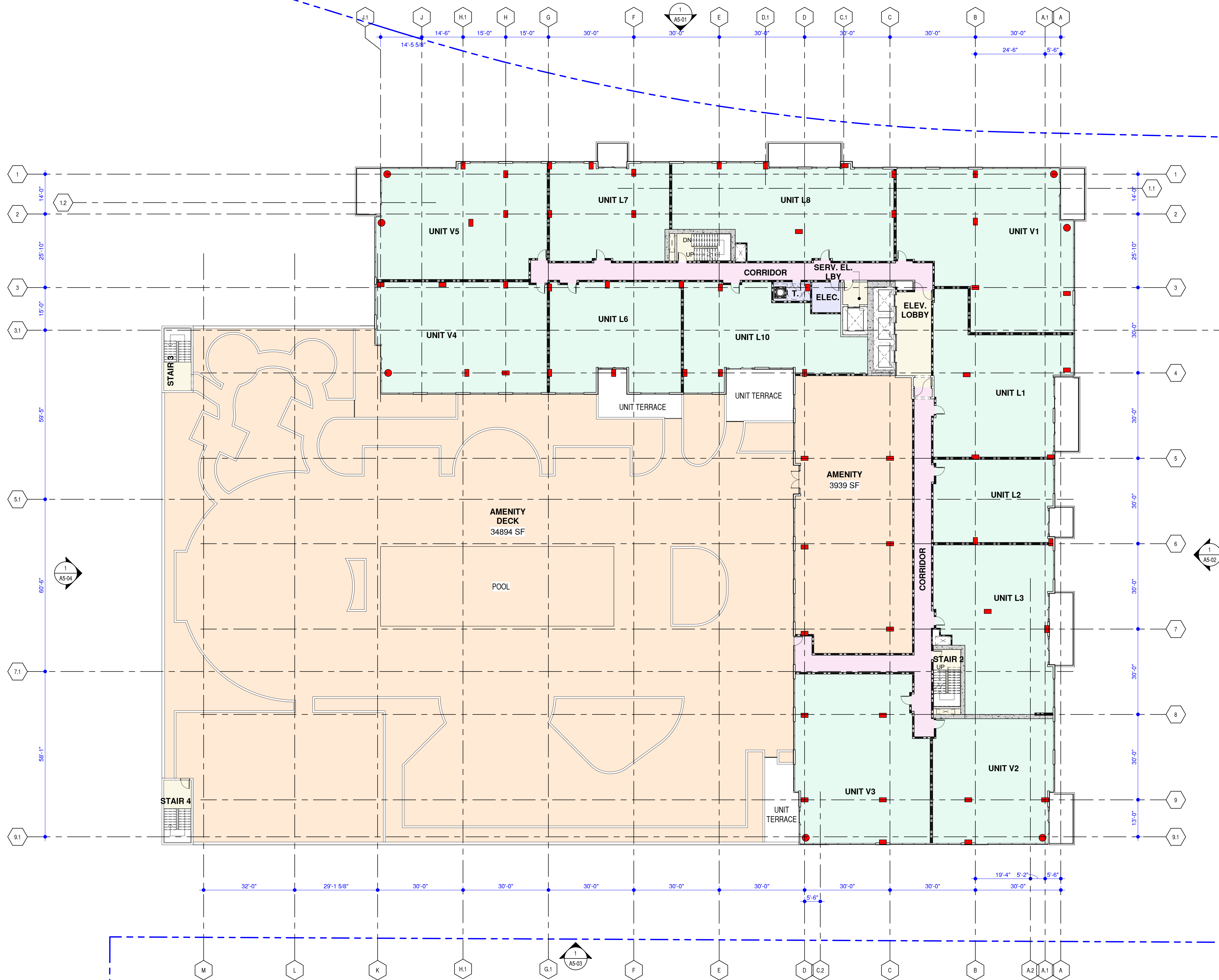


RULE JOY TRAMMELL RUBIO, LLC
 ARCHITECTURE INTERIOR DESIGN
 300 Galleria Parkway Suite 740 Atlanta, Georgia 30339
 770-661-1492 (phone) 770-661-1493 (fax)
 www.rjtrdesign.com

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Room Legend

- CIRCULATION
- LOBBY/AMENITY AREA
- RESIDENTIAL
- STORAGE/SUPPORT
- VERTICAL CIRCULATION CORE



1 LEVEL 4
 1/16" = 1'-0"

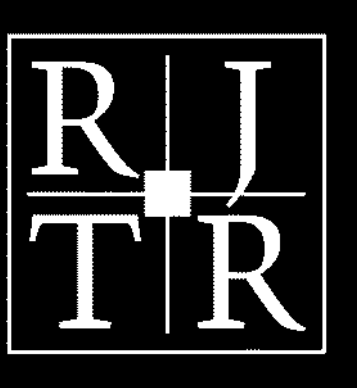
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Rev #	Date	Issue/Revision
1	10-28-24	PROGRESS SET

LEVEL 4 - FLOOR PLAN
102 WEST PACES FERRY
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 ATLANTA, GA

COMMISSION NO: 23-111
 DRAWING NO:
A1-04

NOT ISSUED FOR CONSTRUCTION



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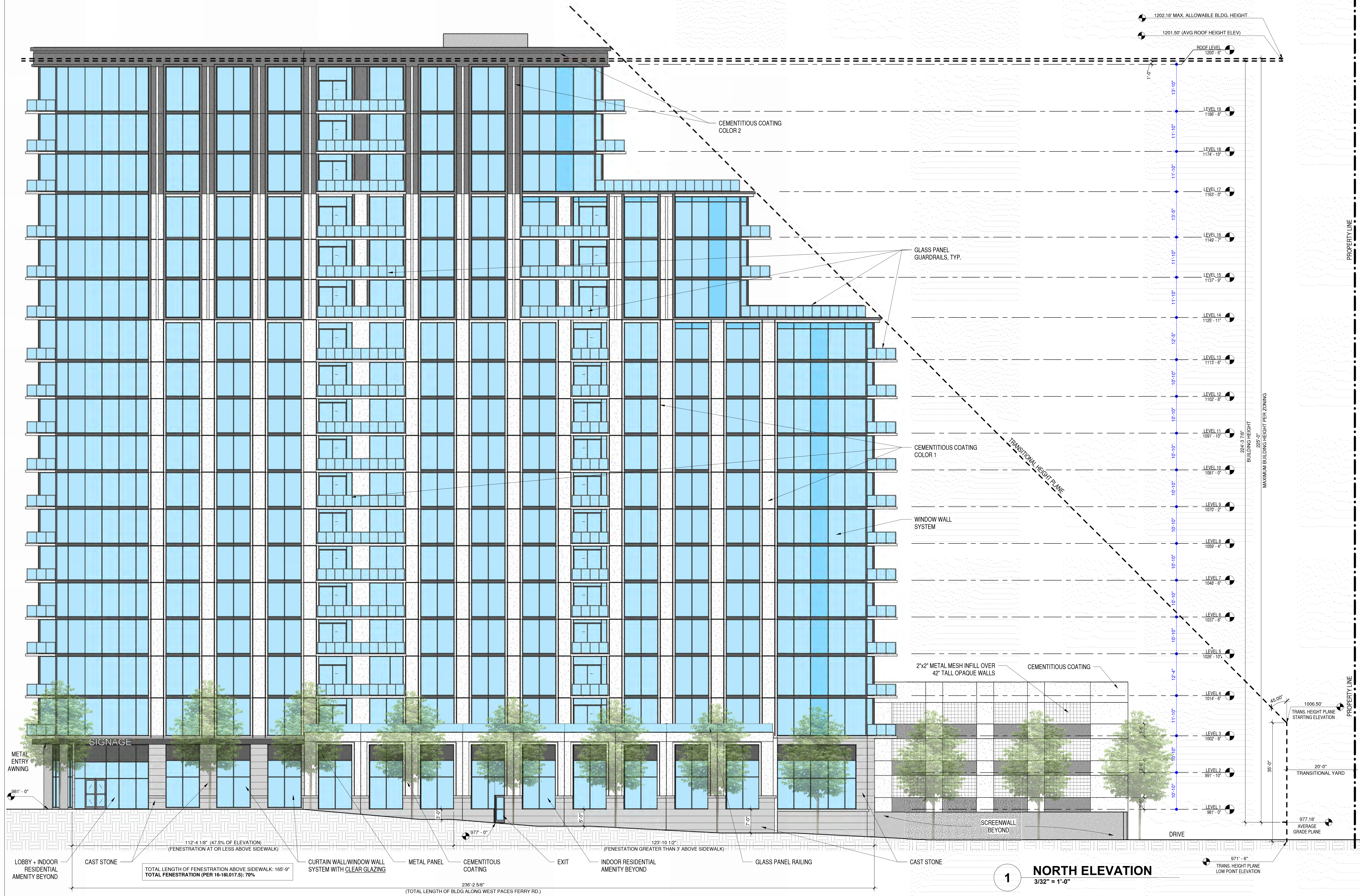
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Rev #	Date	Issue/Revision
10-15-24		SAP ISSUANCE
10-28-24		PROGRESS SET

NORTH ELEVATION
102 WEST PACES FERRY
 102 WEST PACES FERRY ROAD
 ATLANTA, GA

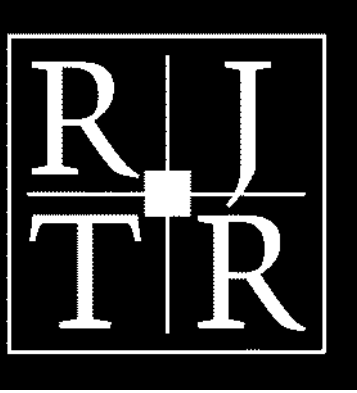
COMMISSION NO: 23-111
 DRAWING NO:

A5-01



1 NORTH ELEVATION
 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION



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10-15-24		SAP ISSUANCE
10-28-24		PROGRESS SET



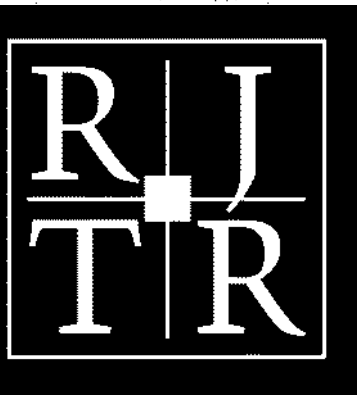
1 EAST ELEVATION
 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

EAST ELEVATION
102 WEST PACES FERRY
 102 WEST PACES FERRY ROAD
 ATLANTA, GA

COMMISSION NO: 23-111
 DRAWING NO:

A5-02

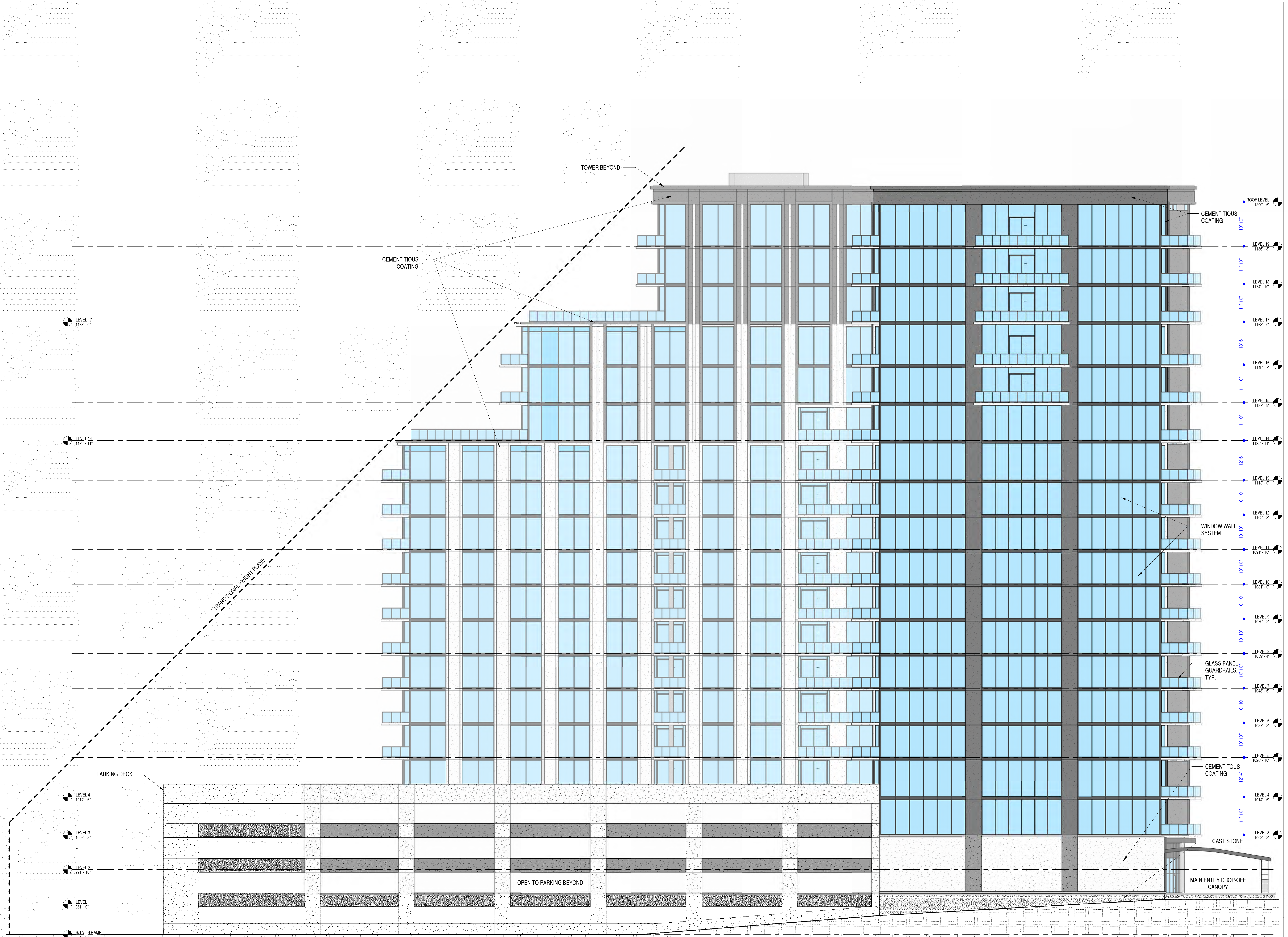


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10-28-24		PROGRESS SET



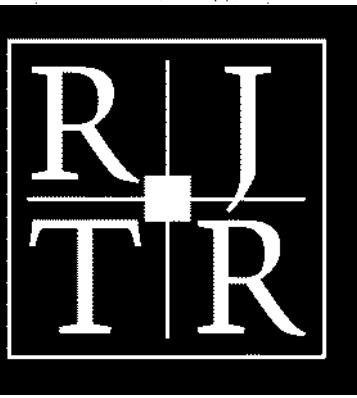
1 SOUTH ELEVATION
 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

SOUTH ELEVATION
102 WEST PACES FERRY
 102 WEST PACES FERRY ROAD
 ATLANTA, GA

COMMISSION NO: 23-111
 DRAWING NO:

A5-03



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Rev #	Date	Issue/Revision
10-15-24		SAP ISSUANCE
10-28-24		PROGRESS SET



1 WEST ELEVATION
 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

WEST ELEVATION
102 WEST PACES FERRY
102 WEST PACES FERRY ROAD
ATLANTA, GA

COMMISSION NO: 23-111
 DRAWING NO:

A5-04



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102 WEST PACES FERRY

102 WEST PACES FERRY ROAD
23-111

OCTOBER 29, 2024

KOLTER



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102 WEST PACES FERRY

102 WEST PACES FERRY ROAD
23-111

OCTOBER 29, 2024

KOLTER



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102 WEST PACES FERRY

102 WEST PACES FERRY ROAD
23-111

OCTOBER 29, 2024

10/29/2024
N.T.S.

KOLTER



OFFICE OF ZONING AND DEVELOPMENT

55 Trinity Avenue S.W., Suite 3350

Atlanta, Georgia 30303

(404) 330-6145

APPLICATION #: **SAP-24-226**

DATE ACCEPTED: **10/21/2024**

NOTICE TO APPLICANT

Address of Property:

102 West Paces Ferry RD NW

City Council District: **8** Neighborhood Planning Unit (NPU): **B**

Special Administrative Permit (SAP) Hearing Date:

Thursday, December 19, 2024 at 12:00 PM

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.

SAP-24-226



Signed,

Niana McCullum

NM, for Director, Office of Zoning and
Development

Charles Zakem

Charles Zakem



APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)

For SPI, Beltline, LW, MR, MRC, NC, I-Mix Zoning Districts & Unified Development Plans

File No.: _____

City of Atlanta, Office of Zoning and Development (404-330-6145)

APPLICANT (name) KT 102 West Paces LLC c/o Charles Zakem @ Kimley Horn

ADDRESS 1200 Peachtree Road, Suite 800, Atlanta, GA 30309

PHONE NO. 404-419-8700 **EMAIL** charles.zakem@kimley-horn.com

PROPERTY LANDOWNER Buckhead Plaza Land Trust

ADDRESS 9040 Roswell Road, Suite 120, Atlanta, GA 30350

PHONE NO. 404-965-3669 **EMAIL** laurel@glawgp.com

ADDRESS OF PROPERTY 102 West Paces Ferry Road, Atlanta, GA 30305

Land District 17th **Land Lot** 99 **Council District** 8 **NPU** B

Is property within the BeltLine Overlay District? Yes No **Zoning Classification** SPI-9 SA2

Is Inclusionary Zoning applicable to this project? Yes No Is this a Unified Development Plan? Yes No



Submittal Checklist (See detailed checklist on page 2):

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit one (1) copy. Lot consolidation, re-platting or subdivision may be required prior to approval of SAP.
- Site Plan** (released for construction and sealed) **and Building Elevations:**
 - a. **Initial Submission: One(1) site plan & One (1) set of elevations.**
 - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form (page 4).
- Notice to Applicant:** Submit attached form with signature and date (page 10).
- Development Controls Specification Form:** Provide the applicable information (pages 7 - 9).

Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.
- Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000.
- Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date 10-16-2024 **Signature of Applicant** [Signature]

Additional Submittal Requirements (as applicable):

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Review and complete pages 11-12 of this SAP for certification forms.
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Applicant must send a copy of the filed SAP application to the NPU contact. Afterwards, complete the Notarized Affidavit of NPU Notification form (page 6), and provide a copy of U.S. Postal Service Certificate of Mailing. The NPU has up to 21 days to review the SAP and forward comments to the City.
- **Pre-application Conference with Zoning and Development Staff (prior to SAP submittal):** Required only for SPIs: 1, 9, 12, 15, 17, 18, 20, 21, 22 and *recommended* for all other districts. To request this meeting, contact Christian Olteanu at 404-330-6961 or colteanu@atlantaga.gov.
- **Development Review Committee (DRC):** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review (See page 3).
- **Development of Regional Impact (DRI) Study:** Mixed-use developments with at least 700,000 s.f. or residential with at least 700 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
 - **Initial submission:** DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is **REQUIRED** for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: www.atlantawatershed.org/greeninfrastructure
- **Unified Development Plans:** Applicable to all zoning districts except R-1 to R-5, RLC, PD, & historic bldgs/districts (Section 16-28.030)

The City Code provides that Zoning and Development Director shall review each request for an SAP within 30 days of a filing of a **completed*** application. (Atlanta Code Chapter 16, Section 16-25). * **Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.**

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was **approved** or **denied** on _____

See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.

SAP-24-226



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized Authorization by Property Land Owner

File # _____

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administrative Permit

I, Buakhead Plaza Land Trust SWEAR THAT I AM THE LANDOWNER
owner(s) name

OF THE PROPERTY LOCATED AT: 102 West Paces Ferry Road, Atlanta, GA (PID: 17 0099 LL0536)

AS SHOWN IN THE RECORDS OF FULTON COUNTY, GEORGIA WHICH IS
THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED
BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Charles Zakem

Kimley-Horn and Associates, Inc.

ADDRESS: 1200 Peachtree Road, Suite 800

Atlanta, GA 30309

TELEPHONE: 404-419-8700

EMAIL: charles.zakem@kimley-horn.com

George Berkow Co-Trustee
Signature of Property Landowner

George Berkow Co-Trustee
Print Name of Property Landowner

Personally Appeared
Before Me

Debra Grove

Who Swears That The
Information Contained
In this Authorization
Is True and Correct
To The Best of His or Her
Knowledge and Belief.

Debra Grove
Signature of Notary Public

Signature of Notary Public

10/16/24
Date





City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

*Developmental Controls forms are required to be completed by the applicant, and all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

Definitions and Methods of Calculation						
<ul style="list-style-type: none"> <u>Net Lot Area (NLA)</u> = length of property line X width of property line <u>GLA for corner lots</u> = (NLA) + [(street "A" right-of-way width +2) X (street "A" length of property line)] + [(street "B" right-of-way width +2) X (street "B" length of property line)] + [(street "A" right-of-way width +2) X (street "B" right-of-way width +2)] <u>GLA (with only one front yard adjacent to street)</u> = (NLA) + [(street right-of-way width +2) X (length of front property line)] GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width. GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts. <u>Building Lot Coverage provided</u> = (net lot area minus area of building footprint) ÷ (net lot area) 						
Lot Size (in square footage)						
Gross Land Area (GLA)		224,916 SF (5.16 AC)				
Net Lot Area (NLA)		202,940 SF (4.67 AC)				
Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input checked="" type="checkbox"/> GLA, or <input type="checkbox"/> NLA						
	Residential FAR Ratio	Residential Square Footage		Non-Residential FAR Ratio	Non-Residential Square Footage	
Base Allowed	2.84	638,761 SF		N/A	N/A	
Base Provided	2.25	506,285 SF		N/A	N/A	
Bonus Allowed	N/A	N/A		N/A	N/A	
Bonus Provided	N/A	N/A		N/A	N/A	
Bonus FAR Program (check bonus utilized if applicable)						
Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>		
Residential Units				Total Provided: N/A		
Number of Units Provided (without bonus)				N/A		
Number of Bonus Units Provided (without workforce housing)				N/A		
Number of Bonus Workforce Housing Units Provided (20% required)				N/A		
Total Number of Units per Acre				N/A		
Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)						
	Percentage (%)			Square Footage		
Max. Permitted	N/A			N/A		
Provided	N/A			N/A		
Fenestration (% of each street-fronting facade calculated separately, per district regulations)						
	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)		
	Local Street	Arterial/Collector	Beltline Corridor	Local Street	Arterial/Collector	Beltline Corridor
Min. Required	N/A	N/A	N/A	N/A	65	N/A
Provided (specify for each street)	N/A	N/A	N/A	N/A	65	N/A



Residential Open Space Requirements (refer to Chapter 28 for clarification)

Definitions and Methods of Calculation		
<ul style="list-style-type: none"> LUI = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations) TOSR are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides. <ul style="list-style-type: none"> TOSR required = (LUI table) X (GLA). TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces). UOSR requirements are calculated using the residential FAR (of the corresponding net lot or GLA lot sized used to calculate FAR) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations. <ul style="list-style-type: none"> UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR). If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way). 		
TOSR: Total Open Space Requirements for Residential Only Projects		
<i>(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)</i>		
	Ratio	Total Square Footage
Minimum Required	N/A	N/A
Provided	N/A	N/A
Square Footage breakout of UNCOVERED TOSR amount provided by the following:		
GLA minus building square foota	N/A.	
Open exterior balconies (per Section 16-28 or district regs)		
Roof area improved as recreation space		
Square Footage breakout of COVERED TOSR amount provided by the following:		
Areas closed to the sky (roof) but having two sides with a minimum of 50% open		
UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments		
<i>(These are areas not counted towards Public Space Requirements)</i>		
	Ratio	Total Square Footage
Minimum Required	20% of GLA	44,983 SF
Provided	25.3% of Residential GFA	47,200 SF
Square Footage Breakdown of UOSR amounts provided by the following:		
Balconies		10,000 SF
Rooftop Terraces		0 SF
Landscaped Areas and Plazas		31,000 SF
Portions of Sidewalks on Private Property		5,600 SF
Portions of Landscaped Areas in Right-of-way adjacent to Property		600 SF



Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

PSR: Public Space Requirements for Non-residential & Mixed-use Developments (These are areas not counted towards UOSR)		
Public Space provided = (square footage area of exterior space) + (square footage area of interior space)		
	Percentage (%)	Total Square Footage
Minimum Required		
Provided		
Square Footage Breakdown of PSR amounts provided by the following:		
EXTERIOR (accessible to general public such as landscape areas, plazas, terraces, patios, observation decks, fountain sidewalks, common areas, open recreational spaces, etc.)	N/A.	
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
0	12	108	78	0
On-site Parking Spaces		Residential	Non-residential Uses	
Minimum Required		N/A		
Provided		448		
Maximum Allowed		501		
Bicycle Parking Spaces		Residential	Non-residential Uses	
Minimum Required		50		
Provided		50		
On-site Loading Spaces (see applicable zoning district requirements or Section 16-028.015)				
	Residential/Hotel		Non-residential Uses (break out by use)	
Minimum Required (specify for each use)	2			
Provided (specify for each use)	2			



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notice to Applicant

File # _____

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Charles Zakem

Applicant Printed Name



Applicant Signature

10-16-2024

Date



MEMORANDUM

To: COA Office of Zoning and Development

From: Mr. Charles Zakem, PE
Kimley-Horn and Associates, Inc.

Date: October 16, 2024

Subject: SAP for 102 West Paces Ferry Rd – Project Description and Variation Request Letter

Project Description:

Kolter Urban desires to redevelop the property located at 102 West Paces Ferry Road in the SPI-9 Buckhead Village District of Atlanta, Georgia. This site was previously entitled under Z-02-02/Z-84-52 and Z-02-03/Z-84-52 in 2003 and again under SAP-22-051 in 2022. This application is separate from any previous application and is not intended to be a revision or an amendment to any previous application.

The proposed project includes the demolition of a shopping center and associated parking lot and the construction of a high-rise multifamily condominium building with integral parking deck and ground floor active use amenity areas. The site is part of the overall Buckhead Plaza master planned area and lies west of the St. Regis hotel and north of the 92 West Paces apartment building. The 92 West Paces Ferry Road parcel is a perforation within the 102 West Paces Ferry Road parcel and maintains access to public right-of-way by several permanent easements through this parcel. The overall project program consists of the following.

- 198 condominium units
 - (12) 1-bedroom
 - (108) 2-bedroom
 - (78) 3-bedroom
- 448 parking spaces

The following variations to the applicable zoning code are requested as part of this project.

- **Sec. 16-18I.012 Developmental controls table. Maximum setback.** The project requests a variation from the maximum setback from the required sidewalk. The maximum allowable setback is 20 feet from the back of the required sidewalk along West Paces Ferry Road (a Type 3 street). The project as designed is meeting this requirement for approximately two-thirds of the frontage along West Paces Ferry Road. The project endeavors to leave an open public amenity space at the northwest corner of the building, which will be enabled by increasing the maximum setback.
- **Sec. 16-18I.017 Relationship of building to street. (5)(c).** The project requests a variation from the requirement to start all windows along Type 3 streets at no more than 3 feet above the sidewalk elevation. Due to topography and the design of the amenity space on the ground floor, as the sidewalk continues west down West Paces Ferry Road, the grade of the sidewalk becomes more than 3 feet below the finished floor of the ground floor of the building. This condition makes it impossible to start the windows no more than 3 feet above the sidewalk grade.

RECEIPT

CITY OF ATLANTA
 DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
 55 TRINITY AVE SW, ATLANTA GA 30303
 404-330-6070

SAP-24-226



Application: SAP-24-226
Application Type: Planning/SAP/SPI/NA
Address: 102 WEST PACES FERRY RD NW, ATLANTA, GA 30305
Owner Name:
Owner Address:
Application Name: 102 WEST PACES FERRY RD NW

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
948640		\$1,500.00	10/21/2024	PUBLICUSER253995		

Work Description: The proposed project includes the demolition of a shopping center and associated parking lot and the construction of a high-rise multifamily condominium building with integral parking deck and ground floor active use amenity areas. 198 condominium units: (12) 1-bedroom (108) 2-bedroom (78) 3-bedroom 448 parking spaces