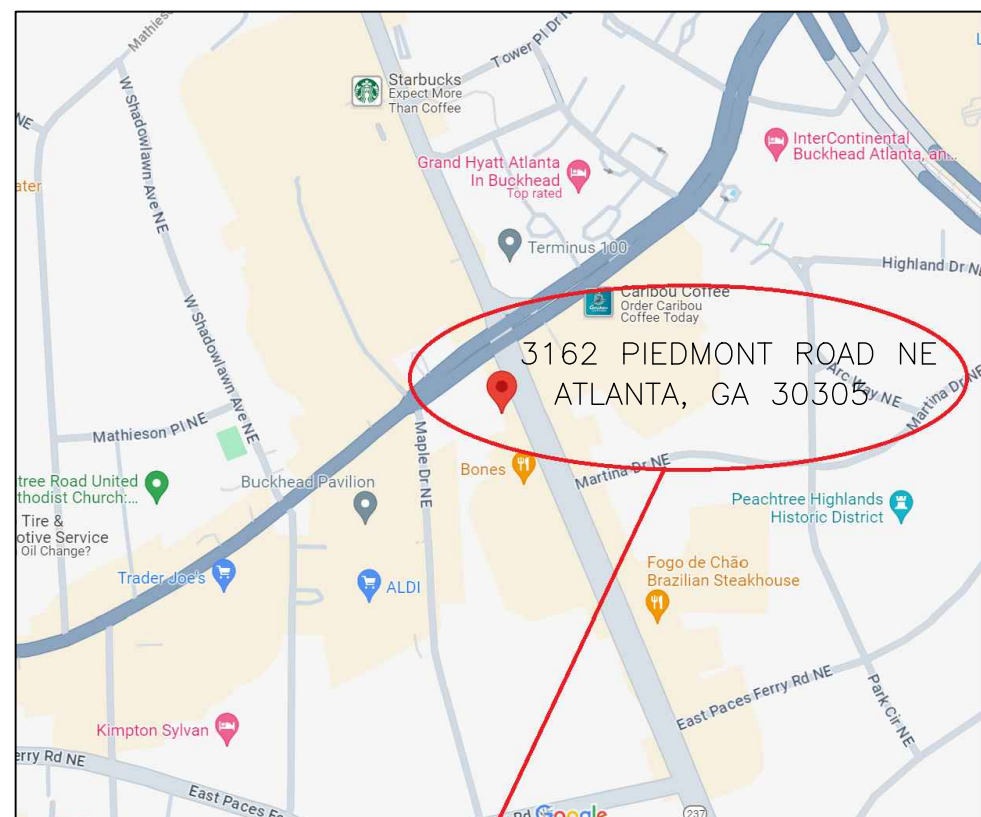


COVER SHEET

PARKING LOT REPLACEMENT, GRADING PLAN AND PARKING LAYOUT

3162 PIEDMONT ROAD NE ATLANTA, GA 30305

PARCEL ID: 17 00610007064
OWNER: PIEDMONT IGD LLC
LAND LOT 61 17TH DISTRICT
FULTON COUNTY, GEORGIA
PROPERTY IS ZONED SPI-9 (SUBAREA 4)



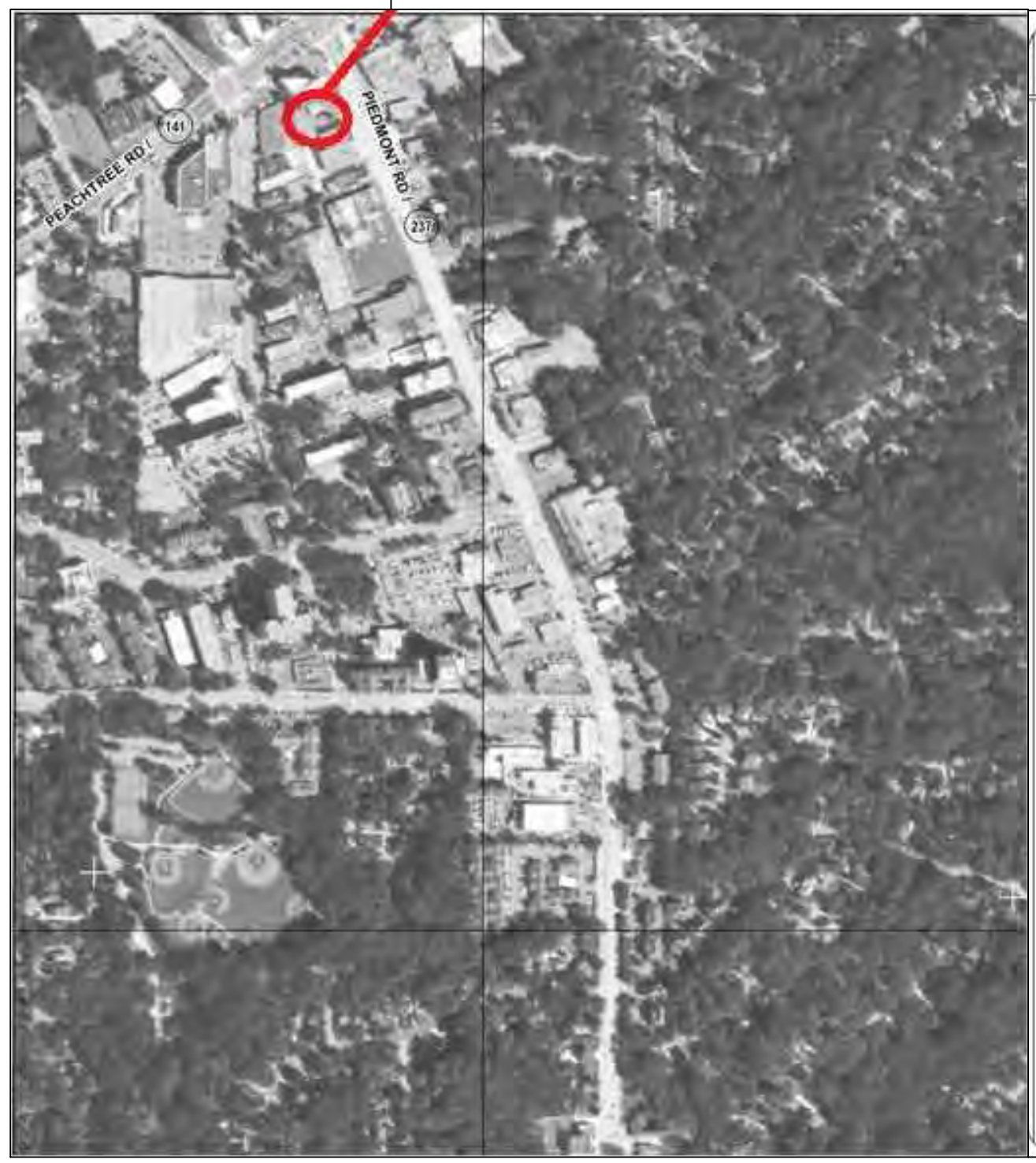
SITE VICINITY MAP
NOT TO SCALE

KEY SHEET:

SHEET 1: COVER SHEET, NOTES, VICINITY MAP, FEMA MAP
 SHEET 2: EXISTING CONDITIONS
 SHEET 3: DEMOLITION PLAN
 SHEET 4: PROPOSED CONDITIONS, NOTES
 SHEET 5: PROPOSED CONDITIONS, EROSION CONTROL,
 GRADING & TREE PROTECTION PLAN
 SHEET 6: MISC. DETAILS

NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER

PAUL LAWRENCE
 3162 PIEDMONT ROAD NE
 ATLANTA, GA 30305
 24 HOUR CONTACT: PAUL LAWRENCE
 TELEPHONE: (678) 462-7810
 EMAIL: plawrence@sequoiarow.com



SITE

PANEL 0253F

FIRM

FLOOD INSURANCE RATE MAP

**FULTON COUNTY,
GEORGIA
AND INCORPORATED AREAS**

PANEL 253 OF 490
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ATLANTA, CITY OF	135157	0253	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

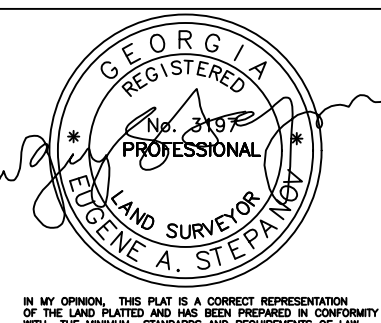
**MAP NUMBER
13121C0253F**

**MAP REVISED
SEPTEMBER 18, 2013**

Federal Emergency Management Agency

SCOPE OF WORK:
THE PURPOSE OF THIS SITE PLAN IS FOR
PARKING LOT MODIFICATION

LOT		BLOCK	EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 6
SUBDIVISION		UNIT	PAUL LAWRENCE
LAND LOT 61	17TH DISTRICT	SECTION	
FULTON COUNTY, GEORGIA		DB.60167/PG.191	PB./PG.
FIELD WORK DATE FEB 23, 2024	PRINTED/SIGNED MARCH 07, 2024		PROPERTY ADDRESS: 3162 PIEDMONT ROAD NE ATLANTA, GA 30305
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 24" x 36"	
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.			
AU COORD #20240241 DWG #20240241 DEMO PLAN - SITE PLAN	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES		24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM



PROPERTY IS ZONED SPI-9 (SUBAREA 4)
CITY OF ATLANTA
BUILDING SETBACK:
FRONT: NONE
SIDE: NONE
REAR: NONE

BEARINGS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002
ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

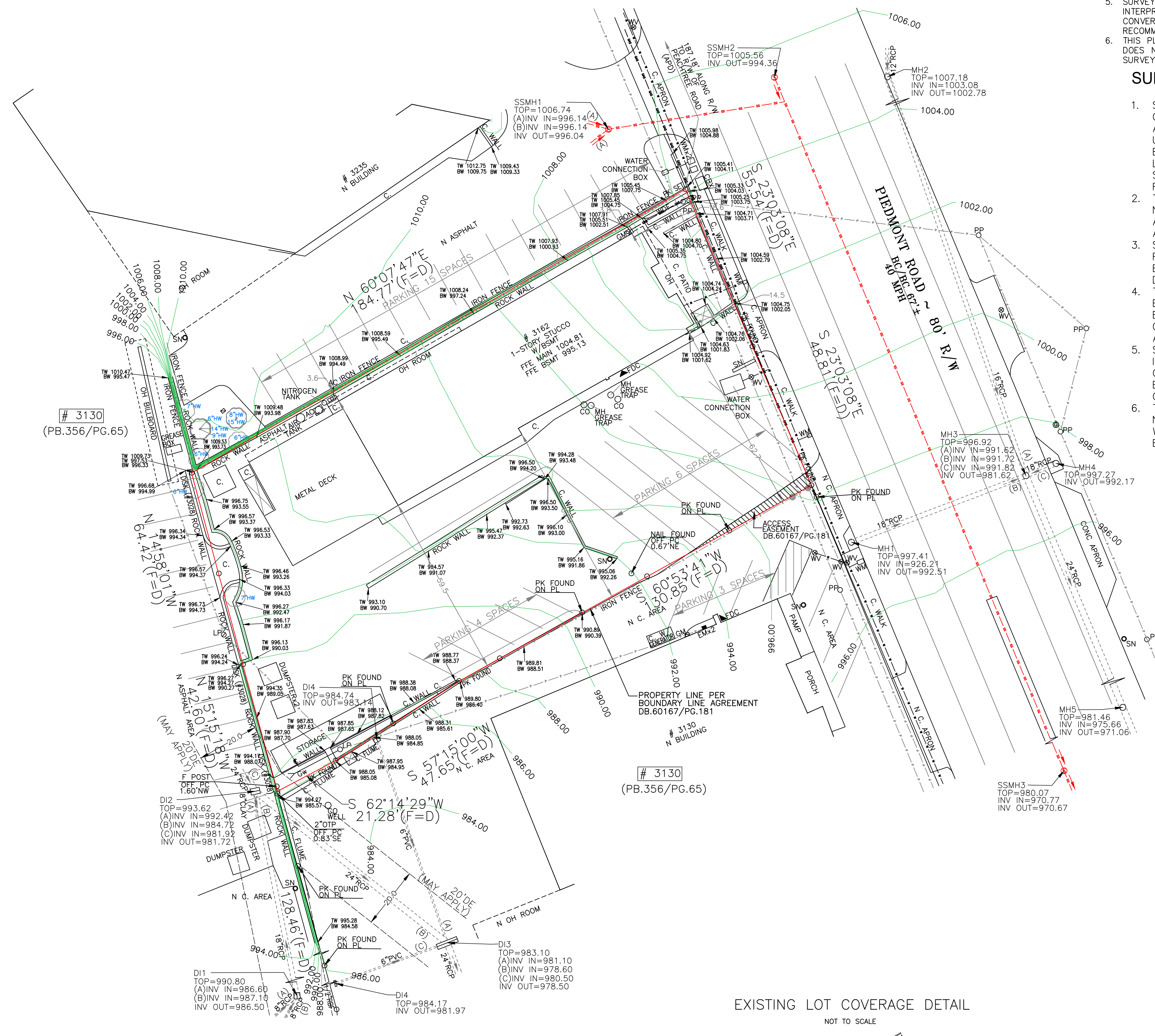
ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.



IF YOU DIG GEORGIA...
CALL US FIRST
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

* LEGEND *

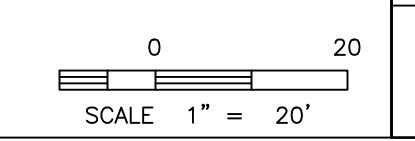
- APP AS PER PLAT
 - APD AS PER DEED
 - APF AS PER FIELD
 - AO ANGLE IRON FOUND
 - APZ AS PER ZONING
 - BB BOTTOM BANK
 - BC BACK OF CURB
 - BLK BLOCK
 - BLS BUILDING SETBACK LINE
 - BRK BRICK
 - BSMT BASEMENT
 - CBX CABLE BOX
 - CL CABLE LINE
 - C CONCRETE
 - CB CATCH BASIN
 - CLF CENTER LINE
 - CLF CHAIN LINK FENCE
 - CMP CORRUGATED METAL PIPE
 - CO CITY OF ATLANTA
 - CO SAN SEWER CLEAN OUT
 - CM CADASTRAL MAP
 - CRWL CRAWL SPACE
 - CP CALCULATED POINT
 - CPT CARPORT
 - (D) DEED
 - DE DRAINAGE EASEMENT
 - DI DRAINAGE INLET
 - DWM DEPARTMENT OF WATERSHED MANAGEMENT
 - EB ELECTRIC POWER BOX
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - F FIELD
 - FC FACE OF CURB
 - FDC FIRE DEPARTMENT CONNECTION
 - FR FIRE HYDRANT
 - FR FRAME
 - GL GAS LINE
 - GM GAS METER
 - GV GAS VALVE
 - GUY GUY WIRE
 - HDW HEAD WALL
 - HW HARDWOOD TREE
 - IPF IRON PIN FOUND
 - IPS IRON PIN SET
 - IV IRRIGATION VALVE
 - IVM IRRIGATION METER
 - JB JUNCTION BOX
 - LLL LAND LOT LINE
 - MAG MAGNETIC READING IP
 - MGN MAGNOLIA TREE
 - MH MAN HOLE
 - MTF METAL FENCE
 - N N'BORS
 - OH OVERHANG
 - OTP OPEN TOP PIPE FOUND
 - P PORCH
 - (P) PLAT
 - PC PROPERTY CORNER
 - PL PROPERTY LINE
 - PINE PINE TREE
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCING
 - PP POWER POLE
 - PP POWER LINE
 - R RECORD
 - PVC POLYVINYL CHLORIDE PIPE
 - ROD IRON ROD FOUND
 - RSF RAIL SPIKE FOUND
 - RBF REINFORCING BAR FOUND
 - RBS REINFORCING BAR SET
 - RCP REINFORCED CONC. PIPE
 - R/W RIGHT-OF-WAY
 - SN SIGN
 - SSL SANITARY SEWER LINE
 - SSE SANITARY SEWER EASEMENT
 - SP SCREENED PORCH
 - SW SIDEWALK
 - TB TOP OF BANK
 - TRP TRAFFIC POLE
 - UE UTILITY EASEMENT
 - WD WOOD
 - WDF WOOD FENCE
 - WDL WOOD DECK
 - WL WATER LINE
 - WM WATER METER
 - WF WIRE FENCE
 - WV WATER VALVE
 - WW WET WEATHER
 - WY WITH
 - YI YARD INLET
- * SYMBOLS *
- ELECTRIC PANEL/METER
 - WATER METER
 - ▲ FIRE DEPARTMENT CONNECTIONS
 - AIR CONDITIONER
 - GAS METER
 - ⊠ JUNCTION BOX
 - SANITARY SEWER MANHOLE
 - STORM MANHOLE
 - TRAFFIC/INFO SIGN
 - GAS MARKER
 - LAMP POST
 - METAL POST/PILLAR
 - WATER VALVE
 - ▭ HEADWALL
 - ▭ STAIRS
 - ▭ DRAINAGE INLET
 - FIRE HYDRANT
 - R/W MONUMENT
 - PARKING METER
 - ▭ PARKING STOPS BLOCKS
 - ▭ CONCRETE MONUMENT
 - TRAFFIC POLE
 - SING POLE
 - BENCHMARK
- * LINE INDICATORS *
- INDICATES SANITARY SEWER LINE
 - INDICATES POWER LINE
 - INDICATES WATER LINE
 - INDICATES GAS LINE
 - INDICATES FENCE LINE
 - INDICATES DRAINAGE LINE
 - BURIED POWER/CABLE LINE
 - AT&T BURIED LINE
 - OVERHEAD TRAFFIC/SING STRUCTURES



EXISTING LOT COVERAGE DETAIL
NOT TO SCALE

TOTAL LAND AREA
19,790.92 SF / 0.454 AC

EXISTING LOT COVERAGE
19,498.49 SF / 0.448 AC / 98.5%



SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL MAP ID 13121C0253F EFFECTIVE DATE: 9/18/2013 ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

LOT	BLOCK	EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 2 OF 6
SUBDIVISION	UNIT	PAUL LAWRENCE
LAND LOT 61	17TH DISTRICT SECTION	
FULTON COUNTY, GEORGIA	DB.60167/PG.191	PROPERTY ADDRESS: 3162 PIEDMONT ROAD NE ATLANTA, GA 30305
FIELD WORK DATE FEB 23, 2024	PRINTED/SIGNED MARCH 07, 2024	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"	
AU COORD #20240241 DWG #20240241 DEMO PLAN - SITE PLAN		24 LENOX SQUARE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-9747 INFO@SURVEYLANDEXPRESS.COM

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

GENERAL NOTES:

- 1. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.

EXISTING BUILDING FFE 1004.81

NO GRADED SLOPES SHALL EXCEED 3H:1V

TREE SAVE STATUS: X INDICATES TREE TO BE REMOVED

BOUNDARY LINES OBTAINED FROM THE ACTUAL FIELD-RUN SURVEY RECORDS.

DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 03-17-2024
ANTICIPATED COMPLETION DATE: 09-17-2024
THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

SURVEY NOTES:

- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

ALL UTILITIES TO BE CAPPED. EXISTING WATER LINE, GAS LINE AND SANITARY SEWER LINE TO BE REUSED

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

EXISTING BUILDING, METAL DECK, CONC AREA, PART OF PARKING LOT, CONC PATIO, CONC WALK, STEPS AND WALLS TO REMAIN

DIRT STATEMENT
TOTAL OF GROSS CUBIC YARDS OF CUT 0
TOTAL OF GROSS CUBIC YARDS OF FILL 0
TOTAL OF GROSS CUBIC YARDS OF DEMOLITION DEBRIS 204
TOTAL OF GROSS CUBIC YARDS OF HAUL VOLUMES 0

ALL UTILITIES TO BE CAPPED. EXISTING WATER LINE, GAS LINE AND SANITARY SEWER LINE TO BE REUSED

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

- *SYMBOLS*
ELECTRIC PANEL/METER
WATER METER
FIRE DEPARTMENT CONNECTIONS
AIR CONDITIONER
GAS METER
WATER METER
SANITARY SEWER MANHOLE
STORM MANHOLE
TRAFFIC/INFORMATION SIGN
GAS WALKER
LAMP POST
METAL POST/PILLAR
WATER VALVE
HEADWALL
DRAINAGE INLET
FIRE HYDRANT
R/W MONUMENT
PARKING METER
CONCRETE MONUMENT
PARKING STOP BLOCKS
CONCRETE MONUMENT
TRAFFIC POLE
SING POLE
BENCHMARK
LINE INDICATORS
INDICATES SANITARY SEWER LINE
INDICATES POWER LINE
INDICATES WATER LINE
INDICATES GAS LINE

PROPERTY IS ZONED SPI-9 (SUBAREA 4) CITY OF ATLANTA BUILDING SETBACK: FRONT: NONE SIDE: NONE REAR: NONE

ZONING NOTE: BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

USE EXISTING CONC. DRIVE AS CONSTRUCTION ENTRANCE/EXIT

LIMITS OF DISTURBANCE HAYBALES ONLY

ALL DISTURBED AREAS



IF YOU DO GEOL CALL US FIRST 1-800-451-4411 770-423-4344 METRO ATLANTA ONLY UTILITY PROTECTION CENTER IT'S THE LAW

GENERAL NOTES (SITE PLAN)

- 1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

- 2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OF TREAT THE SEDIMENT SOURCE.

NOTES

- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF ATLANTA STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- NO GRADED SLOPE SHALL EXCEED 2H : 1V
- NO WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE.
- CALL THE ATLANTA ARBORIST AT 404-330-6874 FOR MANDATORY PRE-CONSTRUCTION CONFERENCE AND SITE INSPECTION.
- THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 IT'S THE LAW.
- HAUL ROUTE PERMIT IS NOT REQUIRED
- LAND DISTURBANCE WITHIN RIGHT-OF-WAY AREA IS PROHIBITED
- TOPOGRAPHY IS BASED ON FIELD RUN SURVEY
- GRADE TO DRAIN AWAY FROM FOUNDATION.

LIMITS OF DISTURBANCE HAYBALES ONLY

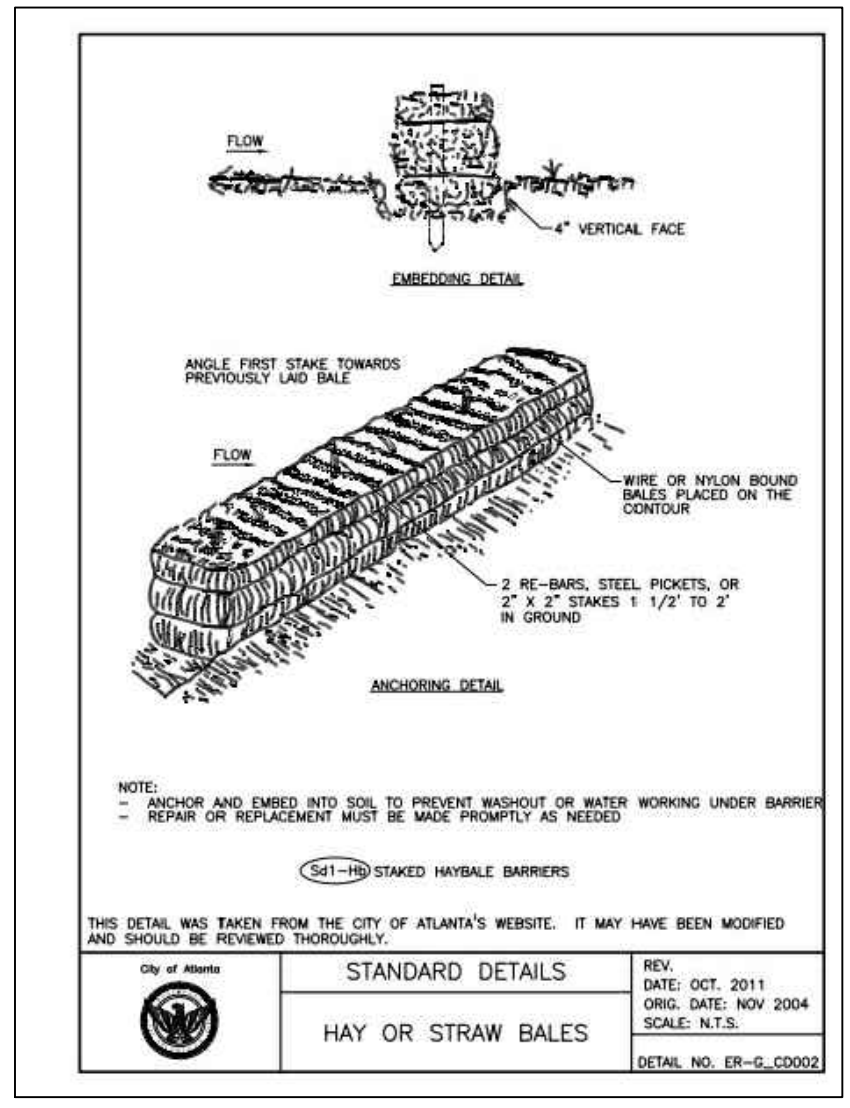
LIMITS OF DISTURBANCE HAYBALES ONLY

EXISTING DUMPSTER WILL BE RELOCATED

ALL DISTURBED AREAS

EXISTING ROCK WALL, CONC WALL, STORAGE AND ASPHALT PARKING LOT WITHIN LIMIT OF DISTURBANCE TO BE DEMOLISHED AND REMOVED

LIMITS OF DISTURBANCE HAYBALES ONLY



- (Co) CONSTRUCTION ENTRANCE/EXIT
(Sd2-F) INDICATES Sd2 TYPE F SEDIMENT CONTROL
(Sd2-PP) INDICATES Sd2 TYPE PP SEDIMENT CONTROL
(Sd1-C) INDICATES Sd1 TYPE C SILT FENCE
(Sd1-S) INDICATES Sd1 TYPE S SILT FENCE
(Sd1-Hb) INDICATES Sd1 TYPE Hb HAYBALES
(Tr) INDICATES TREE PROTECTION FENCE
(Ds1) DISTURBED AREA STABILIZATION (WITH MULCH)
(Ds2) DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
(Ds3) DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
(Ds4) DISTURBED AREA STABILIZATION (WITH SODDING)

EROSION CONTROL LEGEND

Table with 2 columns: Symbol and Description. Includes Ds1 (Disturbed Area Stabilization w/ Mulching Only), Ds2 (Disturbed Area Stabilization w/ Temporary Seeding), Ds3 (Disturbed Area Stabilization w/ Permanent Vegetation), Ds4 (Disturbed Area Stabilization w/ Permanent Vegetation), and Du (Disturbed Area Stabilization w/ Dust Control).

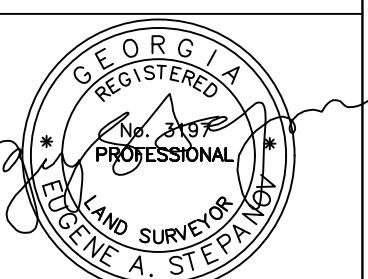
GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
EUGENE A STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000065549
ISSUED: 01/27/2024 EXPIRES: 01/27/2027

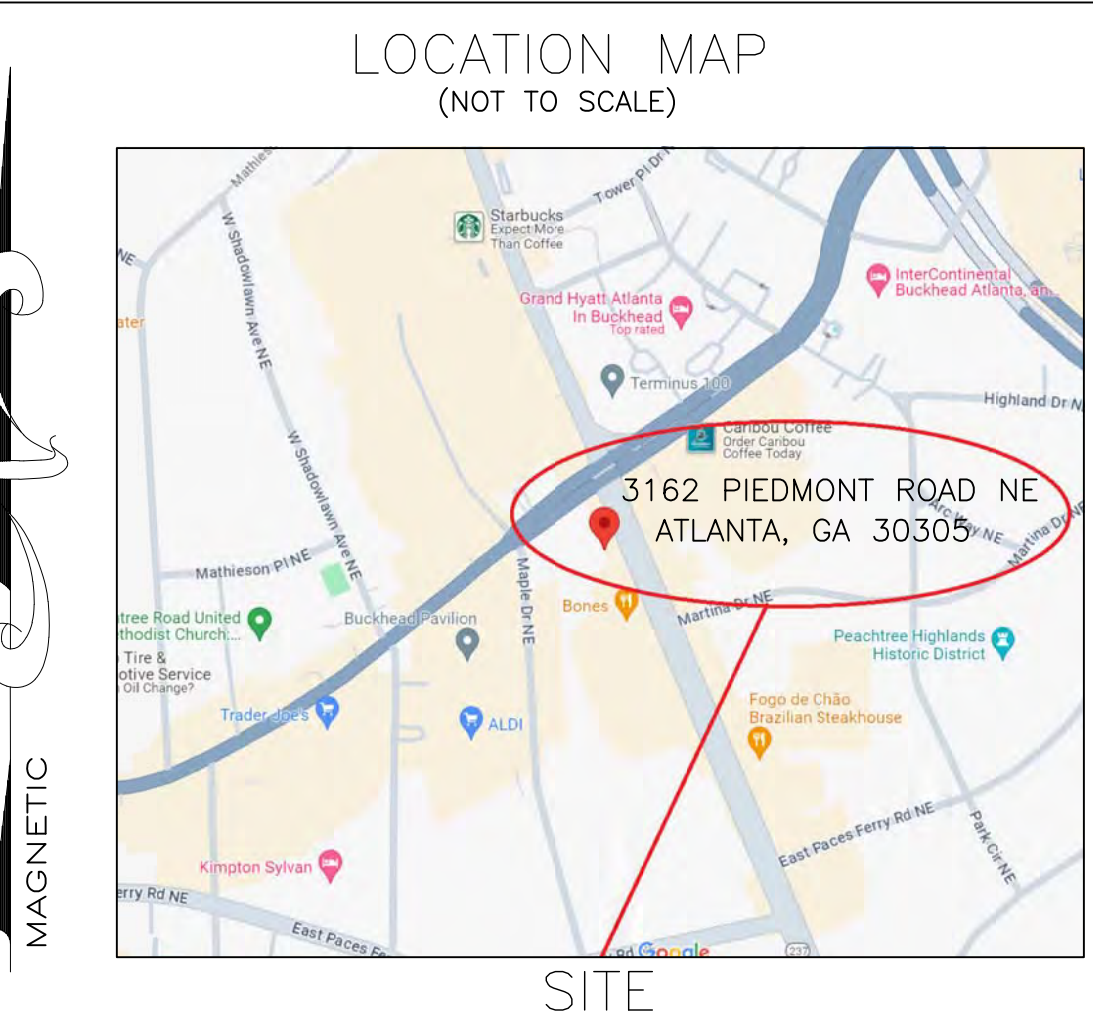
NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER
PAUL LAWRENCE
3162 PIEDMONT ROAD NE
ATLANTA, GA 30305
24 HOUR CONTACT: PAUL LAWRENCE
TELEPHONE: (678) 462-7810
EMAIL: plawrence@sequoiarow.com

TOTAL LAND AREA 19,790.92 SF / 0.454 AC
EXISTING IMPERVIOUS SURFACE 19,498.49 SF / 0.448 AC / 98.5%
DISTURBED AREA: 11,508.88 SF / 0.264 AC



Project information block including Lot/Block, Subdivision, Date, and Survey Land Express, Inc. logo.





PROPERTY IS ZONED SPI-9 (SUBAREA 4) (CITY OF ATLANTA)

BUILDING SETBACKS:
FRONT: NONE
SIDE: NONE
REAR: NONE

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

DISTURBED AREA STABILIZATION
ANTICIPATED STARTING DATE: 03/17/2024
ANTICIPATED COMPLETION DATE: 09/17/2024
THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

DIRT STATEMENT
TOTAL GROSS CUBIC YARDS OF CUT: 250
TOTAL GROSS CUBIC YARDS OF FILL: 250
TOTAL GROSS CUBIC YARDS OF DEBRIS TO BE REMOVED: 0
EXCESS OF SOIL TO BE HAULLED OFF.

CONSTRUCTION SCHEDULE (APPROX. START DATE MARCH 2024)

	1ST MONTH	2ND MONTH	3RD MONTH	4TH MONTH	5TH MONTH	6TH MONTH	7TH MONTH
INSTALL & MAINTAIN EROSION CONTROL	X X X X	X X X X	X X X X	X X X X	X X X X	X X X X	X X X X
CLEARING & GRUBBING	X X						
GRADING	X X	X X X X	X X (INSTALL TEMP VEGETATION WITHIN 14 DAYS AFTER GRADING)				
TEMP VEGETATION			X X (WITHIN 14 DAYS AFTER GRADING)				
INSTALL UTILITIES			X X	X X X X			
BUILDING CONSTRUCTION		X X X X	X X X X	X X X X	X X X X	X X X X	X X X X
PAVEMENT/DRIVEWAY					X X X X	X X X X	X X X X
PERMANENT VEGETATION					X X X X	X X X X	X X X X

CLEARING/GRUBBING WILL NOT BEGIN AT THE SAME TIME AS OR BEFORE INITIAL PERIMETER & SEDIMENT STORAGE BMPs.

LEGEND
MONTH X X X = 4 WEEKS

1ST MONTH
2ND MONTH
3RD MONTH
4TH MONTH
5TH MONTH
6TH MONTH
7TH MONTH

- *SYMBOLS***
- ELECTRIC PANEL/METER
 - WATER METER
 - ▲ FIRE DEPARTMENT CONNECTIONS
 - AIR CONDITIONER
 - GAS METER
 - JUNCTION BOX
 - SANITARY SEWER MANHOLE
 - STORM MANHOLE
 - TRAFFIC/INFO SIGN
 - GAS MARKER
 - LAMP POST
 - METAL POST/PILLAR
 - WATER VALVE
 - HEADWALL
 - STAIRS
 - DRAINAGE INLET
 - FIRE HYDRANT
 - R/W MONUMENT
 - PARKING METER
 - CONCRETE MONUMENT
 - TRAFFIC POLE
 - SING POLE
 - BENCHMARK
- *SYMBOLS***
- APP AS PER PLAT
 - APD AS PER DEED
 - APF AS PER FIELD
 - AI ANGLE IRON FOUND
 - APZ AS PER ZONING
 - BB BOTTOM BANK
 - BC BACK OF CURB
 - BLK BLOCK
 - BLS BUILDING SETBACK LINE
 - BRK BRICK
 - BSMT BASEMENT
 - CBX CABLE BOX
 - CBL CABLE LINE
 - C CONCRETE
 - CB CATCH BASIN
 - CL CENTER LINE
 - CLF CHAIN LINK FENCE
 - CMP CORRUGATED METAL PIPE
 - C.O.A. CITY OF ATLANTA
 - CO SAN SEWER CLEAN OUT
 - CM CADASTRAL MAP
 - CRWL CRAWL SPACE
 - CP CALCULATED POINT
 - CPT CARPORT
 - (D) DEED
 - DE DRAINAGE EASEMENT
 - DI DRAINAGE INLET
 - DWM DEPARTMENT OF WATERSHED MANAGEMENT
 - EB ELECTRIC POWER BOX
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - F FIELD
 - FC FACE OF CURB
 - FDC FIRE DEPARTMENT CONNECTION
 - FH FIRE HYDRANT
 - FR FRAME
 - GL GAS LINE
 - GM GAS METER
 - GV GAS VALVE
 - GU GUY WIRE
 - HDW HEAD WALL
 - HW HARDWOOD TREE
 - IP IRON PIN
 - IPF IRON PIN FOUND
 - IPR IRON PIPES
 - IVM IRRIGATION VALVE
 - IVR IRRIGATION METER
 - JB JUNCTION BOX
 - LLD LAND LOT LINE
 - MAG MAGNETIC READING IP
 - MGN MAGNOLIA TREE
 - NH MAN HOLE
 - MTF METAL FENCE
 - N'BORS N'BORS
 - OH OVERHANG
 - OTR OPEN TOP PIPE FOUND
 - P PORCH
 - (P) PLAT
 - PC PROPERTY CORNER
 - PL PLANE
 - PN PINE TREE
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCING
 - PP POWER POLE
 - PW POWER LINE
 - RECORD RECORD
 - R PVC POLYVINYL CHLORIDE PIPE
 - ROD IRON ROD FOUND
 - RSF RAIL SPIKE FOUND
 - RFB REINFORCING BAR FOUND
 - RBS REINFORCING BAR SET
 - RCP REINFORCING CON. PIPE
 - R/W RIGHT-OF-WAY
 - SN SIGN
 - SLL SANITARY SEWER LINE
 - SSE SANITARY SEWER EASEMENT
 - SP SCREENED PORCH
 - SW SIDEWALK
 - TB TOP OF BANK
 - TRP TRAFFIC POLE
 - UE UTILITY EASEMENT
 - WD WOOD
 - WDF WOOD FENCE
 - WOK WOOD DECK
 - WL WATER LINE
 - WM WATER METER
 - WRF WIRE FENCE
 - WV WATER VALVE
 - WW WET WEATHER
 - W/ WITH/
 - YI YARD INLET

- *LINE INDICATORS***
- INDICATES SANITARY SEWER LINE
 - INDICATES POWER LINE
 - INDICATES WATER LINE
 - INDICATES GAS LINE
 - INDICATES FENCE LINE
 - INDICATES DRAINAGE LINE
 - BURIED POWER/CABLE LINE
 - AT&T BURIED LINE
 - OVERHEAD TRAFFIC/SING STRUCTURES

- (Co) CONSTRUCTION ENTRANCE/EXIT
- (Sd2-F) INDICATES Sd2 TYPE F SEDIMENT CONTROL
- (Sd2-PP) INDICATES Sd2 TYPE PP SEDIMENT CONTROL
- (Sd1-C) INDICATES Sd1 TYPE C SILT FENCE
- (Sd1-S) INDICATES Sd1 TYPE S SILT FENCE
- (Sd1-Hb) INDICATES Sd1 TYPE Hb HAYBALES
- (Tr) INDICATES TREE PROTECTION FENCE
- (Ds1) DISTURBED AREA STABILIZATION (WITH MULCH)
- (Ds2) DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
- (Ds3) DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- (Ds4) DISTURBED AREA STABILIZATION (WITH SODDING)

FLOOD HAZARD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL MAP ID 13121C0253F EFFECTIVE DATE: 9/18/2013 ZONE: X NO WATERS OF THE STATE EXIST WITHIN 200 FEET OF THE PROJECT SITE.

- THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.
- ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAN SHALL BE CONSTRUCTED SO THAT ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION.

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

SCOPE OF PLAN:

THE PURPOSE OF THIS SITE PLAN IS FOR USE IN ACQUIRING LAND DISTURBANCE PERMITS.

THE SCOPE INCLUDES THE PARKING LOT REPLACEMENT AND ORGANIZE ENTRY TO IT.

EROSION CONTROL BMPs TO BE MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES AS DETAILED HEREON. NO LAND DISTURBANCE PROPOSED WITHIN ANY STREAM BUFFER.

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.
7. THE PUBLIC RECORDS INFORMATION AS SHOWN HEREON REFLECT THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.
8. THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
9. THIS SURVEY WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE.
10. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
11. STORM DRAINAGE AND SANITARY SEWER EASEMENTS SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA.
12. SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
13. IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
14. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND ACCOMPANYING PLUMB PRISM POLE WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.

BEARINGS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002 ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

PARKING CALCULATION

USE	AREA (SF)	MAXIMUM	MINIMUM	PROPOSED
PER ATLANTA CITY CODE §16-181.023 OFF STREET PARKING REQUIREMENTS and the SPI – Buckhead Village Parking Table				
Eating & Drinking (Indoor Dining)	7,503 SF ¹	25	19	21

TREE PROTECTION: (Tr)

1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
3. KEEP OUT SIGN.

(1) THE EATING AND DRINKING ESTABLISHMENT INCLUDES AN UNCOVERED OUTDOOR PATIO CONSISTING OF 1,537 SF WHICH IS 20.5% OF THE TOTAL GROSS FLOOR AREA OF THE ESTABLISHMENT AS THE UNCOVERED OUTDOOR PATIO IS LESS THAN 25% OF THE TOTAL GROSS FLOOR AREA OF THE ESTABLISHMENT. NO ADDITIONAL OFF-STREET PARKING IS REQUIRED FOR THE UNCOVERED OUTDOOR PATIO.

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS
Ds4	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds4	ESTABLISHING PERMANENT NEGATIVE COVER USING SODS ON HIGHLY ERODIBLE OR CRITICALLY ERODED LANDS. SEE ENLARGED PLANS
Du	DISTURBED AREA STABILIZATION (W/ DUST CONTROL)	Du	CONTROLLING OF SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITE, ROADS, AND DEMOLITION SITES. SEE EROSION CONTROL NOTES.

RELEASED FOR CONSTRUCTION

NOTES

LOT BLOCK		PROPOSED CONDITIONS SURVEY PREPARED FOR: SHEET 4 OF 6
SUBDIVISION UNIT		
LAND LOT 61 17TH DISTRICT SECTION		
FULTON COUNTY, GEORGIA DB.60167/PG.191 PB./PG.		PAUL LAWRENCE PROPERTY ADDRESS: 3162 PIEDMONT ROAD NE ATLANTA, GA 30305
FIELD WORK DATE FEB 23, 2024 PRINTED/SIGNED MARCH 07, 2024		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"		
AU COORD #20240241 DWG #20240241 DEMO PLAN - SITE PLAN LAND SURVEYING SERVICES		
24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-232-5747 INFO@SURVEYLANDEXPRESS.COM		

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
EUGENE A. STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000065549
ISSUED:01/27/2024 EXPIRES:01/27/2027



NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER
PAUL LAWRENCE
3162 PIEDMONT ROAD NE
ATLANTA, GA 30305
24 HOUR CONTACT: PAUL LAWRENCE
TELEPHONE: (678) 462-7810
EMAIL: plawrence@sequoiorow.com

EXISTING BUILDING FFE 1004.81

EXISTING WATER LINE, GAS LINE AND SANITARY SEWER LINE TO BE REUSED

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY

TREE SAVE STATUS:

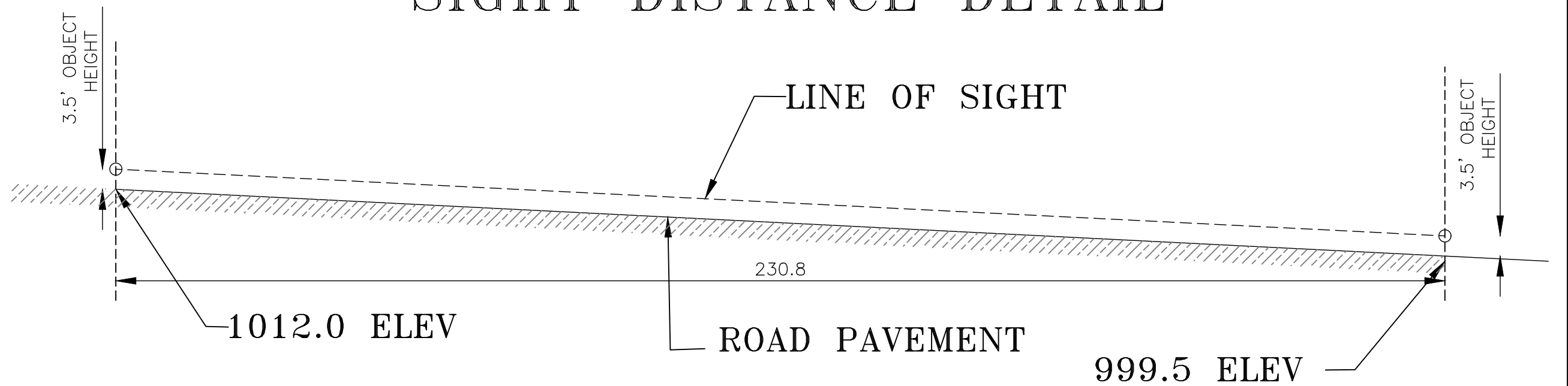
X INDICATES TREE TO BE REMOVED

BOUNDARY LINES OBTAINED FROM THE ACTUAL FIELD-RUN SURVEY RECORDS.

NO IMPACT TO TREE CRZs UNLESS EXPLICITLY STATED

BEARINGS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002 ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

SIGHT DISTANCE DETAIL



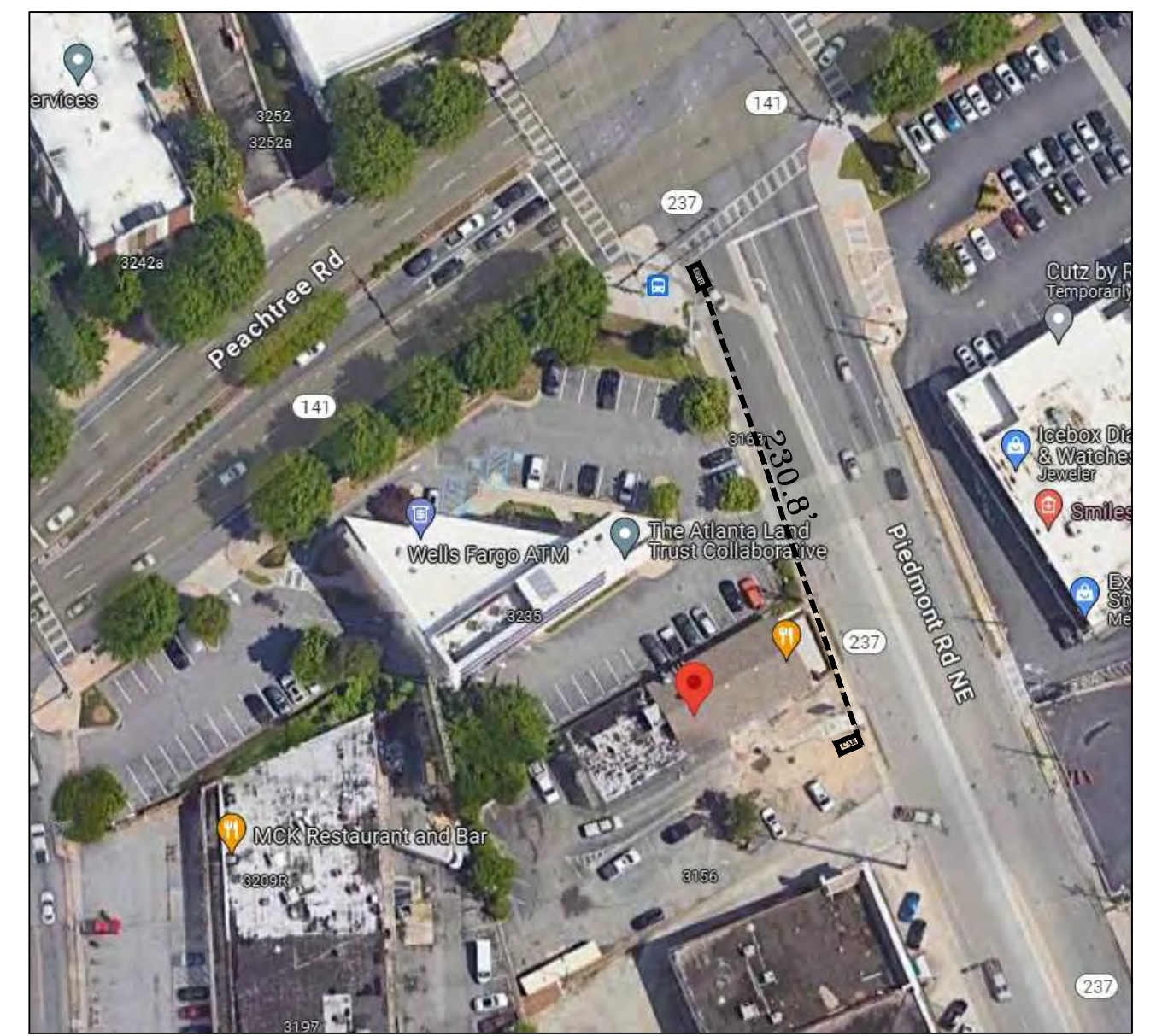
- *SYMBOLS***
- APP AS PER PLAT
 - AWM AS PER FIELD
 - AWP AS PER FIELD
 - AWR AS PER FIELD
 - AWZ AS PER ZONING
 - AWB AS PER BANK
 - AWC AS PER CURB
 - AWD AS PER DRAINAGE
 - AWJ AS PER JUNCTION
 - AWK AS PER SANITARY SEWER
 - AWL AS PER WATER
 - AWM AS PER METEOROLOGICAL
 - AWN AS PER NATURE
 - AWO AS PER OTHER
 - AWP AS PER PLAT
 - AWR AS PER FIELD
 - AWZ AS PER ZONING
 - AWB AS PER BANK
 - AWC AS PER CURB
 - AWD AS PER DRAINAGE
 - AWJ AS PER JUNCTION
 - AWK AS PER SANITARY SEWER
 - AWL AS PER WATER
 - AWM AS PER METEOROLOGICAL
 - AWN AS PER NATURE
 - AWO AS PER OTHER
- *LEGEND***
- AS PER PLAT
 - AS PER FIELD
 - AS PER ZONING
 - AS PER BANK
 - AS PER CURB
 - AS PER DRAINAGE
 - AS PER JUNCTION
 - AS PER SANITARY SEWER
 - AS PER WATER
 - AS PER METEOROLOGICAL
 - AS PER NATURE
 - AS PER OTHER

NO GRADED SLOPES SHALL EXCEED 3H:1V

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

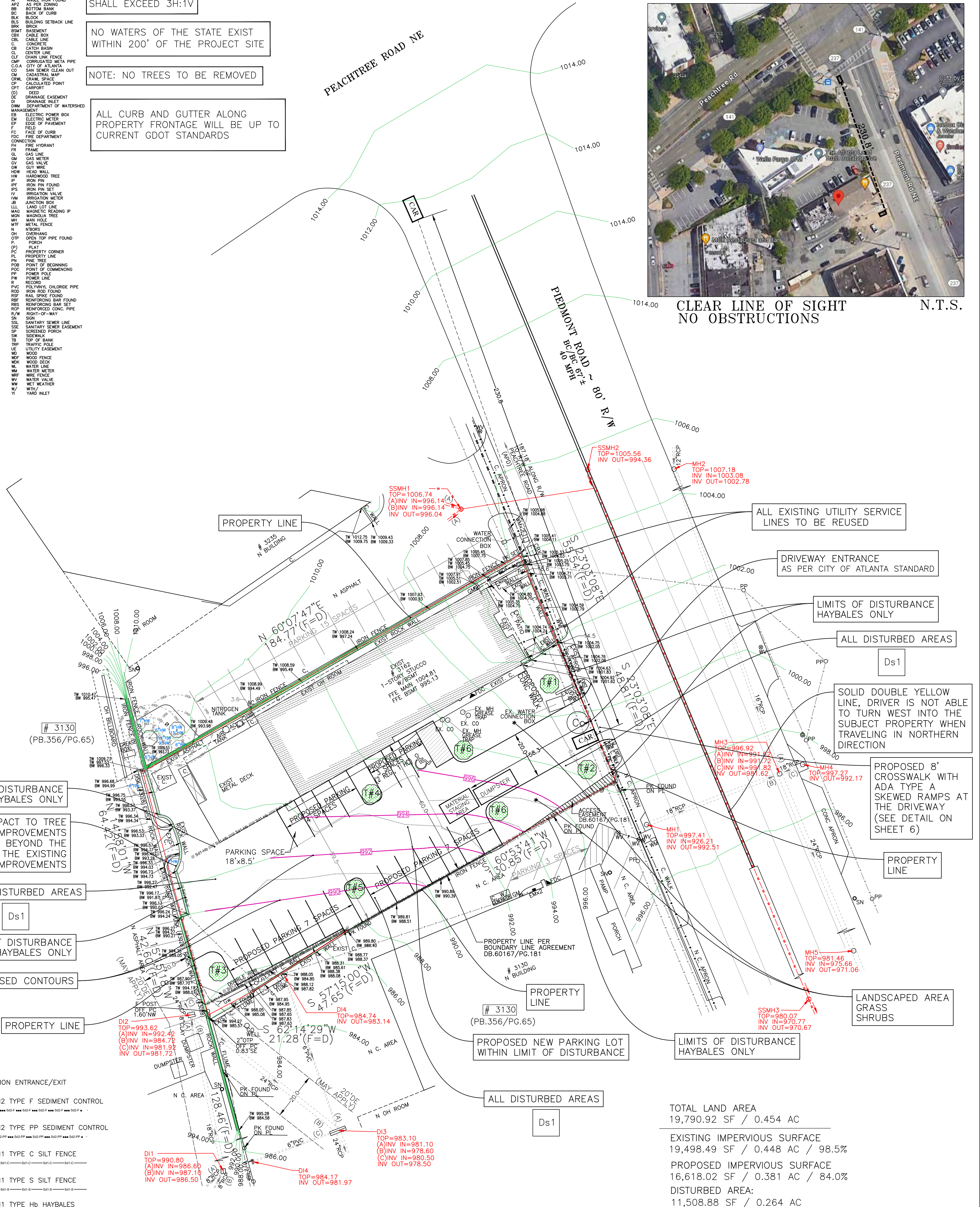
NOTE: NO TREES TO BE REMOVED

ALL CURB AND GUTTER ALONG PROPERTY FRONTAGE WILL BE UP TO CURRENT GDOT STANDARDS



CLEAR LINE OF SIGHT NO OBSTRUCTIONS

N.T.S.



TOTAL LAND AREA
19,790.92 SF / 0.454 AC

EXISTING IMPERVIOUS SURFACE
19,498.49 SF / 0.448 AC / 98.5%

PROPOSED IMPERVIOUS SURFACE
16,618.02 SF / 0.381 AC / 84.0%

DISTURBED AREA:
11,508.88 SF / 0.264 AC

NOTE: THERE WILL BE 0% INCREASE IN IMPERVIOUS AREA

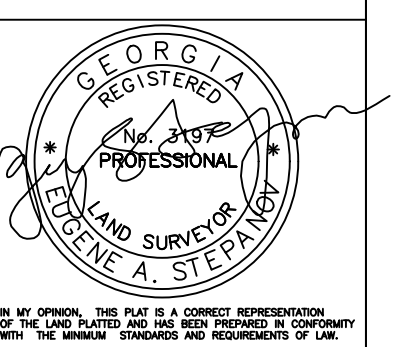
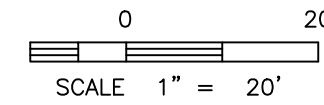
T#	TREE TO BE PLANTED:	EXISTING TREES TO BE REMOVED
T1	Oak, Black (<i>Quercus velutina</i>) OVERSTORY TREE	N/A
T2	Oak, White (<i>Quercus alba</i>) OVERSTORY TREE	N/A
T3	Blackgum (Tupelo) (<i>Nyssa sylvatica</i>) MID-STORY TREE	N/A
T4	Oak Georgia (<i>Quercus georgiana</i>) MID-STORY TREE	N/A
T5	Oak, White (<i>Quercus alba</i>) OVERSTORY TREE	N/A
T6	Blackgum (Tupelo) (<i>Nyssa sylvatica</i>) MID-STORY TREE	N/A
T7	Oak Georgia (<i>Quercus georgiana</i>) MID-STORY TREE	N/A

RELEASED FOR CONSTRUCTION

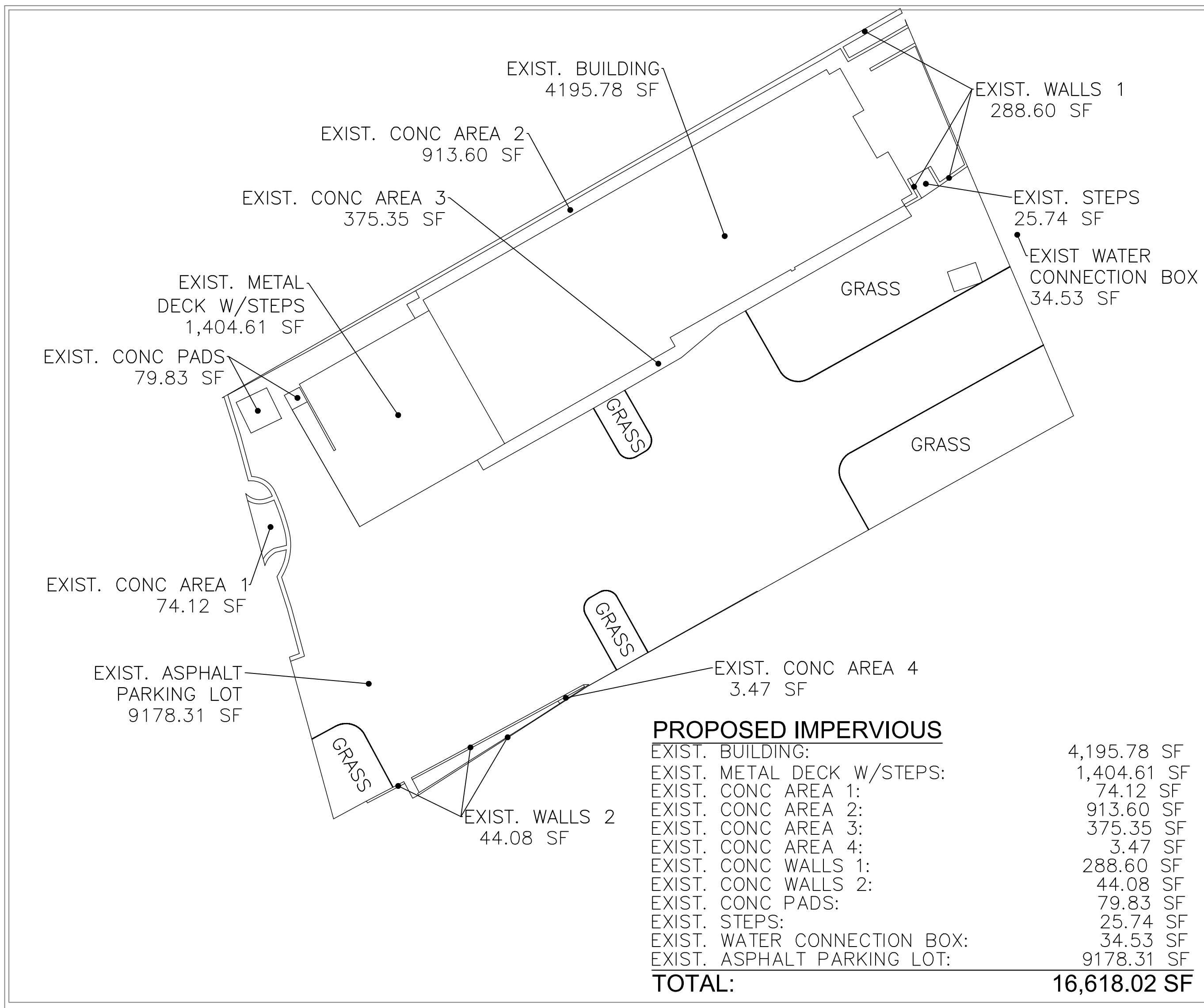
LOT	BLOCK	PROPOSED CONDITIONS SURVEY PREPARED FOR: SHEET 5 OF 6
SUBDIVISION	UNIT	
LAND LOT 61	17TH DISTRICT SECTION	PB./PG.
FULTON COUNTY, GEORGIA	DB.60167/PG.191	PB./PG.
FIELD WORK DATE FEB 23, 2024	PRINTED/SIGNED MARCH 07, 2024	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 24" x 36"
PROPERTY ADDRESS: 3162 PIEDMONT ROAD NE ATLANTA, GA 30305		
SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES		

EROSION CONTROL, GRADING & TREE PROTECTION PLAN

- Co CONSTRUCTION ENTRANCE/EXIT
- Sd2-F INDICATES Sd2 TYPE F SEDIMENT CONTROL
- Sd2-PP INDICATES Sd2 TYPE PP SEDIMENT CONTROL
- Sd1-C INDICATES Sd1 TYPE C SILT FENCE
- Sd1-S INDICATES Sd1 TYPE S SILT FENCE
- Sd1-Hb INDICATES Sd1 TYPE Hb HAYBALES
- Tr INDICATES TREE PROTECTION FENCE
- SRP INDICATES STRUCTURAL ROOT PLATE
- Ds1 DISTURBED AREA STABILIZATION (WITH MULCH)
- Ds2 DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
- Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)
- INDICATES PROPOSED CONTOURS
- INDICATES EXISTING CONTOURS

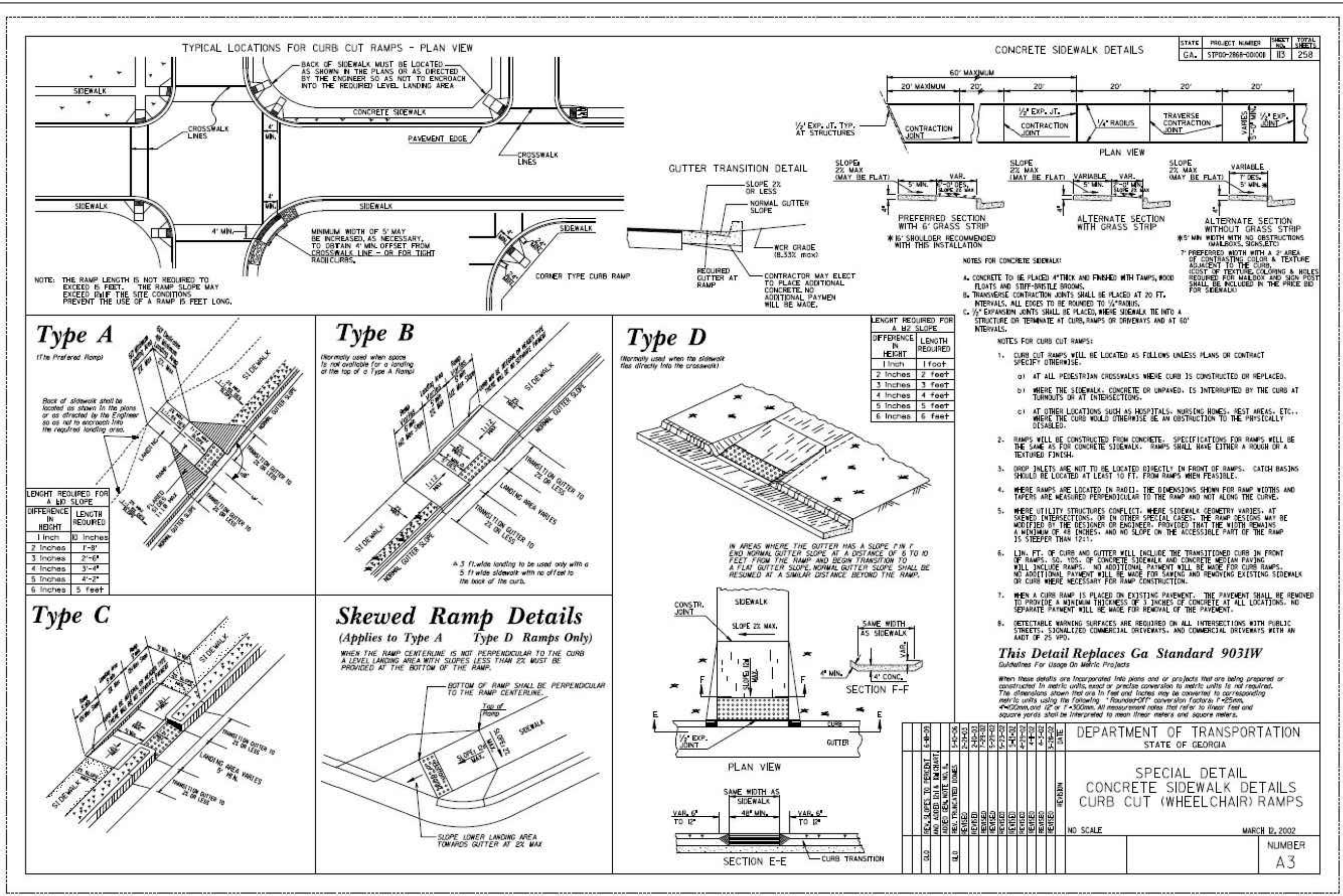
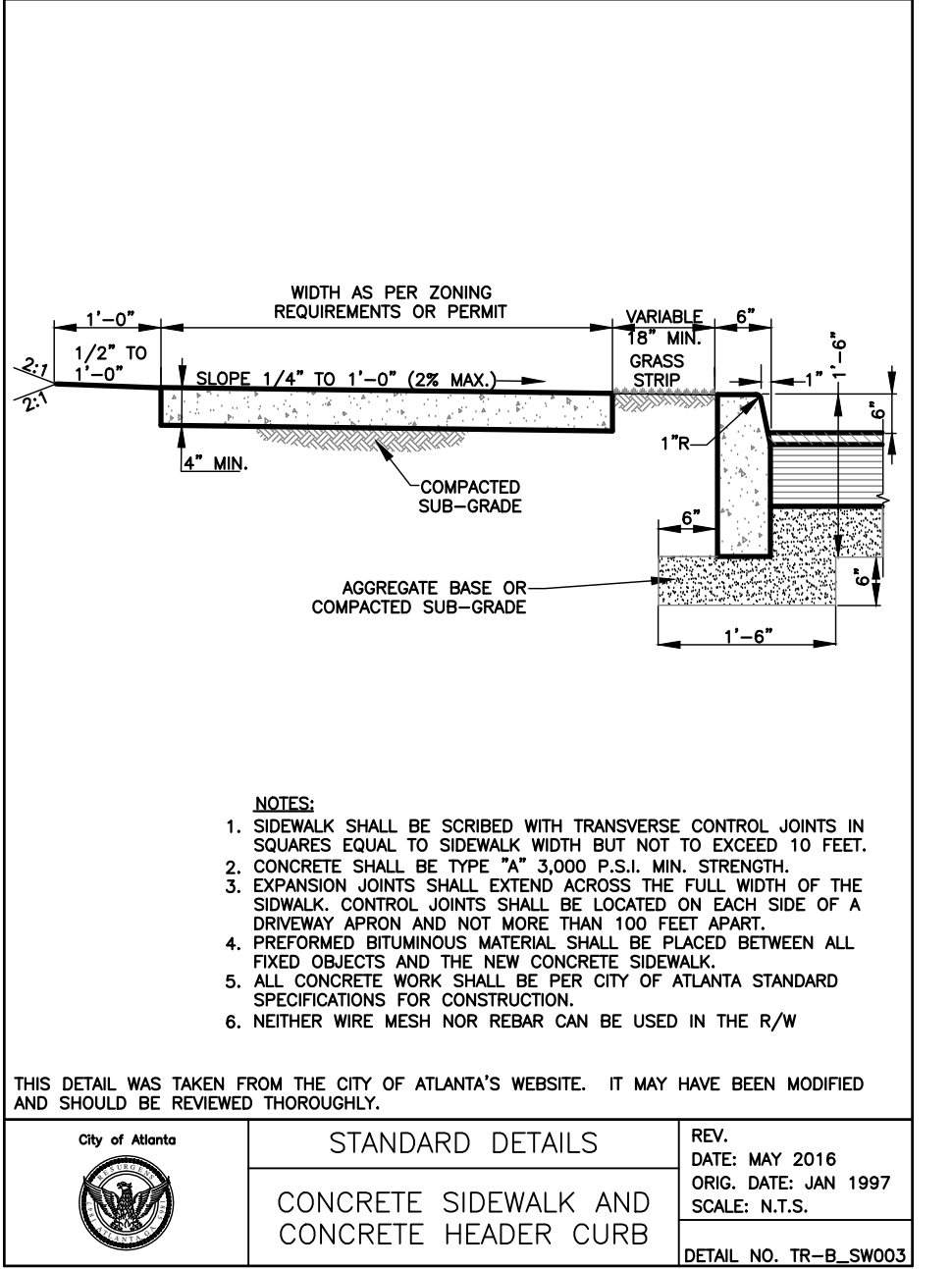
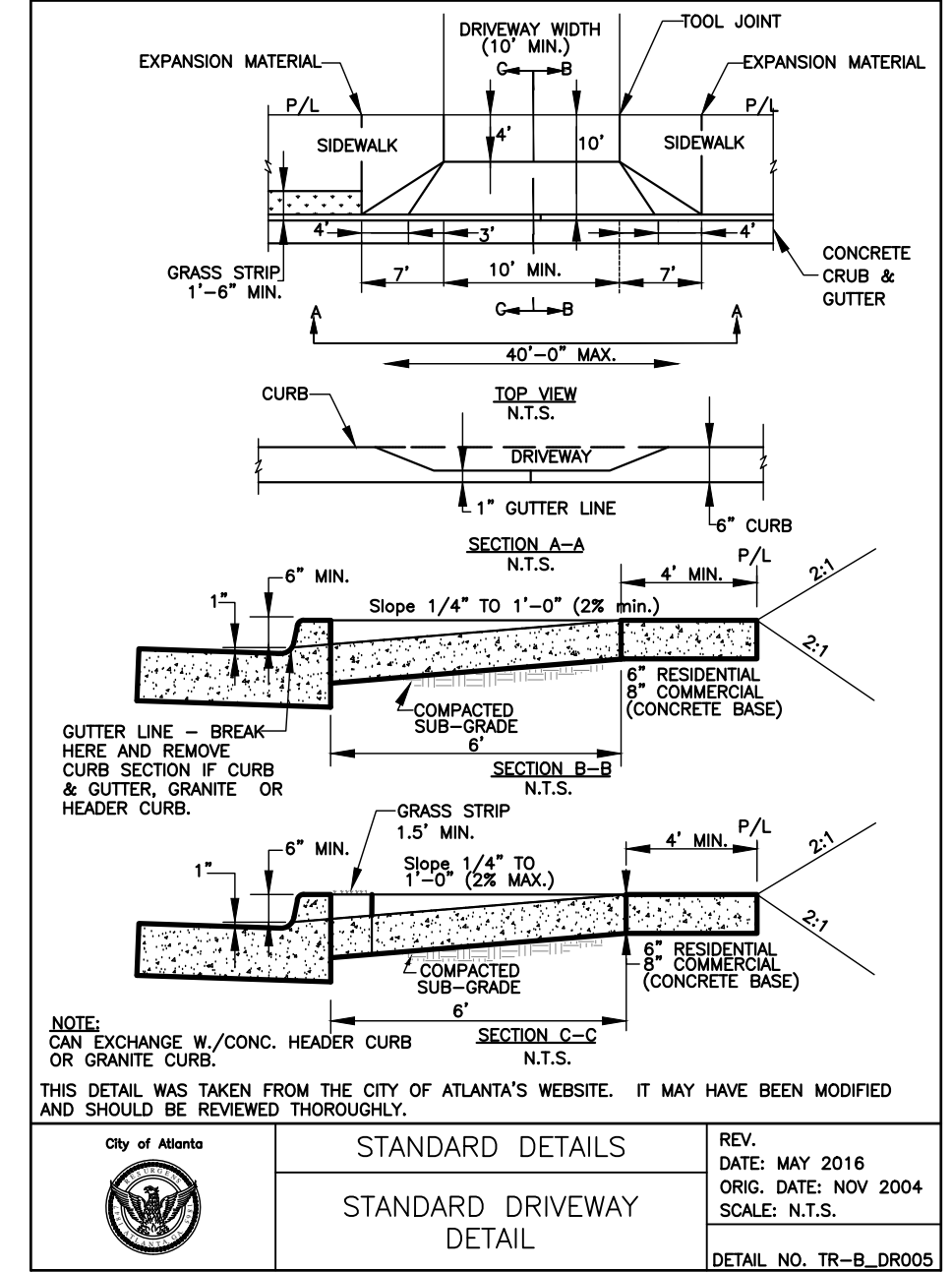
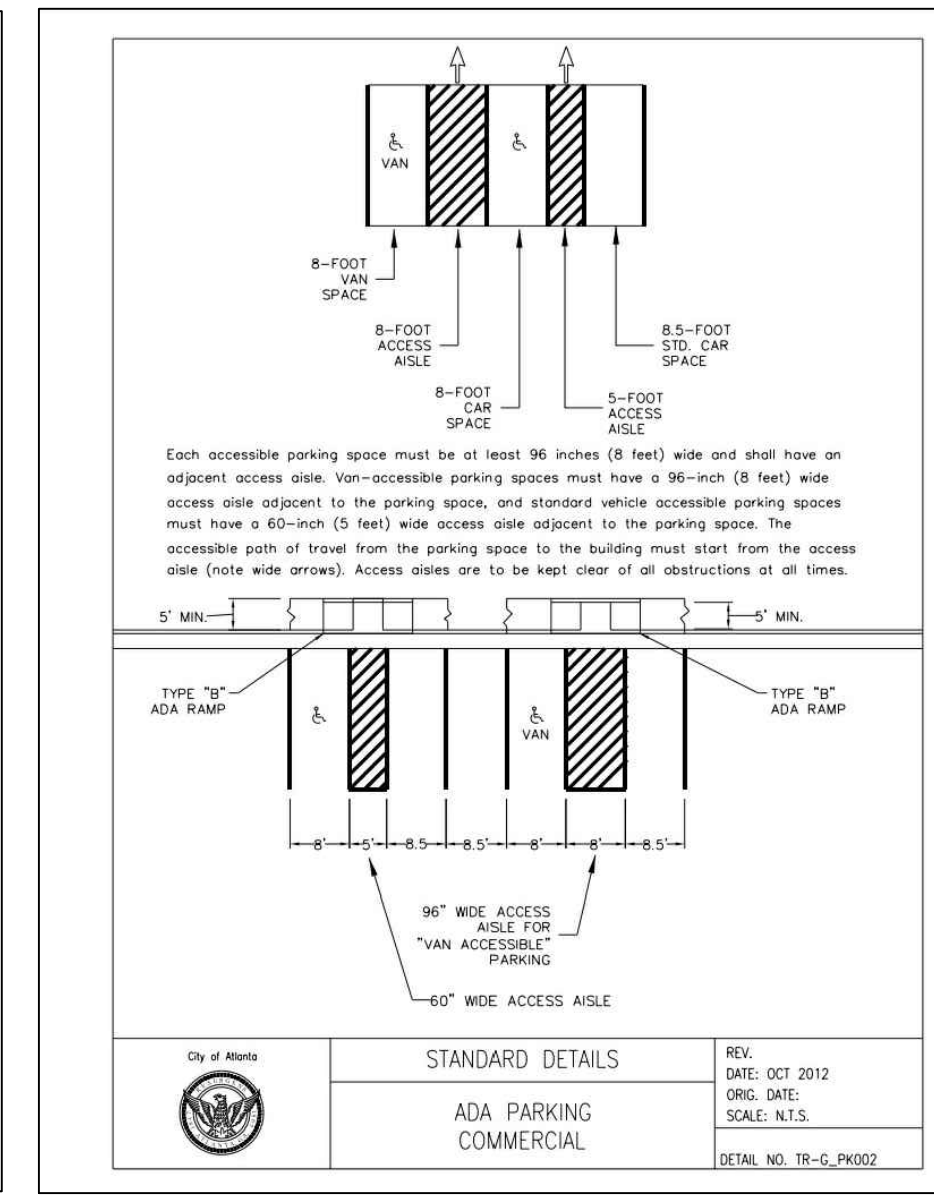
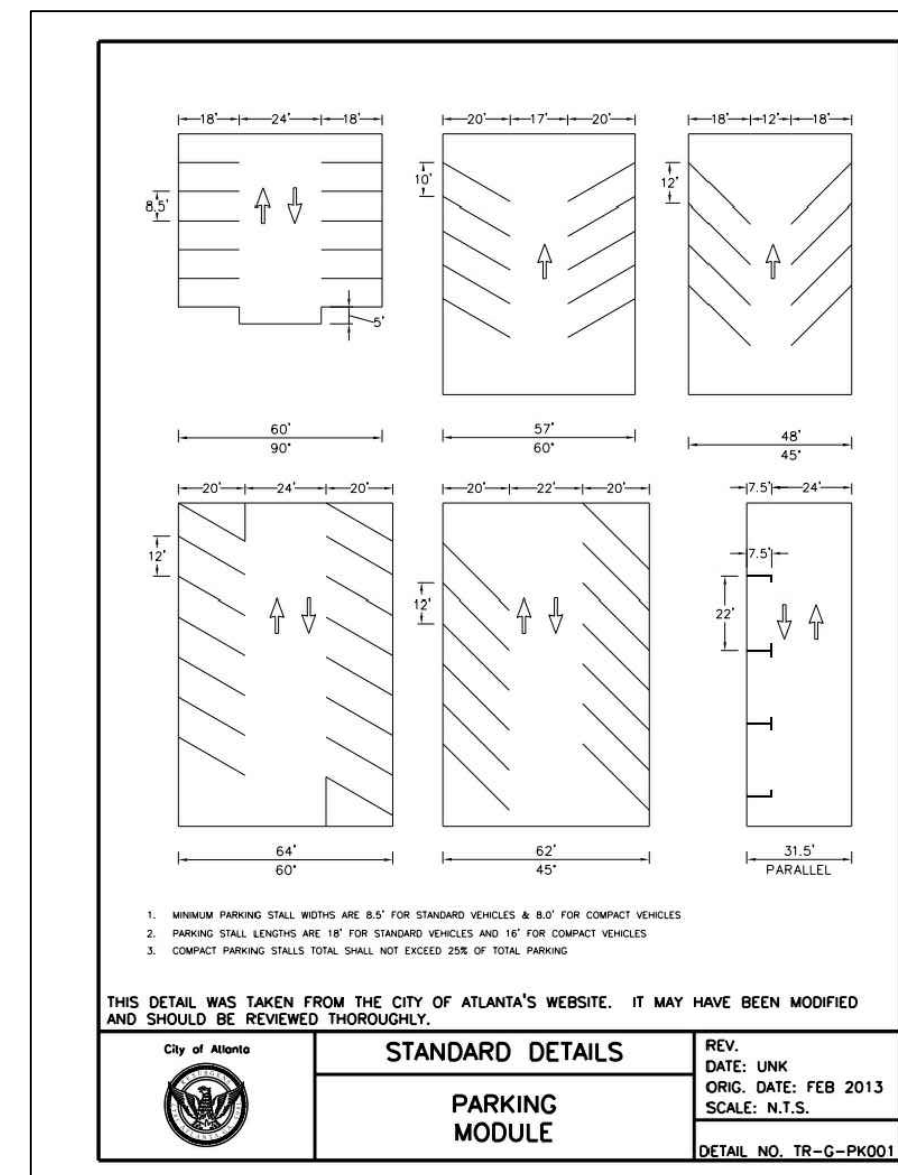
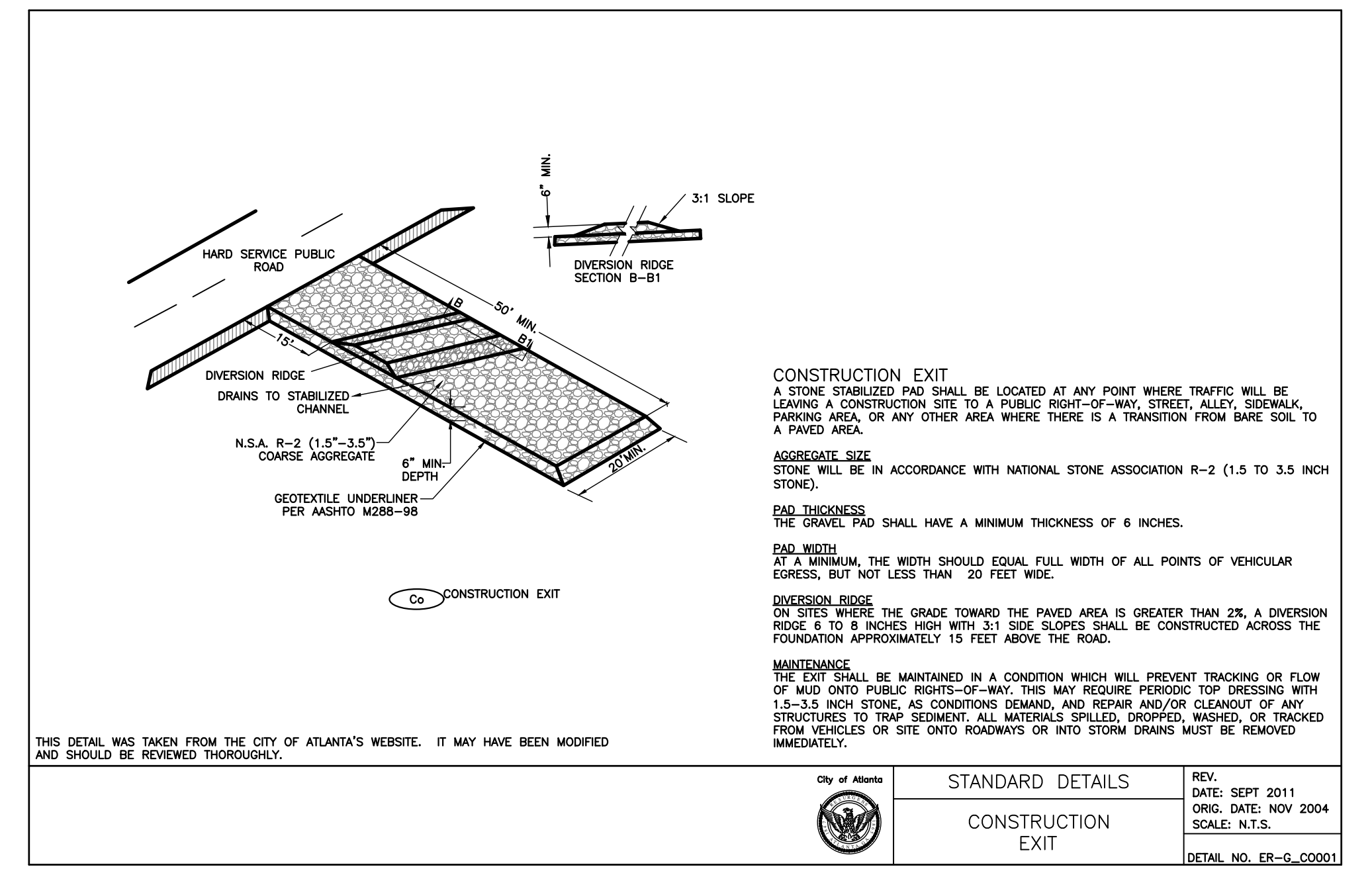
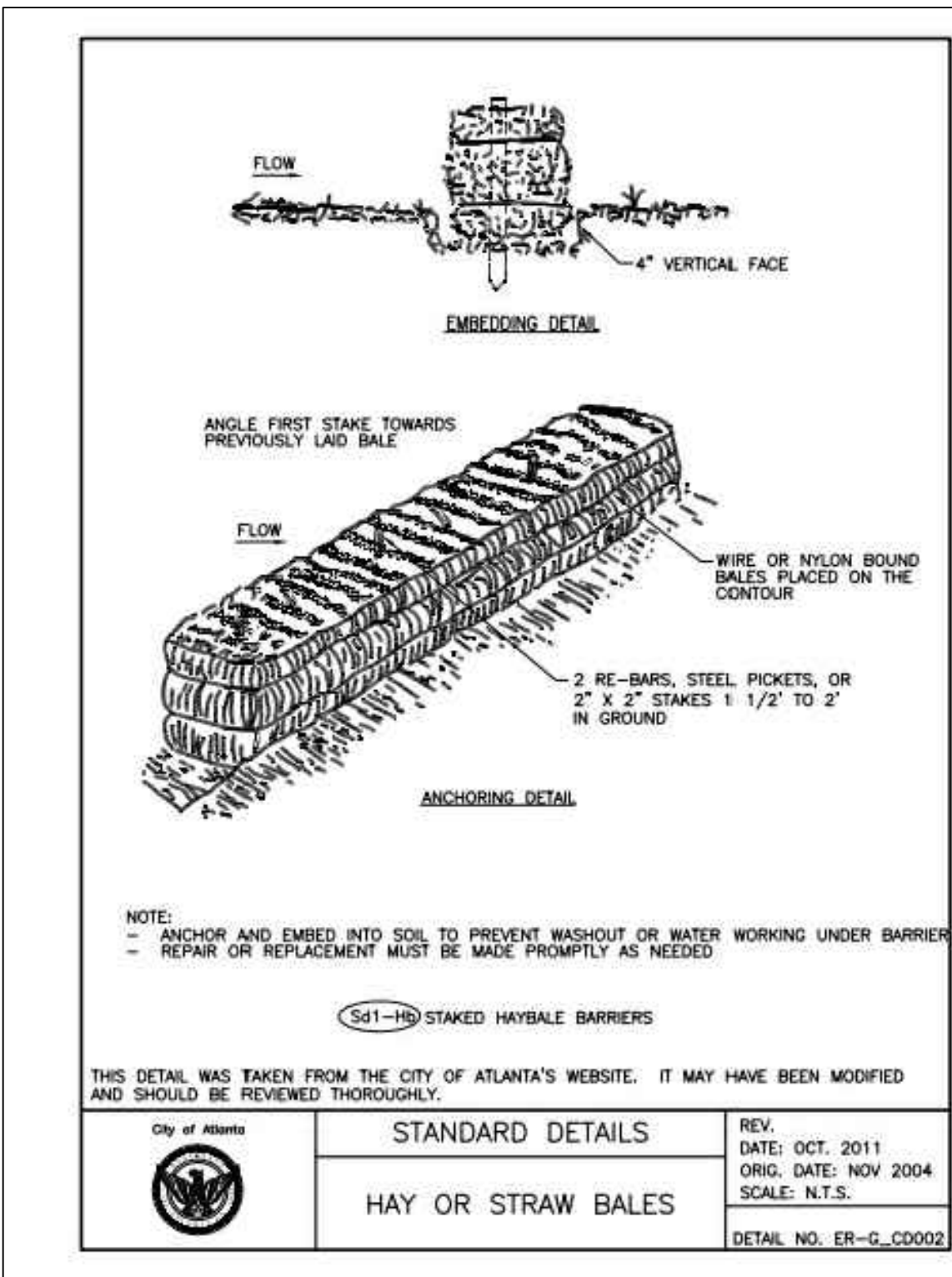


LOT COVERAGE AREA DETAILS



PROPOSED IMPERVIOUS

EXIST. BUILDING:	4,195.78 SF
EXIST. METAL DECK W/STEPS:	1,404.61 SF
EXIST. CONC AREA 1:	74.12 SF
EXIST. CONC AREA 2:	913.60 SF
EXIST. CONC AREA 3:	375.35 SF
EXIST. CONC AREA 4:	3.47 SF
EXIST. CONC WALLS 1:	288.60 SF
EXIST. CONC WALLS 2:	44.08 SF
EXIST. CONC PADS:	79.83 SF
EXIST. STEPS:	25.74 SF
EXIST. WATER CONNECTION BOX:	34.53 SF
EXIST. ASPHALT PARKING LOT:	9178.31 SF
TOTAL:	16,618.02 SF



RELEASED FOR CONSTRUCTION

DETAILS

PROPOSED CONDITIONS SURVEY PREPARED FOR: SHEET 6 OF 6
PAUL LAWRENCE

LOT: BLOCK
 SUBDIVISION: UNIT
 LAND LOT 61 17TH DISTRICT SECTION
 FULTON COUNTY, GEORGIA DB.60167/PG.191 PB./PG.
 FIELD WORK DATE FEB 23, 2024 PRINTED/SIGNED MARCH 07, 2024

PROPERTY ADDRESS:
 3162 PIEDMONT ROAD NE
 ATLANTA, GA 30305

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"

24 LENOX POINT
 ATLANTA, GA 30324
 FAX 404-601-0941
 TEL 404-252-5747

SURVEY LAND EXPRESS, INC
 LAND SURVEYING SERVICES

INFORMATION: THIS PLAN HAS BEEN CALCULATED FOR CURB AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A 100 CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

IN GEORGIA, THE PROFESSIONAL SURVEYOR MUST BE REGISTERED WITH THE SURVEYOR GENERAL. THE SURVEYOR GENERAL IS THE AUTHORITY ON MATTERS RELATING TO THE REGISTRATION OF SURVEYORS.