



3330 Piedmont Rd. NE  
Atlanta, GA 30305

## Starbucks Piedmont Rd & Tower Place Dr.

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### SPECIAL ADMINISTRATIVE PERMIT Amendment-1 Narrative

The revised schematic package is an amendment request for engineering adjustments. Raised parapets allows full screening of roof equipment as required and supports interior ceiling heights for operations.

#### *CO-30*

- Relocated drive thru equipment.

#### *SD1-1*

- Raised all 18' parapets to 20' AFF for full RTUs screening.
- Added weather protection canopies at both storefront doors.
- Portion of DT bump with accent finish as labeled.
- Updated Exterior Material Legend.

#### *SD2*

- Relocated drive-thru order equipment from wall mounted to freestanding on site.
- Updated furniture, equipment, and fixtures.

#### *SD3*

- Raised all 18' parapets to 20' AFF for full RTUs screening.

#### *SD4*

- Relocated HVAC equipment.
- Added weather protection canopies at both storefront doors.

Please contact me at 678.781.5076 or via email at [mgoss@gpdgroup.com](mailto:mgoss@gpdgroup.com) with any questions or comments.

GPD Group,

Michelle Goss, NCARB LEED AP  
Assoc. Design Manager  
Licensed in FL, OH

**SAP FILE NUMBER:**  
SAP-23-086

**ZONING CLASSIFICATION:**  
SPI-9 SUBAREA 4  
APPROVED ZONING CASE Z-21-07  
ADJACENT BUCKHEAD LANDING DEVELOPMENT WAS APPROVED UNDER SAP-21-095  
BUCKHEAD PARKING OVERLAY  
**ADJACENT STREETS:**  
PIEDMONT ROAD (TYPE 2) (GDOT STATE ROUTE 237)

**SITE PLAN LEGEND:**

- PROPERTY LINE
- [Symbol] STREETScape INSTALLED BY GDOT AS PART OF PIEDMONT ROAD WIDENING PROJECT (OUTSIDE THE SCOPE OF THE IMPROVEMENTS)
- [Symbol] PROPOSED TREE
- [Symbol] EXISTING TREE
- [Symbol] STANDARD DUTY CONCRETE SIDEWALK
- [Symbol] PROPOSED LANDSCAPED AREA

**SAP SITE NOTES:**

- ADDRESS NUMBERS ARE TO BE PROVIDED ON BUILDING AND BE A MINIMUM OF 6 INCHES IN HEIGHT.
- ALL LIGHTING THAT UP-LIGHTS TREES, BUILDINGS, OR OTHER ELEMENTS, SHALL BE LOCATED AT A MINIMUM HEIGHT OF 8 FT ABOVE THE SIDEWALK, DRIVEWAY, OR PEDESTRIAN AREA WHEN NOT LOCATED WITHIN COMPLETED LANDSCAPED AREAS.
- PER ORDINANCE 21-O-0117, ALL EXTERIOR LIGHTING ELEMENTS ALONG THE WESTERN AND NORTHERN PROPERTY BOUNDARIES SHALL BE LIGHTED ONLY WITH "FULL CUTOFF" TYPE LIGHT FIXTURES TO REDUCE LIGHT POLLUTION TO ADJOINING RESIDENTIAL PROPERTIES TO ZERO SPILLOVER AT THE PROPERTY LINE.

**DEVELOPMENT SUMMARY:**

**SITE SUMMARY (STARBUCKS SITE ONLY):**

STUDY AREA:	0.32 ACRES 13,800 SF
EXISTING BUILDING SQUARE FOOTAGE TO REMAIN:	1,700 SF
PROPOSED NEW SQUARE FOOTAGE:	410 SF
TOTAL PROPOSED BUILDING SQUARE FOOTAGE:	2,110 SF
FLOOR AREA RATIO (FAR):	0.15
TRANSITIONAL YARD (REAR YARD):	35 FT

**USEABLE OPEN SPACE (STARBUCKS SITE ONLY):**

USEABLE OPEN SPACE REQUIRED (UOSR):	1,380 SF
50% OF UOSR QUALIFYING AS PUBLIC SPACE:	690 SF
PROVIDED USEABLE OPEN SPACE:	1,400 SF
UOSR QUALIFYING AS PUBLIC SPACE:	700 SF

**PARKING SUMMARY (STARBUCKS SITE ONLY):**

VEHICLE PARKING:	
EXISTING:	8 SPACES
MINIMUM REQUIRED:	7 SPACES
MAXIMUM ALLOWED:	11 SPACES*
PROPOSED PARKING AFTER RESTRIPING:	8 SPACES

\*PER APPROVED ZONING ORDINANCE (Z-21-07), PROPOSED PARKING COUNT WILL NOT EXCEED EXISTING PARKING COUNT.

BICYCLE PARKING:	
MINIMUM REQUIRED:	2 SPACES
PROPOSED:	3 SPACES

LOADING DOCK REQUIRED:	0 SPACES
LOADING DOCK PROVIDED:	0 SPACES

- REQUESTED VARIATIONS**
- SEC. 16-181.007.6 - VARIATION FROM REQUIREMENTS OF ACTIVE SIDEWALK USE ALONG PIEDMONT ROAD.
  - SEC. 16-181.012 - VARIATION FROM THE 25FT MAXIMUM SETBACK FROM A TYPE 2 STREET IS EXCEEDED ALONG PIEDMONT ROAD.
  - SEC. 16-181.015 - VARIATION FROM CONFORMING SIDEWALK & STREET TREE PLANTING ALONG PIEDMONT ROAD. GDOT WILL BE CONSTRUCTING A NEW STREETScape AS PART OF THEIR ROAD WIDENING PROJECT.
  - SEC. 16-181.016.3.c.1 - VARIATION FROM REQUIREMENT FOR SUPPLEMENTAL ZONE TO ALLOW PEDESTRIANS TO WALK ON 80% OF SUPPLEMENTAL ZONE SURFACE
  - SEC. 16-181.017.2 - VARIATION FROM REQUIREMENTS SURROUNDING ADA ACCESS TO EXISTING OUTPARCEL RETAIL BUILDING ALONG PIEDMONT ROAD.
  - SEC. 16-181.020.3 - VARIATION FROM DRIVE THRU REQUIREMENTS AS THE DRIVE THRU IS EXISTING AND WILL NOT BE ALTERED.

**Kimley Horn**  
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WWW.KIMLEY-HORN.COM

**STARBUCKS COFFEE COMPANY**  
95 MERRICK WAY, SUITE 650  
CORAL GABLES, FL  
PHONE: 470.217.4087

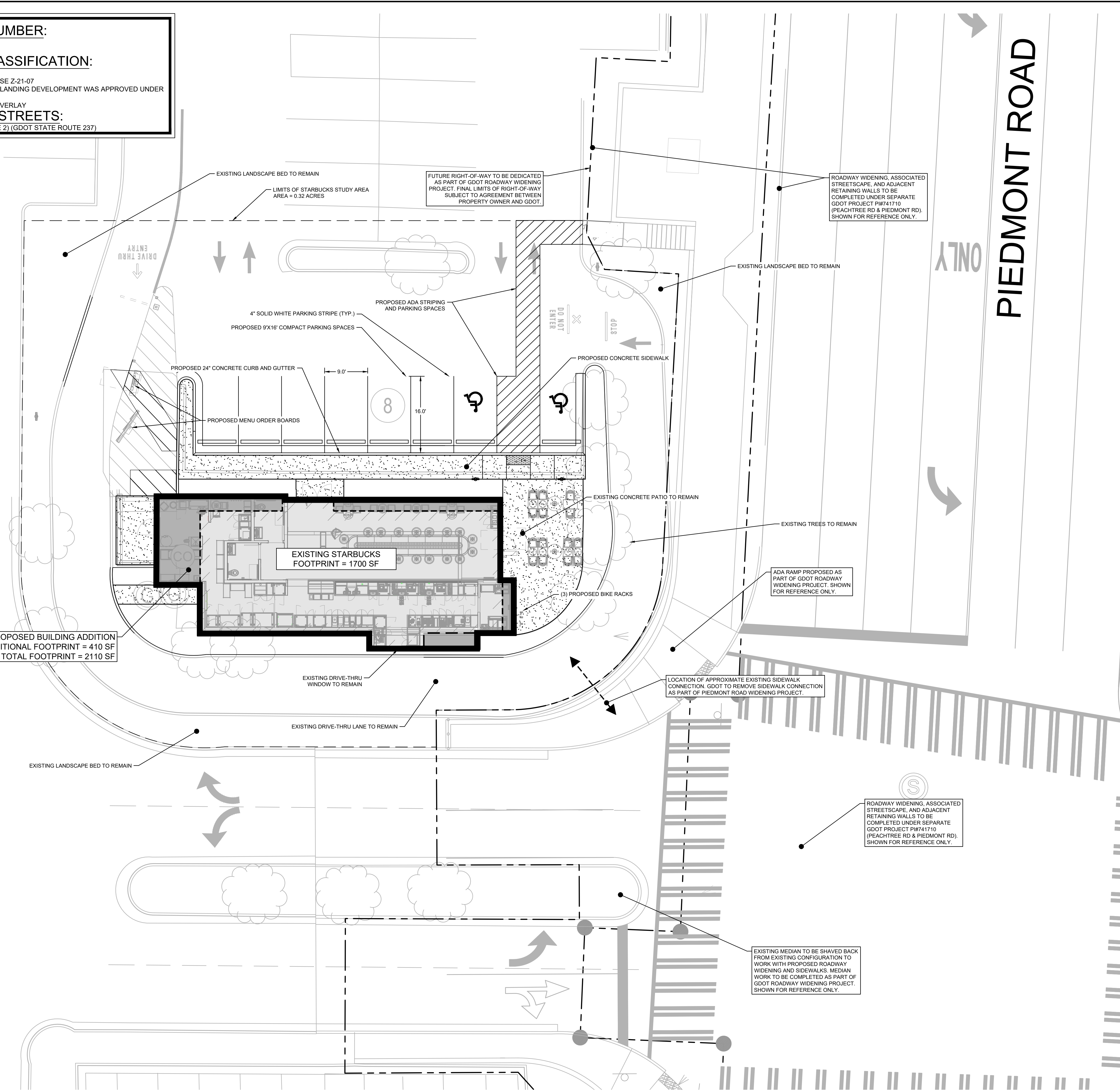
NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY
1		04/17/2024	ZLR
2		03/04/2024	SFD

**STARBUCKS RENOVATIONS**  
3330 PIEDMONT ROAD NE, ATLANTA, GA 30305  
LAND LOT 61 & 62, 17TH DISTRICT  
PARCEL ID: 17062003065

**GEORGIA REGISTERED PROFESSIONAL LAND SURVEYOR**  
No. PE043951  
COURTNEY RANDOLPH  
04/15/2024

GSWCC NO. (LEVEL II)	0000076496
DRAWN BY	SFD
DESIGNED BY	ALB
REVIEWED BY	ZLR
DATE	03/04/2024
PROJECT NO.	014102106
TITLE	SAP SITE PLAN
SHEET NUMBER	C0-30

**ISSUED FOR CONSTRUCTION**



Drawing name: C:\Users\ZAC-1\RAV\MapData\LocalTemp\AcPublish\_L\_239888\C0-30 - SAP SITE PLAN.dwg C0-30 SAP SITE PLAN Apr 17, 2024 3:46pm by: zac.randolph

4/18/2024 1:42:49 PM Autodesk Docs://Starbucks 2022 (Revit 2023)/98713-001\_78363\_Piedmont - Tower\_WORKSHARE.rvt



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 Akron, OH 44311  
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GPD PROJECT NO: 2022261.05

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PROJECT NAME:  
**PIEDMONT RD. & TOWER  
 PL. DR.**

PROJECT ADDRESS:  
 3330 PIEDMONT RD. NE,  
 ATLANTA, GA 30305

STORE #: 78363  
 PROJECT #: 98713-001  
 ISSUE DATE: 04/17/24  
 DESIGN MANAGER: ROCIO GALINDO  
 PRODUCTION DESIGNER: MICHELLE GOSS  
 CHECKED BY: GPD GROUP

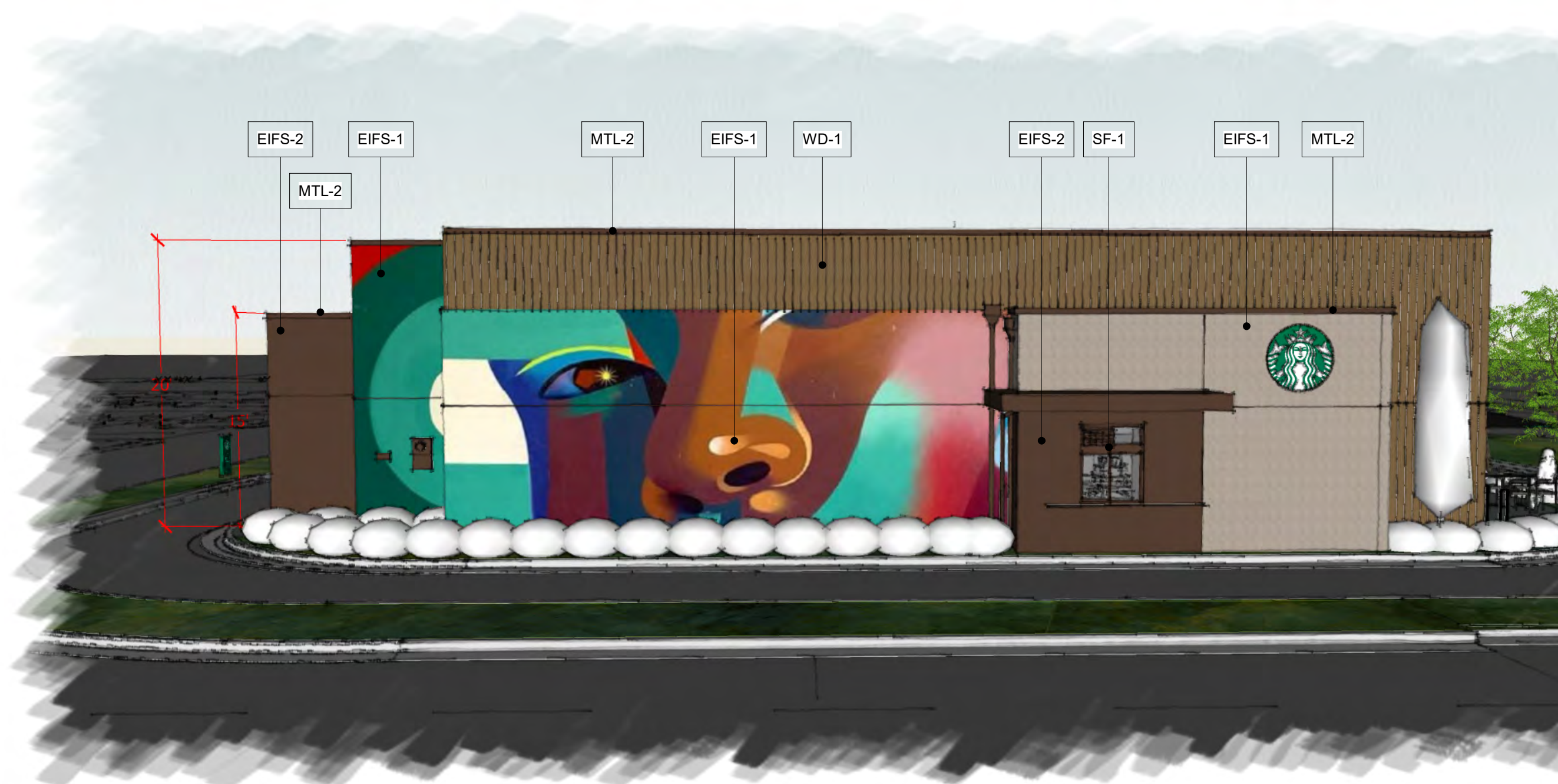
Revision Schedule			
Rev	Date	By	Description
3	4/17/24		SAP Amendment

SHEET TITLE:  
**SCHEMATIC EXTERIOR  
 ELEVATIONS**  
 SCALE: AS SHOWN

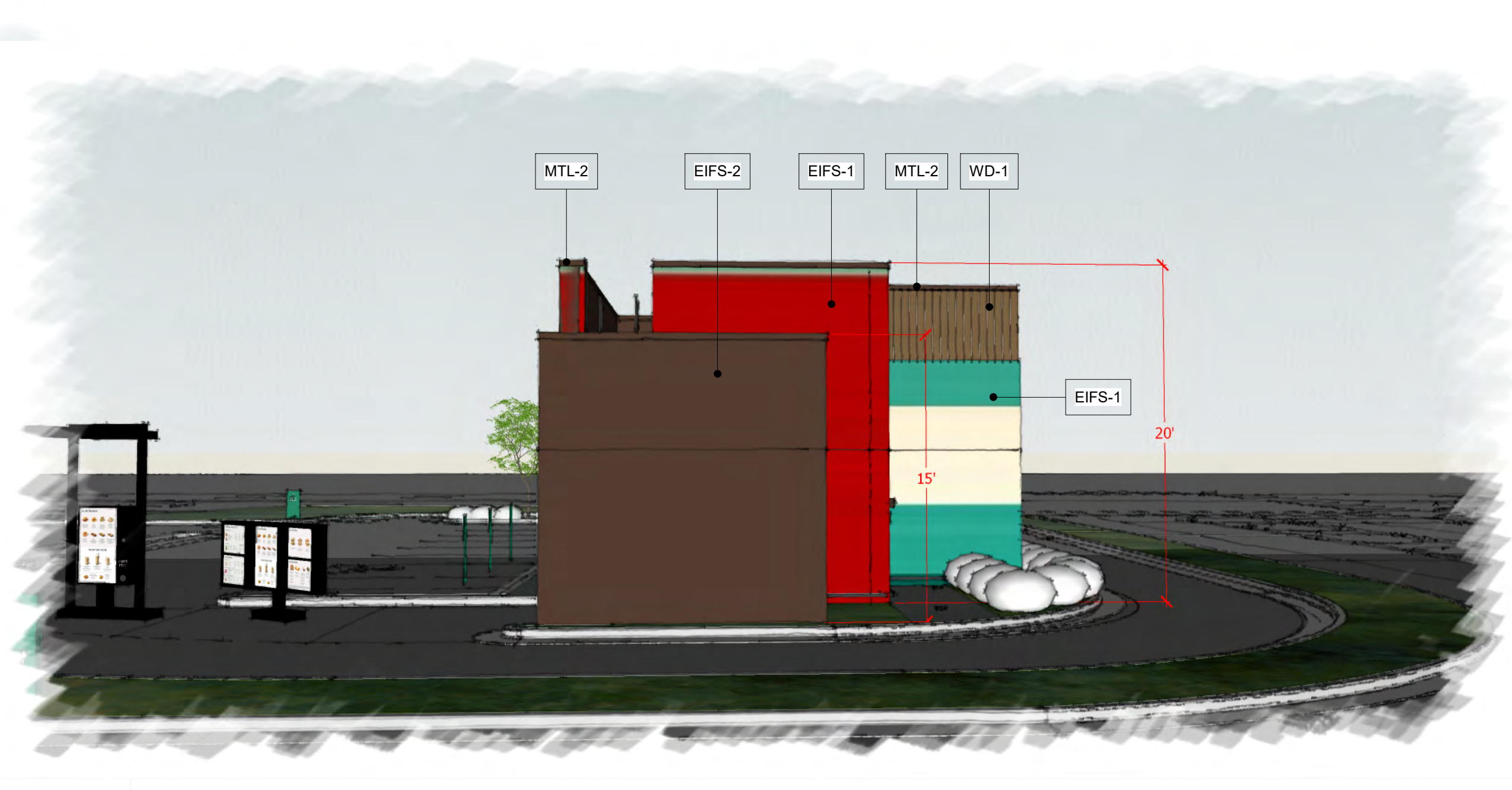
SHEET NUMBER:  
**SD1-1**

**EXTERIOR MATERIAL LEGEND**

WD-1	WOOD CLADDING	NICHIHA VINTAGEWOOD CEDAR, AWP 3030, VERTICAL INSTALLATION
SF-1	STOREFRONT	MEDIUM BRONZE AB-4 (BY ARCADIA) OR EQUAL
MTL-1	METAL	PAINTED TO MATCH STOREFRONT (LADDER_GATE_MISC_METALS)
MTL-2	METAL	PRE-FINISHED TO MATCH STOREFRONT
EIFS-1	EIFS	FINE FINISH TO MATCH SW7031 MEGA GREIGE
EIFS-2	EIFS	FINE FINISH TO MATCH SW7020 BLACK FOX



**3 DT BUMP ELEVATION**  
 Scale: 3/4" = 1'-0"



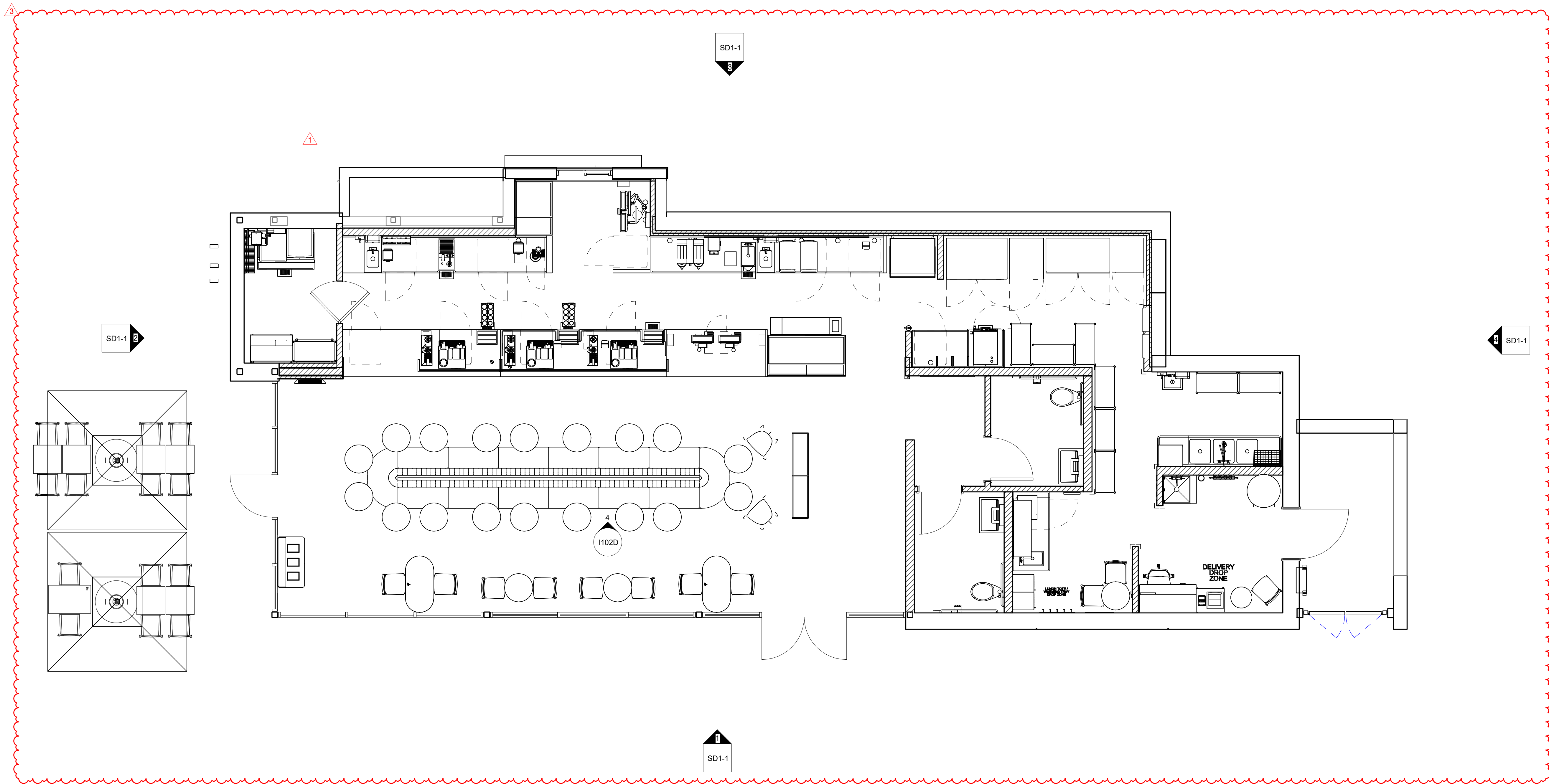
**4 REAR ELEVATION**  
 Scale: 3/4" = 1'-0"



**1 FRONT ENTRY ELEVATION**  
 Scale: 3/4" = 1'-0"



**2 PATIO ELEVATION**  
 Scale: 3/4" = 1'-0"



**1 SCHEMATIC PLAN**  
Scale: 1/4" = 1'-0"



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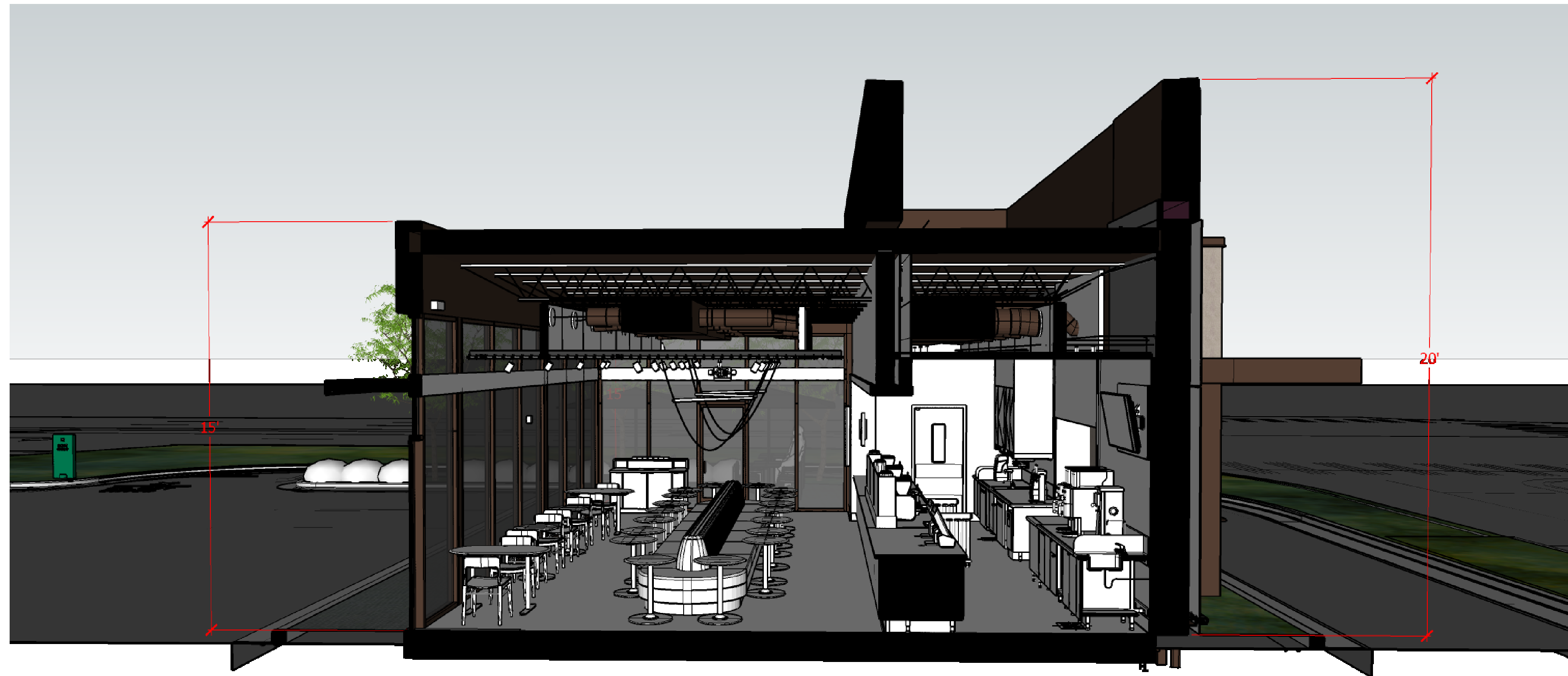
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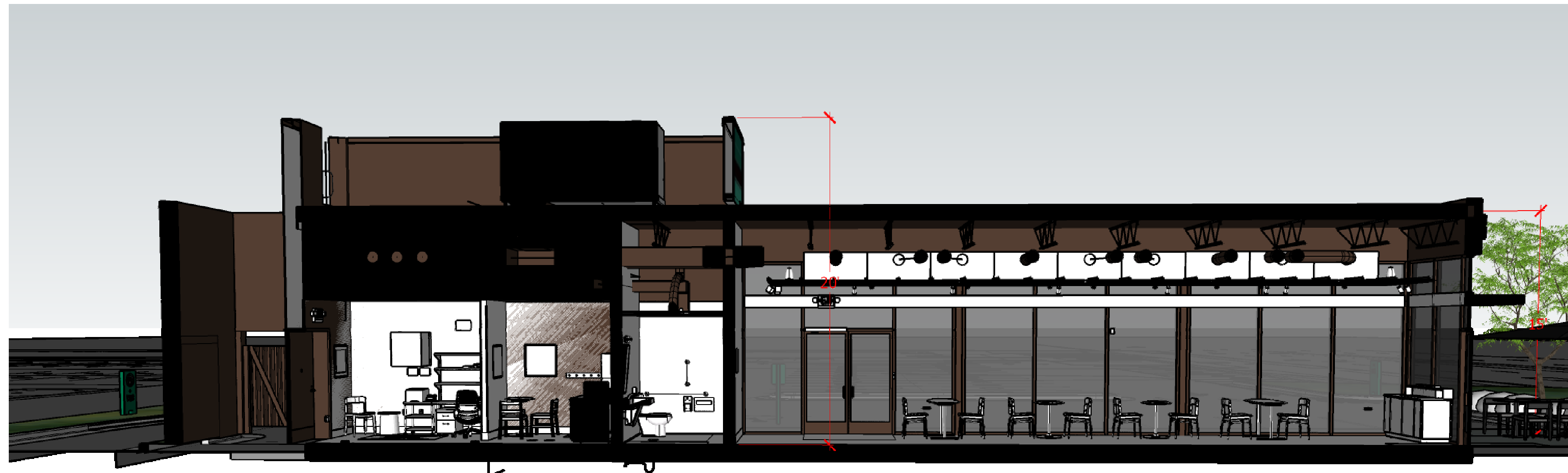
Revision Schedule			
Rev	Date	By	Description
1	10/19/23		Revision 1-DRC Comments
3	4/17/24		SAP Amendment

SHEET TITLE:  
**SCHEMATIC FLOOR  
PLAN**  
SCALE: AS SHOWN

SHEET NUMBER:  
**SD2**



1 BUILDING SECTION  
Scale: 6" = 1'-0"



2 BUILDING SECTION2  
Scale: 6" = 1'-0"



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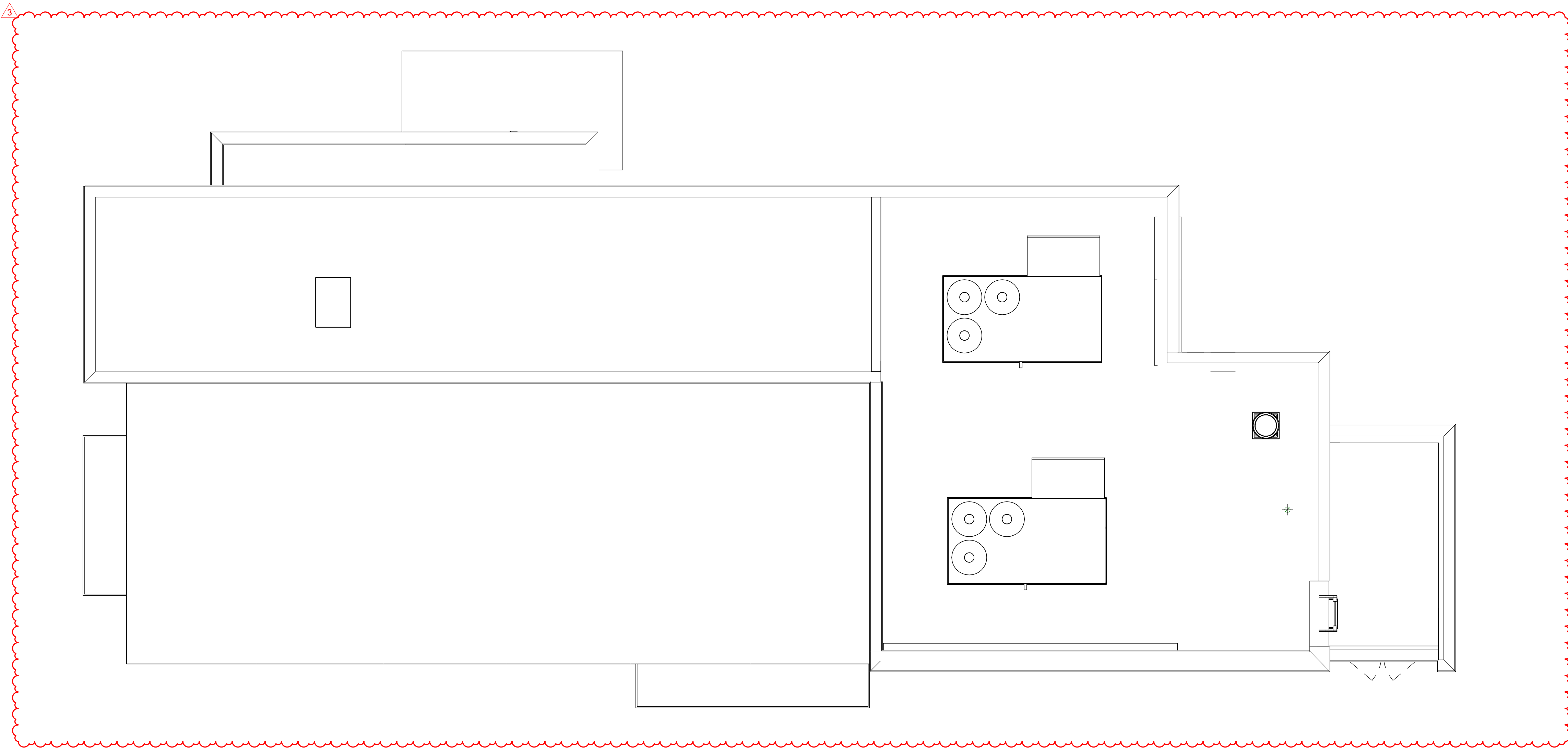
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Revision Schedule			
Rev	Date	By	Description
3	4/17/24		SAP Amendment

SHEET TITLE:  
**SCHEMATIC BUILDING  
SECTIONS**  
SCALE: AS SHOWN

SHEET NUMBER:  
**SD3**



**1** SCHEMATIC ROOF PLAN  
Scale: 1/4" = 1'-0"



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3	4/17/24		SAP Amendment

SHEET TITLE:  
**SCHEMATIC ROOF PLAN**

SCALE: AS SHOWN

SHEET NUMBER:  
**SD4**

**ISSUED FOR CONSTRUCTION**