

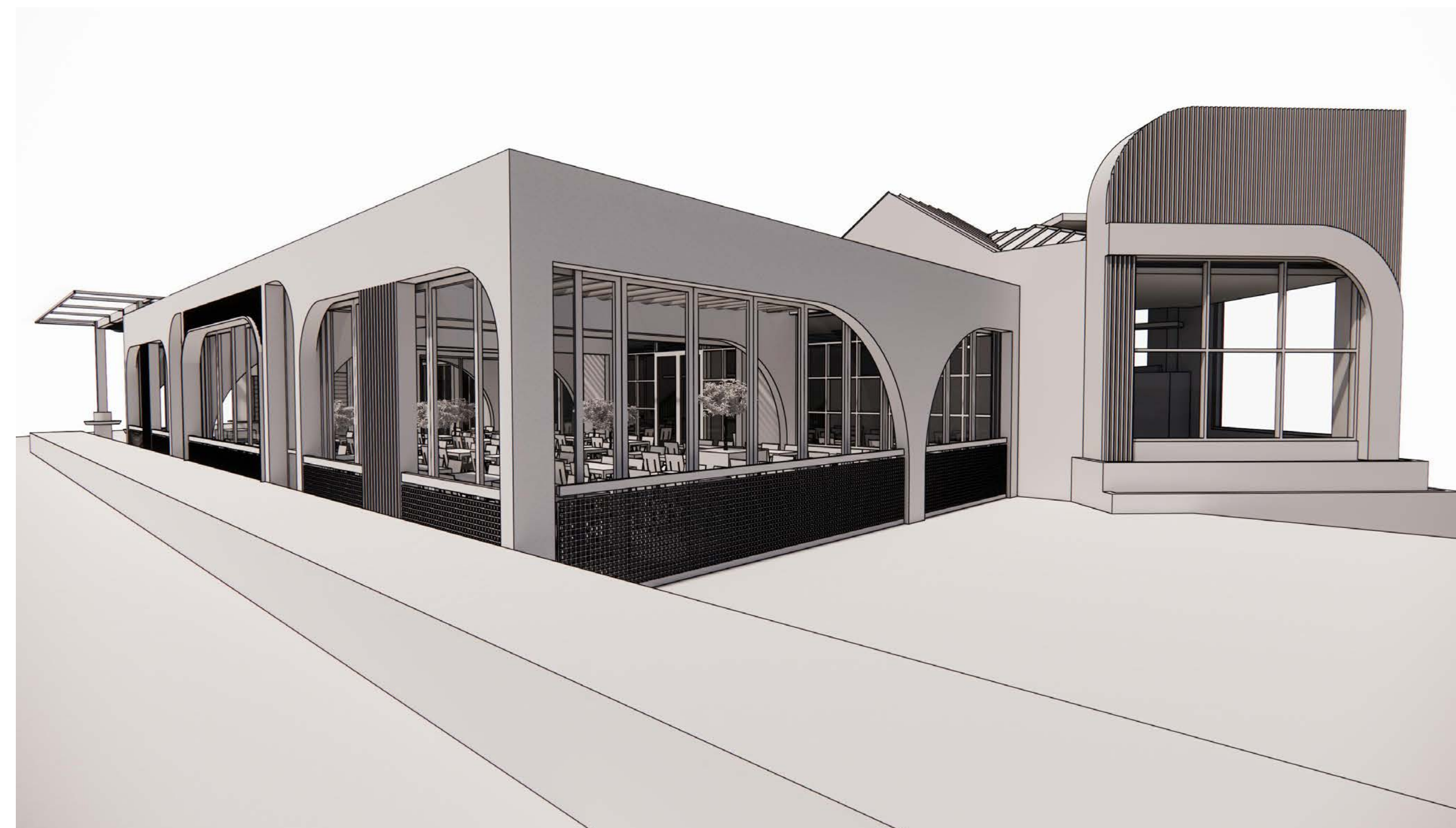
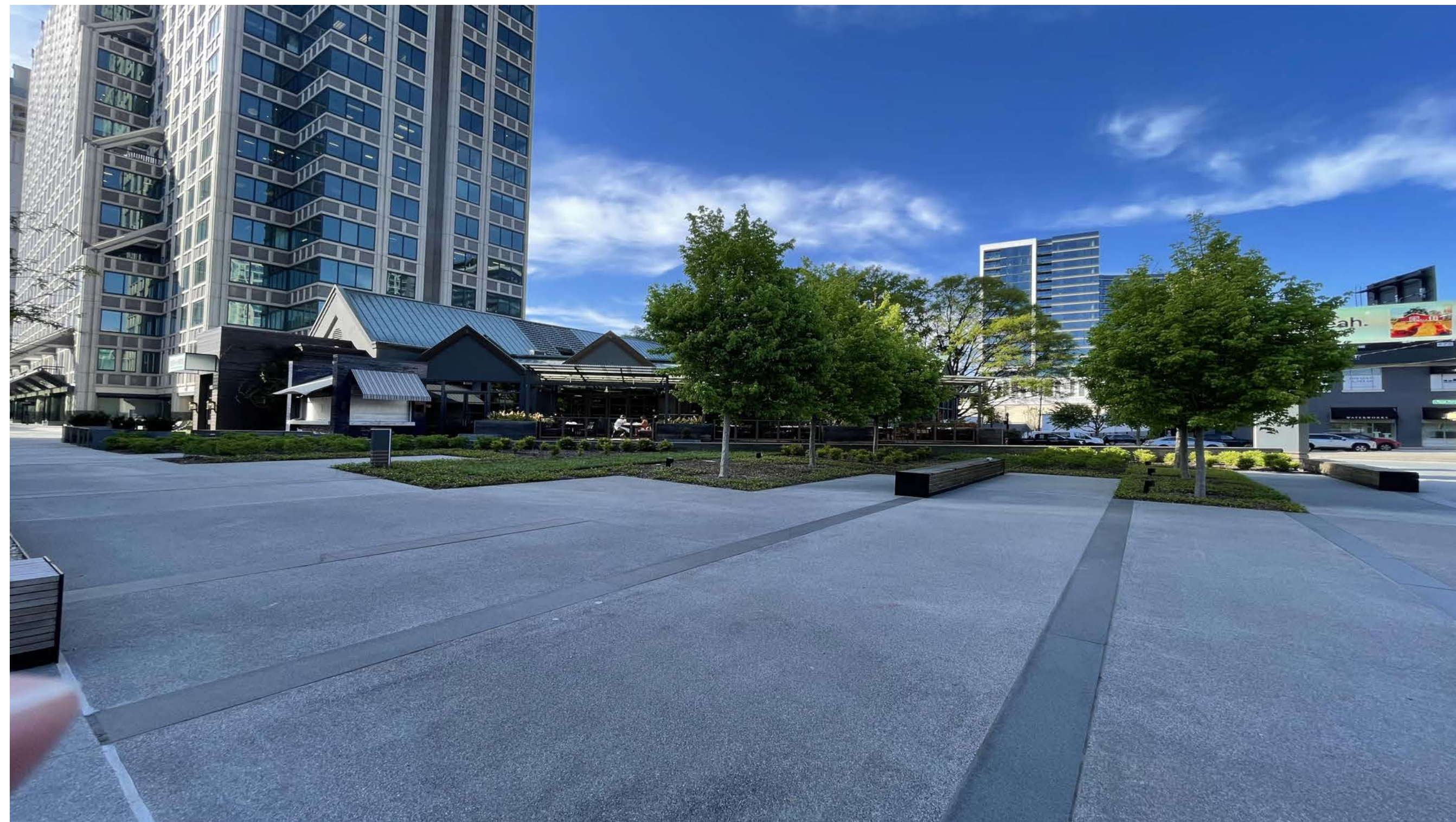
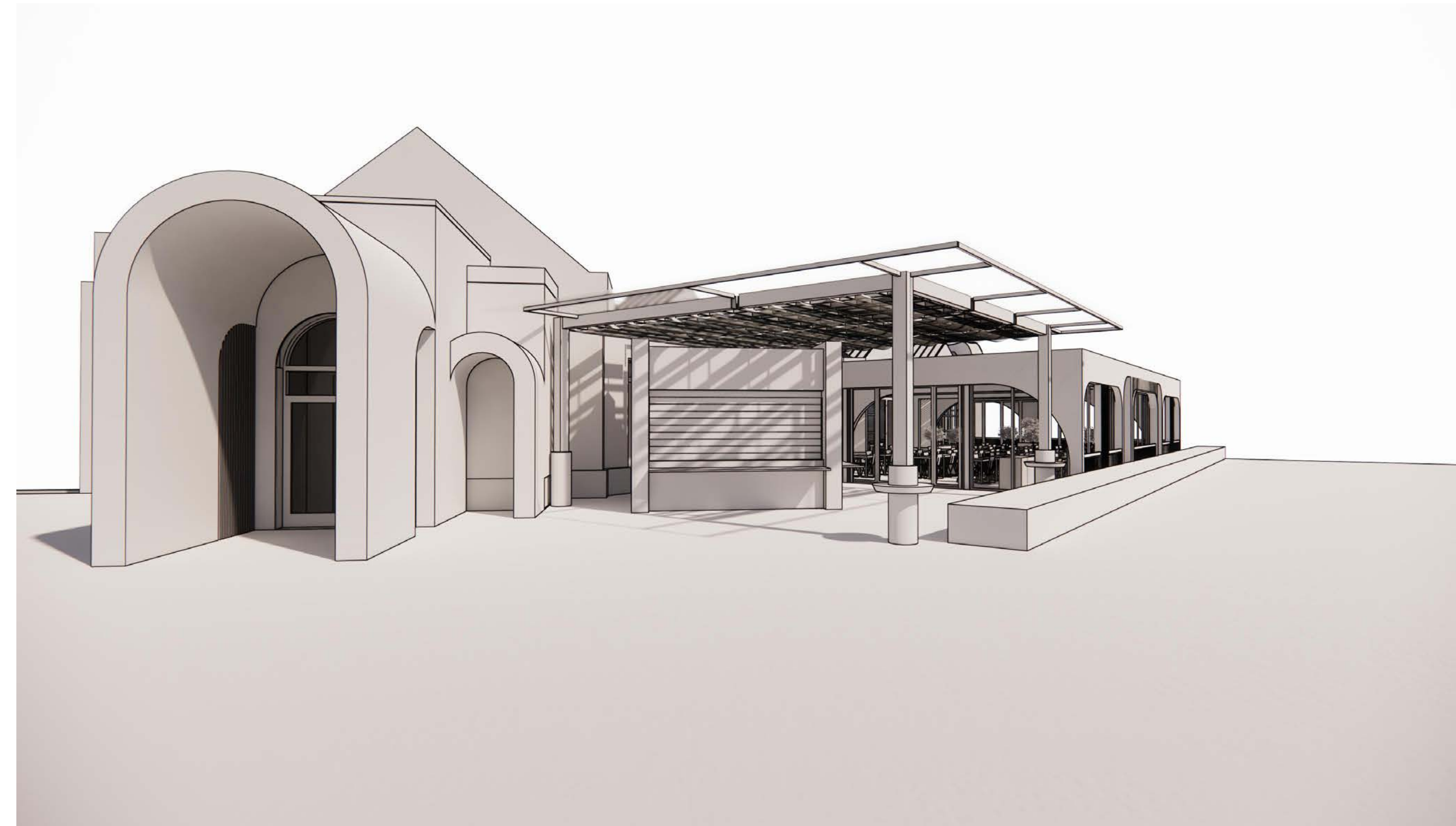
Delbar Buckhead

3060 Peachtree Rd NW, Atlanta, GA 30305

EXISTING



NEW SCOPE



CONTACTS

Client: Nooshe Jan, LLC
 Architect: Kevin Pledge, RA
 P: 770.851.9501
 E: kpledge@fathom.build
 Contractor: TBD

PROJECT

1,340SF addition to existing restaurant; 1,350SF open-air canopy addition; modifications and repainting to existing exterior walls; replacement of 1,480SF hardscape around main entry of restaurant.

CODE ANALYSIS

Authorities Having Jurisdiction: City of Atlanta Development Department
 City of Atlanta Fire Marshal

Applicable Codes/Ordinances: IBC, 2018 Edition, with GA Amendments
 IECC, 2018 Edition, with GA Amendments
 NEC, 2020 Edition
 IFCC, 2018 Edition, with GA Amendments
 IFP, 2018 Edition, with GA Amendments
 NFPA 101 - Life Safety Code 2015 Edition, with GA

Amendments: IMC, 2018 Edition, with GA Amendments
 Georgia Accessibility Code
 City of Atlanta Zoning Ordinance

Zoning: 17-0099 LL0502 (Parcel 1 - Buckhead 1)
 17-0099 LL0505 (Parcel 2 - Buckhead 2)
 17-0099 LL0601 (Parcel 3 - Shared Parking Structure)
 17-0099

Land District and Lot: SP1-S SA1, NPU-B
 District/Overlays: 220A => Complies

Height Limitations: 220A => Complies

Set Backs: => All Complies
 Street Type 1: 25ft max: Street Type 3: 20ft max: Side: 0ft: Rear: 0ft

Net Lot Area: 236.2835F (5.42 ACRES)

Allowable FAR (4.0): 3.0 Base + .5 Structured Parking Bonus + .5 Mixed Use Bonus
 236.2835F X 4.0 = 945.1325F

Other Existing blgs: 247,7565F (Office Tower/Retail)
 504,1635F (Office Tower)
 13,7185F (Retail Multiple Occupants)

Existing Lower Level: 1,406SF
 Existing Plaza Level: 7,901SF
 Plaza Level Addition: 1,905SF
 Total Proposed Floor Area: 776.8845F => Complies

Disturbed Area: 3,440SF

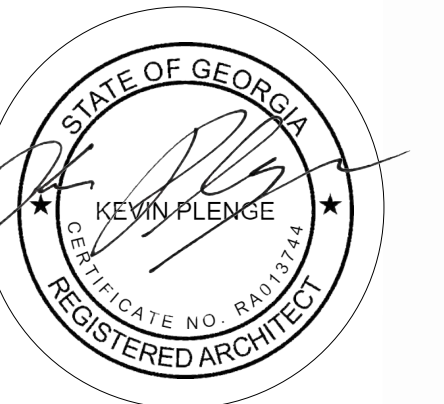
Building Code: Mixed-Use IBC, A-2 Assembly & B Business;
 Occupancy: LSC, Assembly & Office

Construction Type: II-B
 Sprinkler System: Yes, NFPA 13
 Fire Alarm System: Yes
 Stories: 2
 Height Above Grade: 29'-9"

SHEET INDEX

SHEET #	SHEET NAME	CURRENT REV #
A.001	Project Information, Existing Images, Proposed Renderings	0
A.002	Existing Site Plan	0
A.003	Existing Grading, Drainage, Landscape Plan	0
A.004	Survey	0
A.005	Survey	0
A.007	Survey	0
A.100	Site Plans	0
A.301	Floor Plan	0
A.303	Roof Plan	0
A.501	Exteriors	0

DESIGN PROFESSIONAL



RELEASED FOR CONSTRUCTION

PROJECT NUMBER: 2022.017

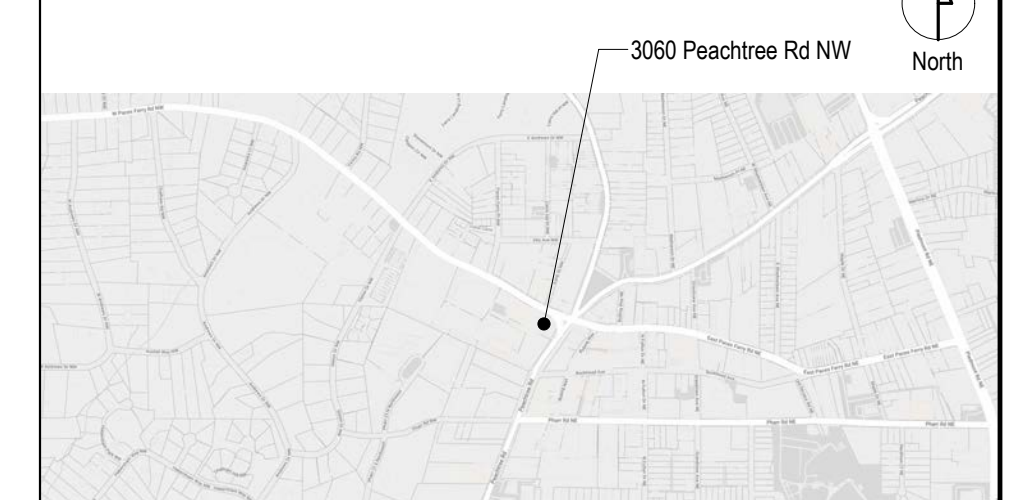
Delbar Buckhead

3060 Peachtree Rd NW, Atlanta, GA 30305

CLIENT: Nooshe Jan, LLC

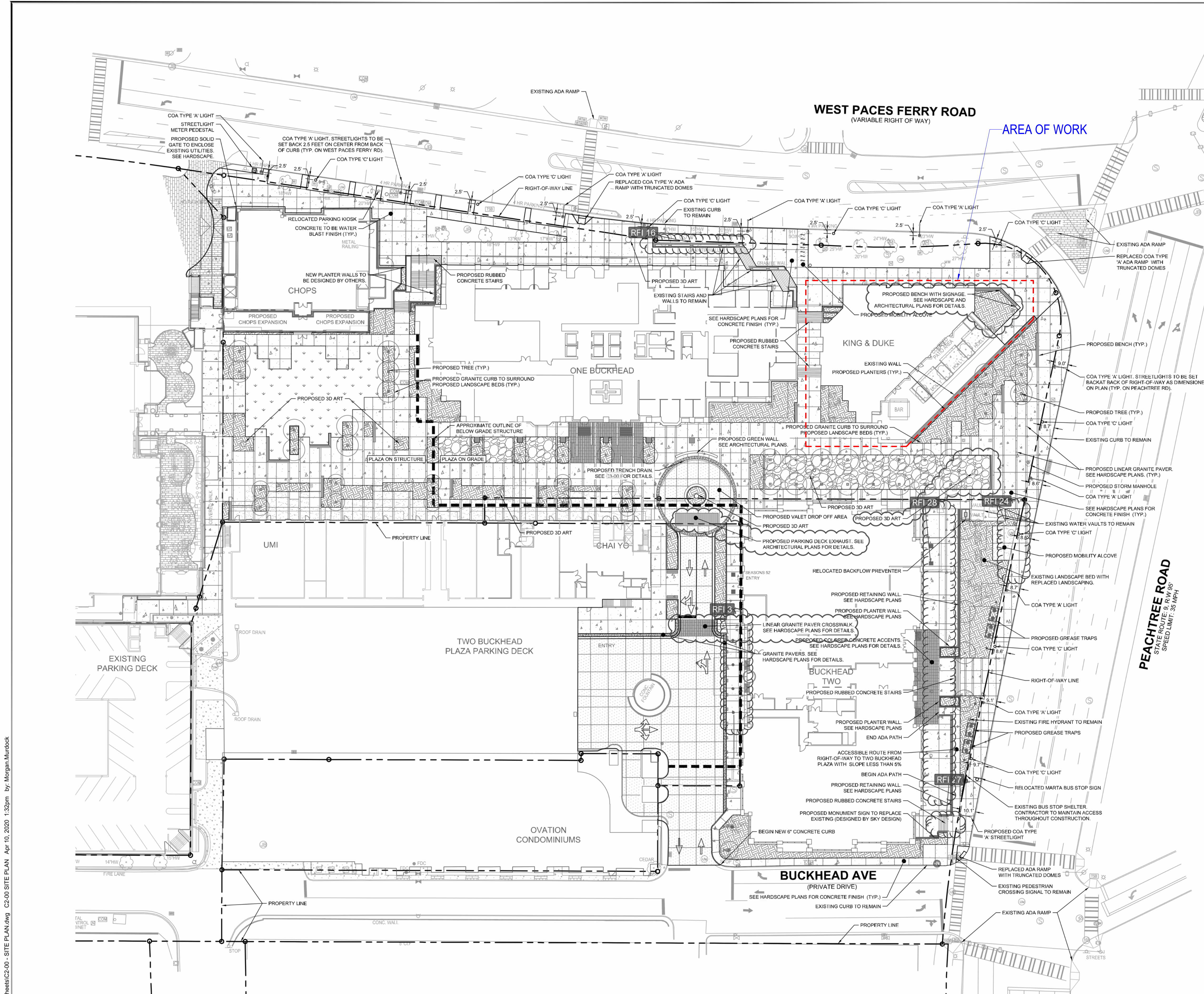
REV	DATE	DESCRIPTION
0	2023.09.18	SAP Submittal

LOCATION MAP



**Project Information,
Existing Images,
Proposed Renderings**

A.001



SITE NOTES:
SITE SUMMARY:
 ZONING: SPI-9 SA1
 SITE AREA: 6.86 ACRES
 TOTAL DISTURBED AREA: 2.78 ACRES

- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY TERRAMARK LAND SURVEYING, INC., DATED 09/08/2017.
- ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
- ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
- REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

SITE PLAN LEGEND:

- PROPERTY LINE
- BELOW GRADE STRUCTURE LIMITS
- PROPOSED PEDESTRIAN-RATED PEWTER COLORED CONCRETE
- PROPOSED VEHICULAR-RATED CONCRETE
- PROPOSED PEDESTRIAN-RATED CHARCOAL COLORED CONCRETE
- PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS.
- PROPOSED ARTIFICIAL TURF. SEE HARDSCAPE PLANS FOR DETAILS.
- PROPOSED GRAVEL COURTYARD. SEE HARDSCAPE PLANS FOR DETAILS.
- TRAFFIC DIRECTION
- EXISTING GDOT STANDARD PAVEMENT MARKING ARROW
- TYPE 'A' LIGHT - CITY OF ATLANTA STANDARD
- TYPE 'C' LIGHT - CITY OF ATLANTA STANDARD

SITE NOTES:

- ALL PROPOSED SIDEWALKS AND DRIVEWAYS APRONS SHALL CONFORM TO CITY OF ATLANTA STANDARD.
- ALL PUBLIC CURB TO BE COA STANDARD 6" GRANITE HEADER CURB UNLESS OTHERWISE NOTED.
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL.
- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF ATLANTA REQUIREMENTS AND THE SIDEWALK REPLACED.
- OWNER TO MAINTAIN ENTIRE PORTION OF SIDEWALK LOCATED ON PRIVATE PROPERTY IN PERPETUITY.
- IRON PINS/MONUMENTS TO BE SET ALONG RIGHT-OF-WAY AT EVEN INTERVALS.
- SEE HARDSCAPE PLANS AND DETAILS BY OTHERS FOR PAVEMENT FINISH, COLOR TREATMENT, AND SPECIFICATIONS. SEE DETAILS IN CR-111 SERIES FOR RECOMMENDED VEHICULAR PAVEMENT SECTIONS WHERE APPLICABLE.

KimleyHorn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 817 W. BUCKHEAD BLVD. SUITE 401 NW
 ATLANTA, GEORGIA 30308
 PHONE (404) 419-9700
 WWW.KIMLEY-HORN.COM

COUSINS PROPERTIES
 3044 PEACHTREE RD. NE, SUITE 1800
 ATLANTA, GA 30308

ONE BUCKHEAD PLAZA
 3069 & 3067 PEACHTREE RD NW, ATLANTA, GA 30305
 LAND LOT 89, 17TH DISTRICT

SB/C/C CERT. LEVEL ID: 0000076499
 DRAWN BY: MEM
 DESIGNED BY: CAZ
 REVIEWED BY: EFM
 DATE: 2/28/2020
 PROJECT NO.: 019335036
 TITLE: **SITE PLAN**
 SHEET NUMBER: **C2-00**

DESIGN PROFESSIONAL



RELEASED FOR CONSTRUCTION
 PROJECT NUMBER: 2022.017
Delbar Buckhead

3060 Peachtree Rd NW, Atlanta, GA 30305

CLIENT: Nooshe Jan, LLC

REV	DATE	DESCRIPTION
0	2023.09.18	SAP Submittal



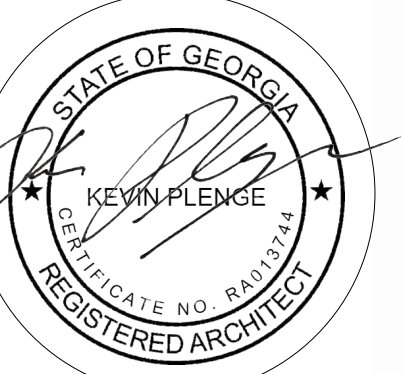
Drawing name: C:\SubDraws\One Buckhead\Phase\CD\One Buckhead C2-00 SITE PLAN.dwg, C2-00 SITE PLAN, Apr 10, 2020, 1:32pm, by: Morgan Murbach

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A.002

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RELEASED FOR CONSTRUCTION

PROJECT NUMBER: 2022.017

Delbar Buckhead

3060 Peachtree Rd NW, Atlanta, GA 30305

CLIENT: Nooshe Jan, LLC

Kimley»Horn
 6200 PINEY CREEK AND ASSOCIATES, INC.
 8177 WILLOWBROOK SUITE 500
 ATLANTA, GEORGIA 30308
 PHONE: (404) 418-9700
 WWW.KIMLEYHORN.COM

COUSINS PROPERTIES
 3044 PEACHTREE ROAD, SUITE 1800
 ATLANTA, GA 30308

ONE BUCKHEAD PLAZA
 3050 & 3050 PEACHTREE RD NW, ATLANTA, GA 30305
 LAND LOT 89, 17TH DISTRICT

PROJECT: ONE BUCKHEAD PLAZA
 SHEET NUMBER: **C3-00**

NO.	REVISION DESCRIPTIONS	DATE	BY
1	PLAZA DRAINAGE UPDATE	8/22/2023	MEM
2	PLAZA DRAINAGE UPDATE	8/22/2023	MEM
3	PLAZA DRAINAGE UPDATE	8/22/2023	MEM
4	PLAZA DRAINAGE UPDATE	8/22/2023	MEM
5	PLAZA DRAINAGE UPDATE	8/22/2023	MEM

REV	DATE	DESCRIPTION
0	2023.09.18	SAP Submittal

- ### GRADING & DRAINAGE NOTES:
- SITE AREA: 6.80 ACRES
DISTURBED AREA: 2.78 ACRES
 - CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSLINKS WITH A 2% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE. UNLESS NOTED AS A RAMP, GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
 - ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
 - ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13121C0234F, DATED 09/18/2013.
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
 - CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
 - NO GRADED SLOPE SHALL EXCEED 2H:1V.
 - ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
 - ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.

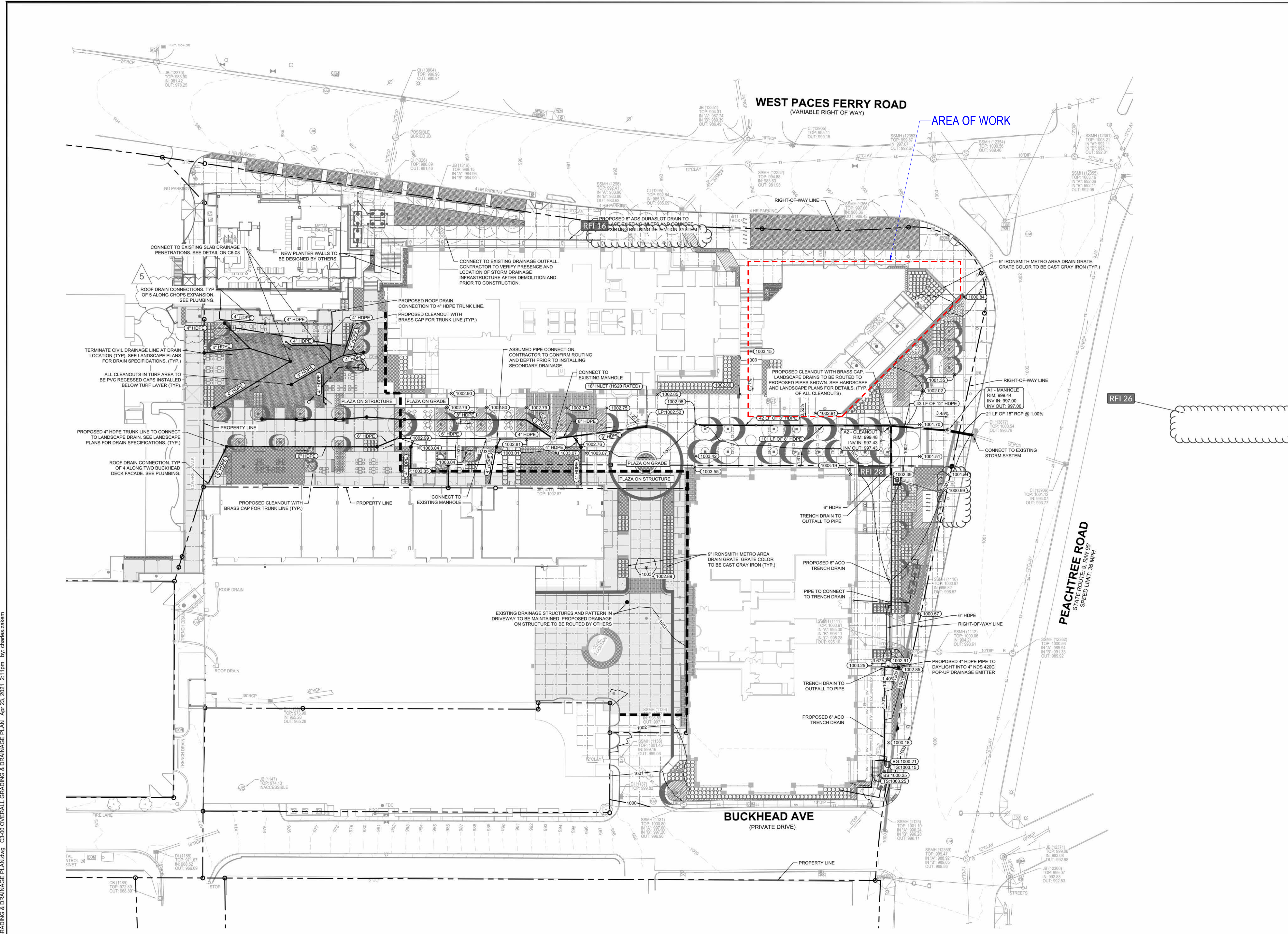
- ### GRADING LEGEND:
- 900 EXISTING MAJOR CONTOUR
 - 945 EXISTING MINOR CONTOUR
 - 945 PROPOSED MAJOR CONTOUR
 - 944 PROPOSED MINOR CONTOUR
 - PROPOSED SPOT GRADE
 - PROPOSED TOP GRADE AT WALL
 - PROPOSED BOTTOM GRADE AT WALL
 - PROPOSED TOP OF STAIR GRADE
 - PROPOSED BOTTOM OF STAIR GRADE
 - PROPOSED HIGH POINT GRADE
 - PROPOSED LOW POINT GRADE
 - PROPOSED TOP OF CURB GRADE
 - PROPOSED BOTTOM OF CURB GRADE
 - DRAINAGE FLOW ARROW

- ### STORM DRAINAGE LEGEND:
- MANHOLE (GDOT 1011A)
 - YARD DRAIN (SEE HARDSCAPE PLANS FOR DETAILS)
 - CLEAN OUT WITH RECESSED BRASS CAP (UNLESS OTHERWISE SPECIFIED)
 - PROPOSED STORM PIPE

- ### GRADING NOTES - CITY OF ATLANTA:
- CONTRACTOR SHALL OBTAIN A MAUL ROUTE PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS- BUREAU OF TRAFFIC AND TRANSPORTATION.
 - AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF ATLANTA REQUIREMENTS AND THE SIDEWALK REPLACED.
 - NO GRADED SLOPE SHALL EXCEED 2H:1V.

- ### NOTE:
- CONTRACTOR TO ASSUME ALL PIPES ARE INSTALLED WITH 4 FEET OF COVER.
 - ALL PROPOSED HOPE STORM PIPE MUST BE DUAL WALL.

REVISION NOTE:
 REMOVAL OF DRAINS IN PLAZA THAT OVERLAPPED WITH LANDSCAPE DRAINS.



Drawing name: K:\AMT_CIVIL\019355036_One Buckhead Plaza\CAD\PhaseSheets\C3-00 - GRADING & DRAINAGE PLAN.dwg C:\D OVERALL GRADING & DRAINAGE PLAN Apr 23, 2021 2:11pm by chris.zakem

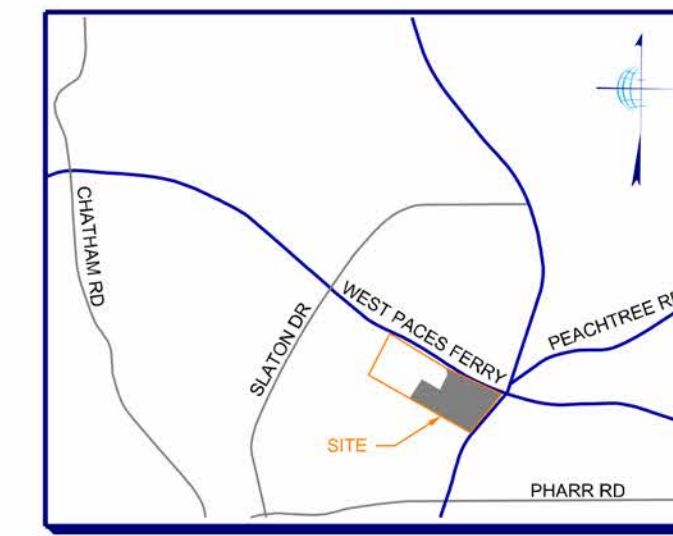
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FOR REFERENCE ONLY - NOT TO SCALE

A.003

BOUNDARY AND TOPOGRAPHIC SURVEY FOR COUSINS PROPERTY INCORPORATED (BUCKHEAD PLAZA ONE AND TWO)

LOCATED IN LAND LOT 99, 17TH DISTRICT
 CITY OF ATLANTA, FULTON COUNTY, GEORGIA

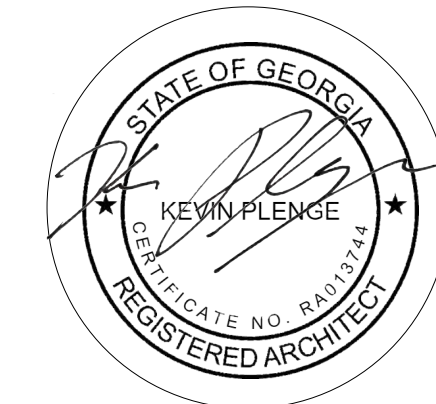


LOCATION MAP

NOT TO SCALE
 LAT: 33° 32' 27" N
 LONG: 84° 22' 57" W

TerraMark Land Surveying, Inc.
 1396 Belle Ferry Road
 Atlanta, GA 30316
 Phone No. (770) 421-1927
 Fax No. (770) 421-0552
 www.TerraMark.com
 Professional Land Surveying C. O. # 42000810

DESIGN PROFESSIONAL



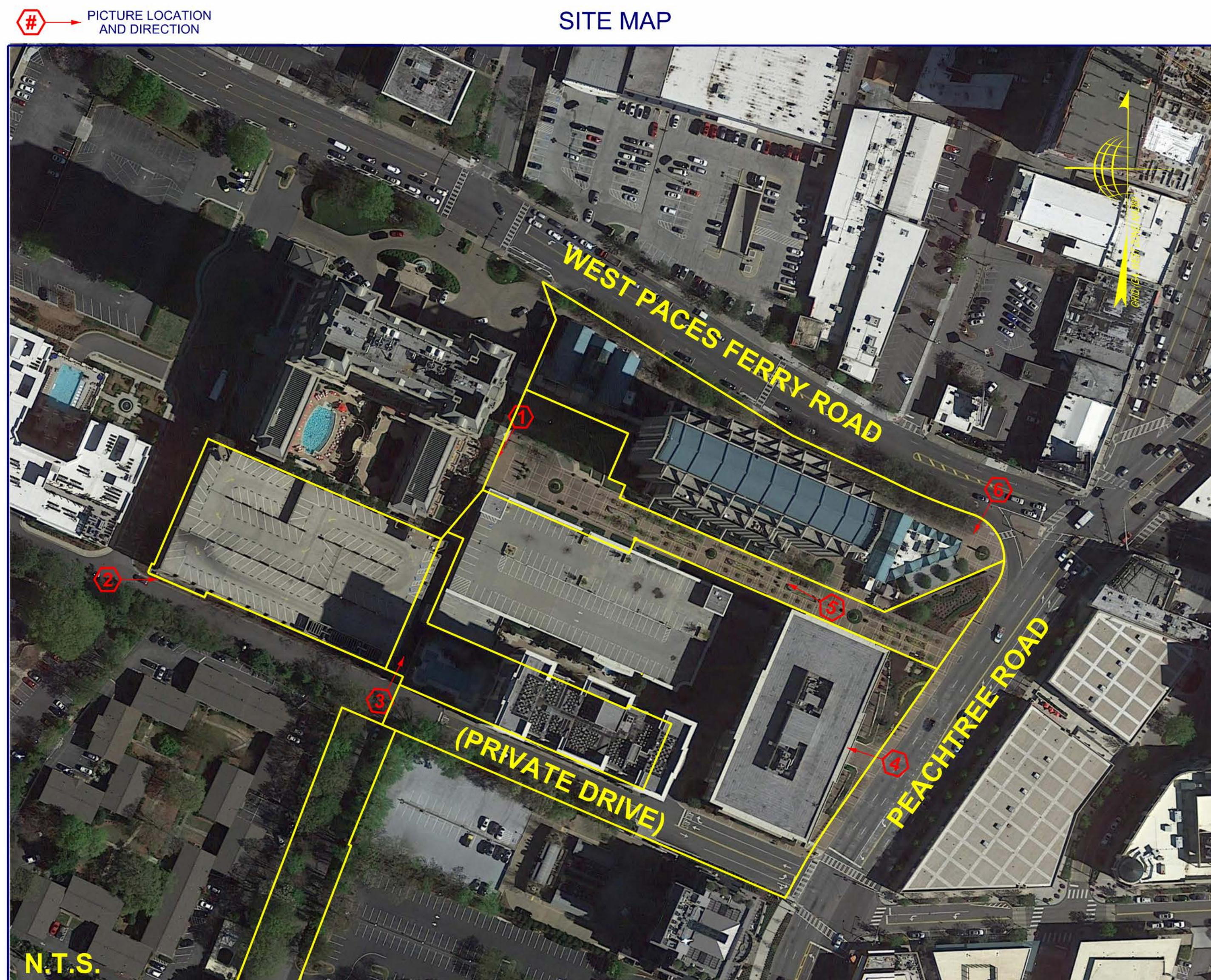
RELEASED FOR CONSTRUCTION

PROJECT NUMBER: 2022.017

Delbar Buckhead

3060 Peachtree Rd NW, Atlanta, GA 30305

CLIENT: Nooshe Jan, LLC



AERIAL IMAGE PROVIDED BY GOOGLE EARTH
 (IMAGERY DATED MARCH 31, 2017)



PICTURE #1 PICTURE #2 PICTURE #3 PICTURE #4 PICTURE #5 PICTURE #6

SURVEY NOTES

EQUIPMENT USED:
 A TRIMBLE S SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.
 A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.
 CLOSURE STATEMENT:
 SEE SHEET THREE FOR PROPERTY CLOSURES.
 THE FIELD DATA UPON WHICH THIS SURVEY IS BASED ARE WITHIN THE POSITIONAL TOLERANCES ALLOWED FOR ALTA/ANGS LAND TITLE SURVEYS PER THE 2016 MINIMUM TECHNICAL STANDARDS ESTABLISHED BY ALTA AND NEPS AND WAS ADJUSTED USING THE LEAST SQUARES METHOD.
 THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) INDEX.
 ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.
 CONTOURS ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 83 DATUM.
 FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON SEPT. 1, 2017.
 DISCLAIMERS:
 INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DISCUSSANTS AGENCIES BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY.
 THIS SURVEY MAY NOT REPRESENT OPPOSITE PAINT STRIPES TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CURB LOCATIONS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.
 INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INCOMPLETE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
 INFORMATION REGARDING STORM SEWERS AND SANITARY SEWERS AS SHOWN HEREON IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE LOCATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZE AND MATERIAL. THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL IS THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.
 STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE, TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.
 PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SAID PROPERTY AND THE NATURAL FLOW THEREOF. FREE FROM OBSTRUCTION OR POLLUTION.
 THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.
 TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

TITLE NOTES

ACCORDING TO THE "TRIM" (FLOOD INSURANCE RATE MAP) OF FULTON COUNTY, GEORGIA (PAVEL NUMBER 13102261) DATED SEPTEMBER 19, 2015, NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY.
 SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF PEACHTREE ROAD.

SITE INFORMATION

ONE BUCKHEAD PLAZA
 CURRENT OWNER: 3060 PEACHTREE SUB, LLC
 DB: 54538 PG. 452
 TAX PARCEL ID #: 17-0899-L052 & 17-0899-L052B
 ADDRESS: 3060 PEACHTREE ROAD
 TWO BUCKHEAD PLAZA
 CURRENT OWNER: PKY TRP, LLC
 DB: 55453 PG. 494 & DB: 55454 PG. 1
 TAX PARCEL ID #: 17-0899-L051 & 17-0899-L051A & 17-0899-L0585
 ZONING: SP-9 (S2) SPECIAL PUBLIC INTEREST
 JURISDICTION: CITY OF ATLANTA

REFERENCE MATERIAL

1. CONDOMINIUM PLAT FOR OVALTON CONDOMINIUM RECORDED IN CONDO PLAT BOOK 17 PAGE 13 AMONG LAND RECORDS OF FULTON COUNTY, GEORGIA
2. MASTER CONDOMINIUM PLAT FOR WEST PACES FERRY A MASTER CONDOMINIUM RECORDED IN CONDO PLAT BOOK 19 PAGE 84 FORESAID RECORDS
3. RESIDENTIAL CONDOMINIUM PLAT FOR THE RESERVES AT WEST PACES FERRY CONDOMINIUM RECORDED IN CONDO PLAT BOOK 19 PAGE 87 FORESAID RECORDS

Project No.	2017-113
Survey Order	ATA
Drawn By	KWH
Approved By	PBC
Date	8/28/2017
Scale	1"=30'
Sheet	1/3
Source	S. SURVEY 2017-113 (25)MAYLA.DSW

BOUNDARY AND TOPOGRAPHIC SURVEY
 FOR
 COUSINS PROPERTY INCORPORATED
 (BUCKHEAD PLAZA ONE AND TWO)
 LOCATED IN LAND LOT 99, 17TH DISTRICT
 CITY OF ATLANTA, FULTON COUNTY, GEORGIA

SHEET NO.
 1 / 3
 DRAWING TM 17-113

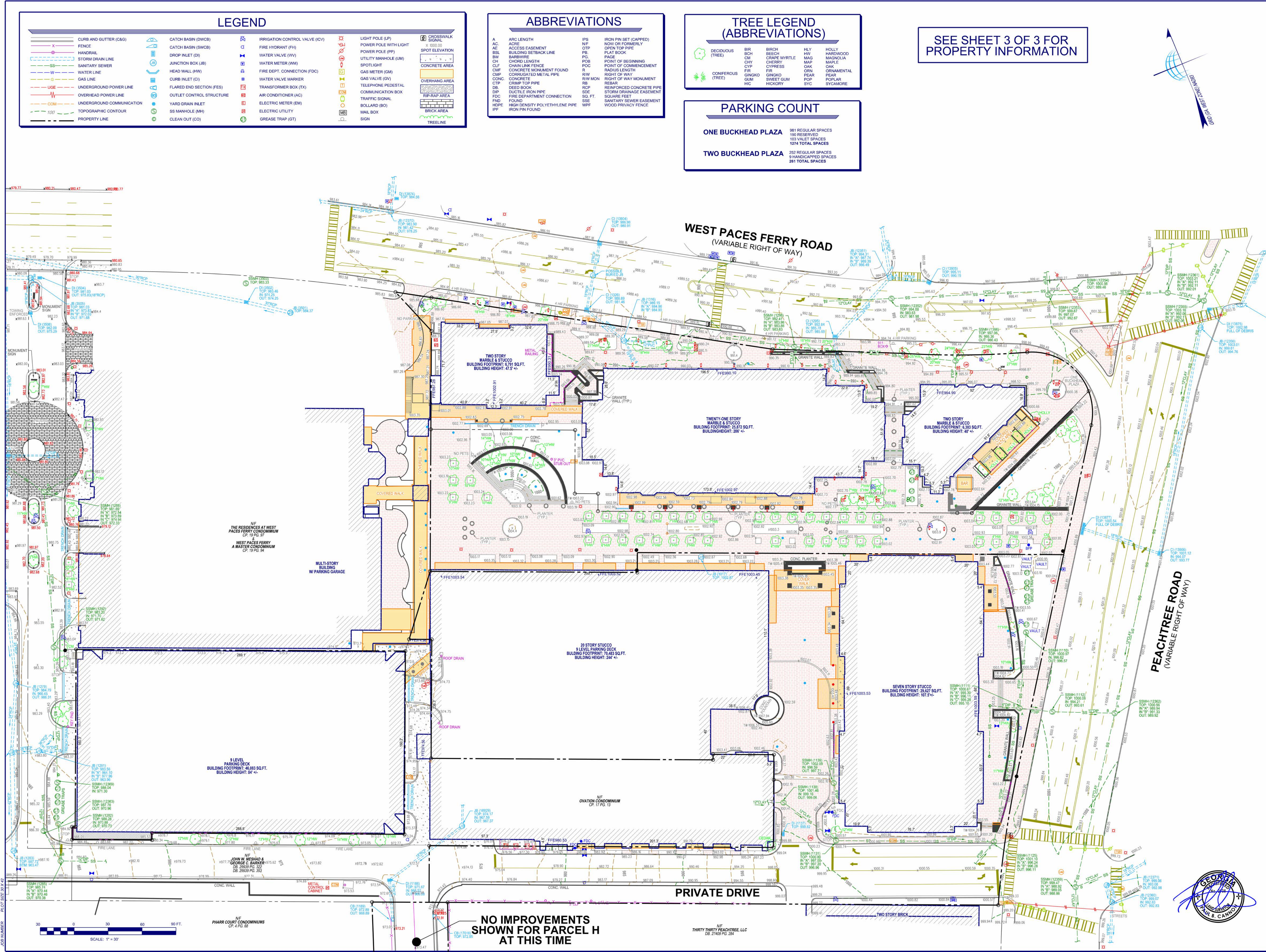
SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PREPARED IN CONFORMANCE WITH THE TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING IN GEORGIA AS SET FORTH IN CHAPTER 800 OF THE RULES OF GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERING AND SURVEYING AND AS SET FORTH IN THE GEORGIA SURVEY ACT O.C.G.A. 15-5-67 AUTHORITY O.C.G.A. SECS. 15-5-67, 45-15-4, 45-15-43, 45-15-43-15-43, 45-15-52.

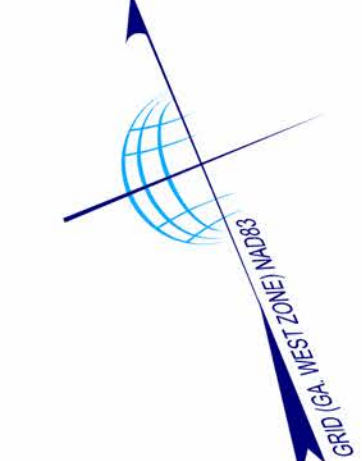
PAUL B. CANNON, R.E.
 REGISTERED NUMBER: 2025

REV	DATE	DESCRIPTION
0	2023.09.18	SAP Submittal

Survey



SEE SHEET 3 OF 3 FOR PROPERTY INFORMATION



LEGEND

— C&G	CURB AND GUTTER (C&G)	⊠	CATCH BASIN (DWCB)	⊠	IRRIGATION CONTROL VALVE (ICV)	⊠	LIGHT POLE (LP)
— FENCE	FENCE	⊠	DROP INLET (DI)	⊠	FIRE HYDRANT (FH)	⊠	POWER POLE WITH LIGHT
— S&S	SANITARY SEWER	⊠	JUNCTION BOX (JB)	⊠	WATER VALVE (WV)	⊠	UTILITY MANHOLE (UM)
— W	WATER LINE	⊠	HEAD WALL (HW)	⊠	WATER METER (WM)	⊠	SPOT LIGHT
— G	GAS LINE	⊠	CURB INLET (CI)	⊠	FIRE DEPT. CONNECTION (FDC)	⊠	GAS METER (GM)
— UG	UNDERGROUND POWER LINE	⊠	FLARED END SECTION (FES)	⊠	TRANSFORMER BOX (TB)	⊠	CONCRETE FOUNDATION
— OHP	OVERHEAD POWER LINE	⊠	OUTLET CONTROL STRUCTURE	⊠	AIR CONDITIONER (AC)	⊠	CONCRETE METAL PIPE
— UG	UNDERGROUND COMMUNICATION	⊠	YARD DRAIN INLET	⊠	ELECTRIC METER (EM)	⊠	TELEPHONE PEDESTAL
— TOPO	TOPOGRAPHIC CONTOUR	⊠	SS MANHOLE (SM)	⊠	ELECTRIC UTILITY	⊠	COMMUNICATION BOX
— PROP	PROPERTY LINE	⊠	CLEAN OUT (CO)	⊠	GREASE TRAP (GT)	⊠	ROLLAND (RO)
		⊠		⊠		⊠	MAIL BOX
		⊠		⊠		⊠	SIGN
		⊠		⊠		⊠	CROSSWALK SIGN
		⊠		⊠		⊠	SPOT ELEVATION
		⊠		⊠		⊠	CONCRETE AREA
		⊠		⊠		⊠	OVERHANG AREA
		⊠		⊠		⊠	BRICK AREA
		⊠		⊠		⊠	TREELINE

ABBREVIATIONS

A	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AC	ACRE	NTP	NON OR FORMERLY OPEN TOP PIPE
AE	ACCESS EASEMENT	OTF	OPEN TOP PIPE
BEL	BUILDING SETBACK LINE	PFC	PLAT BOOK PAGE
BW	BARBRIERE	POB	POINT OF BEGINNING
CH	CHAIN LENGTH	POR	POINT OF COMMENCEMENT
CMP	CONCRETE FOUNDATION	R	RADIUS LENGTH
CMP	CONCRETE METAL PIPE	R/W	RIGHT OF WAY
CM	COMB TOP PIPE	R/W MON	RIGHT OF WAY MONUMENT
CR	CRIPPLE	REAR	REAR-FENCED CONCRETE PIPE
CR	CRIPPLE TOP PIPE	RF	REAR FENCED
DI	DUCTILE IRON PIPE	SD	STORM DRAINAGE EASEMENT
DIC	DRAIN CONNECTION	SQ. FT.	SQUARE FEET
FDC	FIRE DEPARTMENT CONNECTION	SSE	SANITARY SEWER EASEMENT
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HDP	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
HP	HIGH POINT		
IPF	IRON PIN FOUND		

TREE LEGEND (ABBREVIATIONS)

⊠	DECIDUOUS (TREE)	BIR	BIRCH	HL	HOLLY
⊠	CONIFEROUS (TREE)	BCH	BEECH	HW	HARDWOOD
		CM	CHERRY	MAG	MAGNOLIA
		CYP	CYPRESS	MAP	MAPLE
		FIR	FIR	OAK	OAK
		GUM	GUM	ORL	ORNAMENTAL
		HIC	HICKORY	PEAR	PEAR
				POP	POPULAR
				SYC	SYCAMORE

PARKING COUNT

ONE BUCKHEAD PLAZA	361 REGULAR SPACES 100 RESERVED 103 VALET SPACES 1274 TOTAL SPACES
TWO BUCKHEAD PLAZA	253 REGULAR SPACES 9 HANDICAPPED SPACES 261 TOTAL SPACES

DESIGN PROFESSIONAL

RELEASED FOR CONSTRUCTION

PROJECT NUMBER: 2022.017

Delbar Buckhead

3060 Peachtree Rd NW, Atlanta, GA 30305

CLIENT: Nooshe Jan, LLC

TerraMark Land Surveying, Inc.
 1386 Belle Ferry Road
 Atlanta, GA 30310
 Phone No. (770) 421-1927
 Fax No. (770) 421-0552
 www.TerraMark.com
 Professional Land Surveying, C. A. # LSP008010

Drawn	ATA
Checked	RWH
Approved	RBC
Date	5/8/2017
Scale	1"=30'

BOUNDARY AND TOPOGRAPHIC SURVEY FOR COUSINS PROPERTY INCORPORATED (BUCKHEAD PLAZA ONE AND TWO) LOCATED IN LAND LOT 99, 17TH DISTRICT CITY OF ATLANTA, FULTON COUNTY, GEORGIA

SHEET NO. 2/3
DRAWING TM 17-113

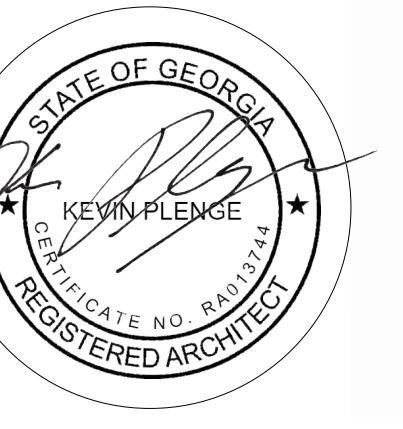
REV	DATE	DESCRIPTION
0	2023.09.18	SAP Submittal

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Survey

A.006

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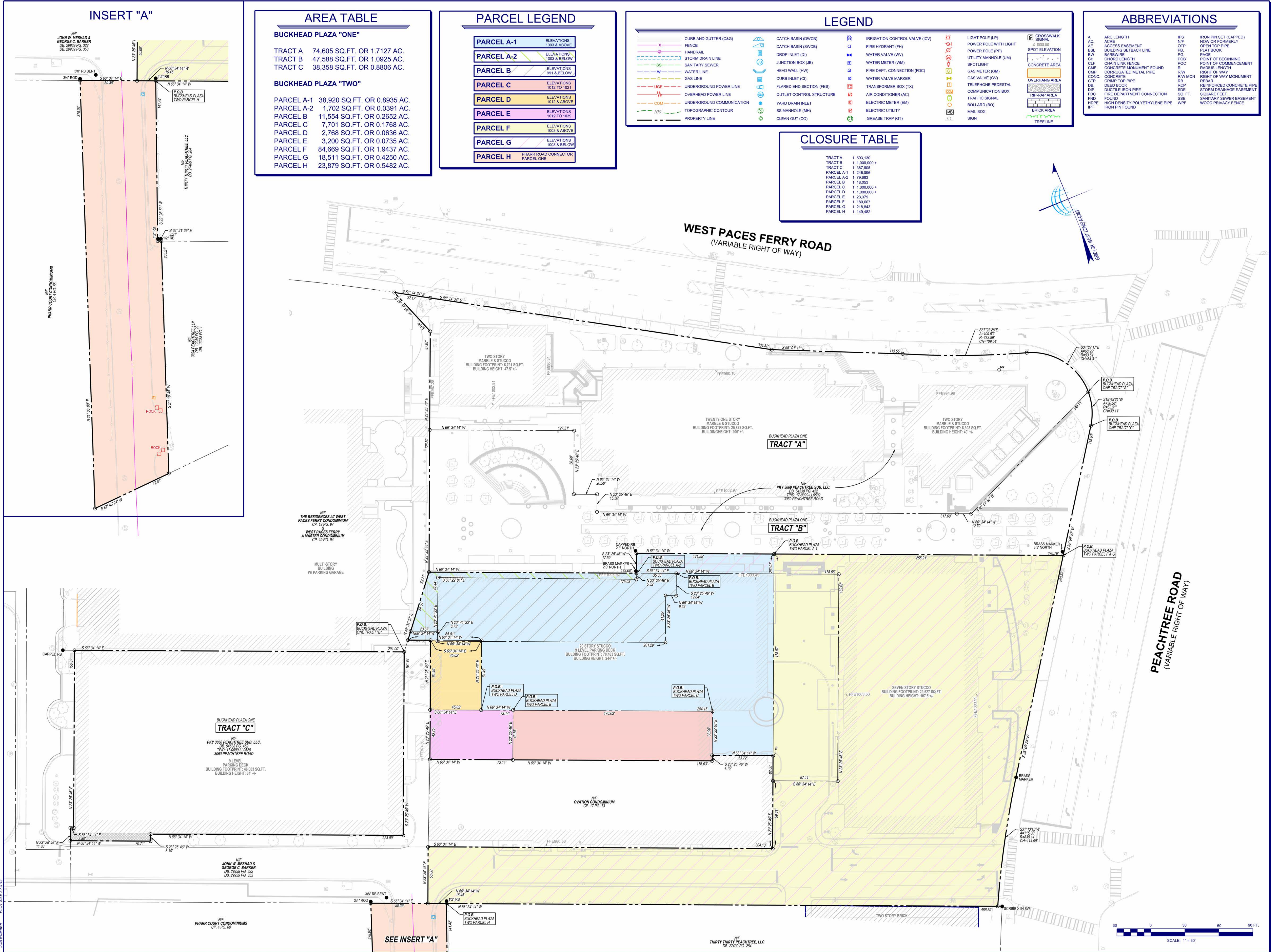
CLIENT: Nooshe Jan, LLC

TerraMark
Professional Land Surveying, Inc.
1396 Belle Ferry Road
Atlanta, GA 30316
Phone No. (770) 421-1927
Fax No. (770) 421-0552
www.TerraMark.com
S. SURVEY 2017.1912/S.MALTA.DEN

Draw	Revision	No.	DATE	BY	DATE	BY	DATE	BY	DATE	BY
		1	08/11/23	ATA	08/11/23	ATA	08/11/23	ATA	08/11/23	ATA
		2	09/01/23	RWH	09/01/23	RWH	09/01/23	RWH	09/01/23	RWH
		3	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC
		4	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC
		5	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC
		6	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC
		7	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC
		8	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC
		9	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC
		10	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC	09/01/23	RBC

BOUNDARY AND TOPOGRAPHIC SURVEY FOR COUSINS PROPERTY INCORPORATED (BUCKHEAD PLAZA ONE AND TWO) LOCATED IN LAND LOT 99, 17TH DISTRICT CITY OF ATLANTA, FULTON COUNTY, GEORGIA

SHEET NO.
3/3
DRAWING TM 17-113



AREA TABLE

BUCKHEAD PLAZA "ONE"

TRACT A 74,605 SQ. FT. OR 1.7127 AC.
TRACT B 47,588 SQ. FT. OR 1.0925 AC.
TRACT C 38,358 SQ. FT. OR 0.8806 AC.

BUCKHEAD PLAZA "TWO"

PARCEL A-1 38,920 SQ. FT. OR 0.8935 AC.
PARCEL A-2 1,702 SQ. FT. OR 0.0391 AC.
PARCEL B 11,554 SQ. FT. OR 0.2652 AC.
PARCEL C 7,701 SQ. FT. OR 0.1768 AC.
PARCEL D 2,768 SQ. FT. OR 0.0636 AC.
PARCEL E 3,200 SQ. FT. OR 0.0735 AC.
PARCEL F 84,669 SQ. FT. OR 1.9437 AC.
PARCEL G 18,511 SQ. FT. OR 0.4250 AC.
PARCEL H 23,879 SQ. FT. OR 0.5482 AC.

PARCEL LEGEND

PARCEL A-1	ELEVATIONS 1003 & ABOVE
PARCEL A-2	ELEVATIONS 1003 & BELOW
PARCEL B	ELEVATIONS 991 & BELOW
PARCEL C	ELEVATIONS 1012 TO 1021
PARCEL D	ELEVATIONS 1012 & ABOVE
PARCEL E	ELEVATIONS 1012 TO 1039
PARCEL F	ELEVATIONS 1003 & ABOVE
PARCEL G	ELEVATIONS 1003 & BELOW
PARCEL H	PHARR ROAD CONNECTOR PARCEL ONE

LEGEND

—	CURB AND GUTTER (C&G)	—	CATCH BASIN (DWCB)	—	IRRIGATION CONTROL VALVE (ICV)	—	LIGHT POLE (LP)
- - -	FENCE	—	CATCH BASIN (SWCB)	—	FIRE HYDRANT (FH)	—	POWER POLE WITH LIGHT
- - -	HANDRAIL	—	DROP INLET (DI)	—	WATER VALVE (WV)	—	POWER POLE (PP)
- - -	STORM DRAIN LINE	—	JUNCTION BOX (JB)	—	WATER METER (WM)	—	UTILITY MANHOLE (UM)
- - -	SANITARY SEWER	—	HEAD WALL (HW)	—	FIRE DEPT. CONNECTION (FDC)	—	SPOT ELEVATION
- - -	WATER LINE	—	CURB INLET (CI)	—	WATER VALVE MARKER	—	CONCRETE AREA
- - -	GAS LINE	—	FLARED END SECTION (FES)	—	TRANSFORMER BOX (TB)	—	OVERHANG AREA
- - -	UNDERGROUND POWER LINE	—	OUTLET CONTROL STRUCTURE	—	AIR CONDITIONER (AC)	—	BRICK AREA
- - -	OVERHEAD POWER LINE	—	YARD DRAIN INLET	—	ELECTRIC UTILITY	—	TREELINE
- - -	UNDERGROUND COMMUNICATION	—	SS MANHOLE (SM)	—	CLEAN OUT (CO)	—	
- - -	TOPOGRAPHIC CONTOUR	—		—		—	
- - -	PROPERTY LINE	—		—		—	

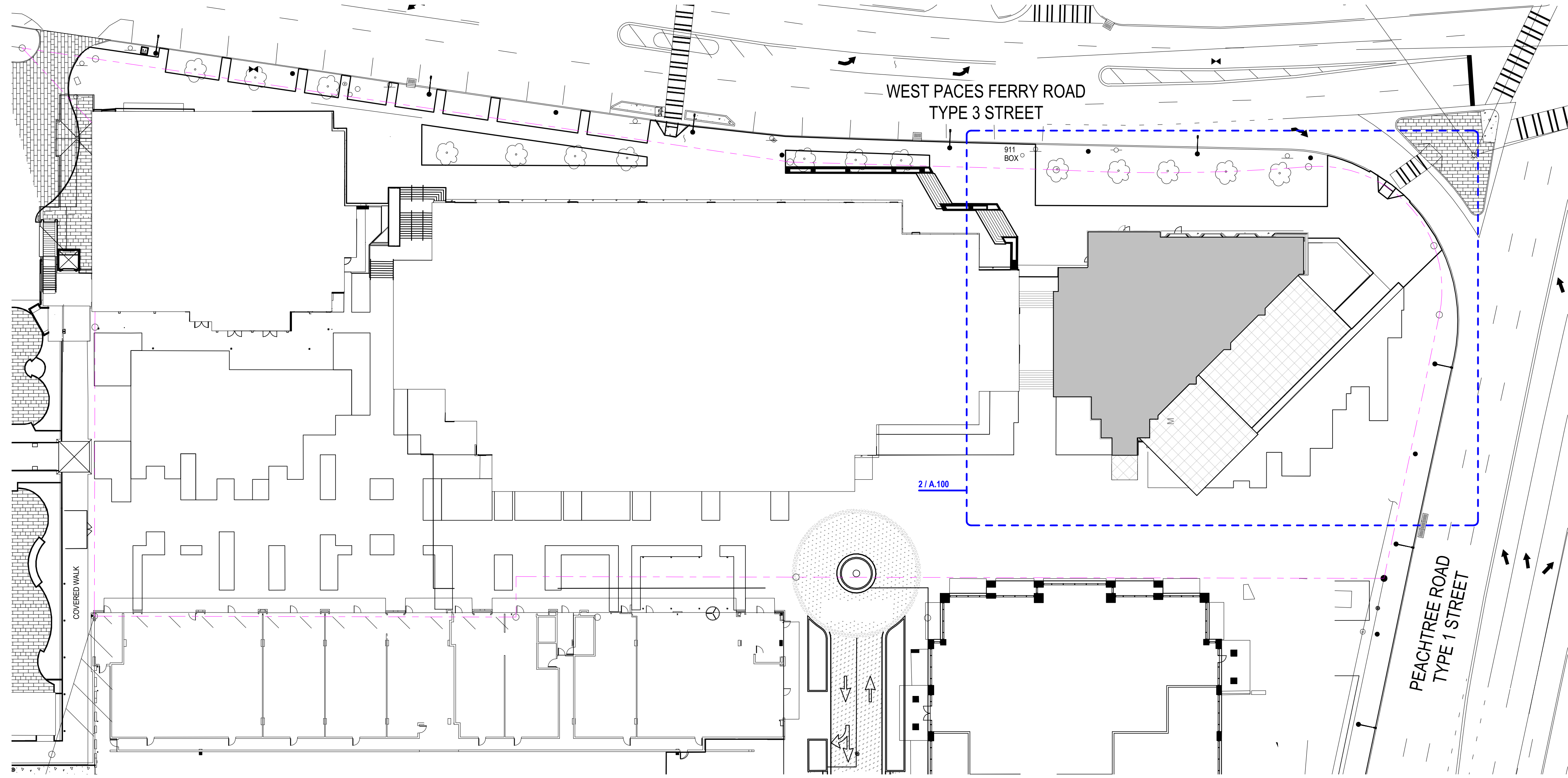
CLOSURE TABLE

TRACT A	1,593,130
TRACT B	1,100,000 +
TRACT C	1,307,800
PARCEL A-1	1,246,096
PARCEL A-2	1,79,863
PARCEL B	1,18,063
PARCEL C	1,000,000 +
PARCEL D	1,000,000 +
PARCEL E	1,23,379
PARCEL F	1,180,807
PARCEL G	1,218,843
PARCEL H	1,140,482

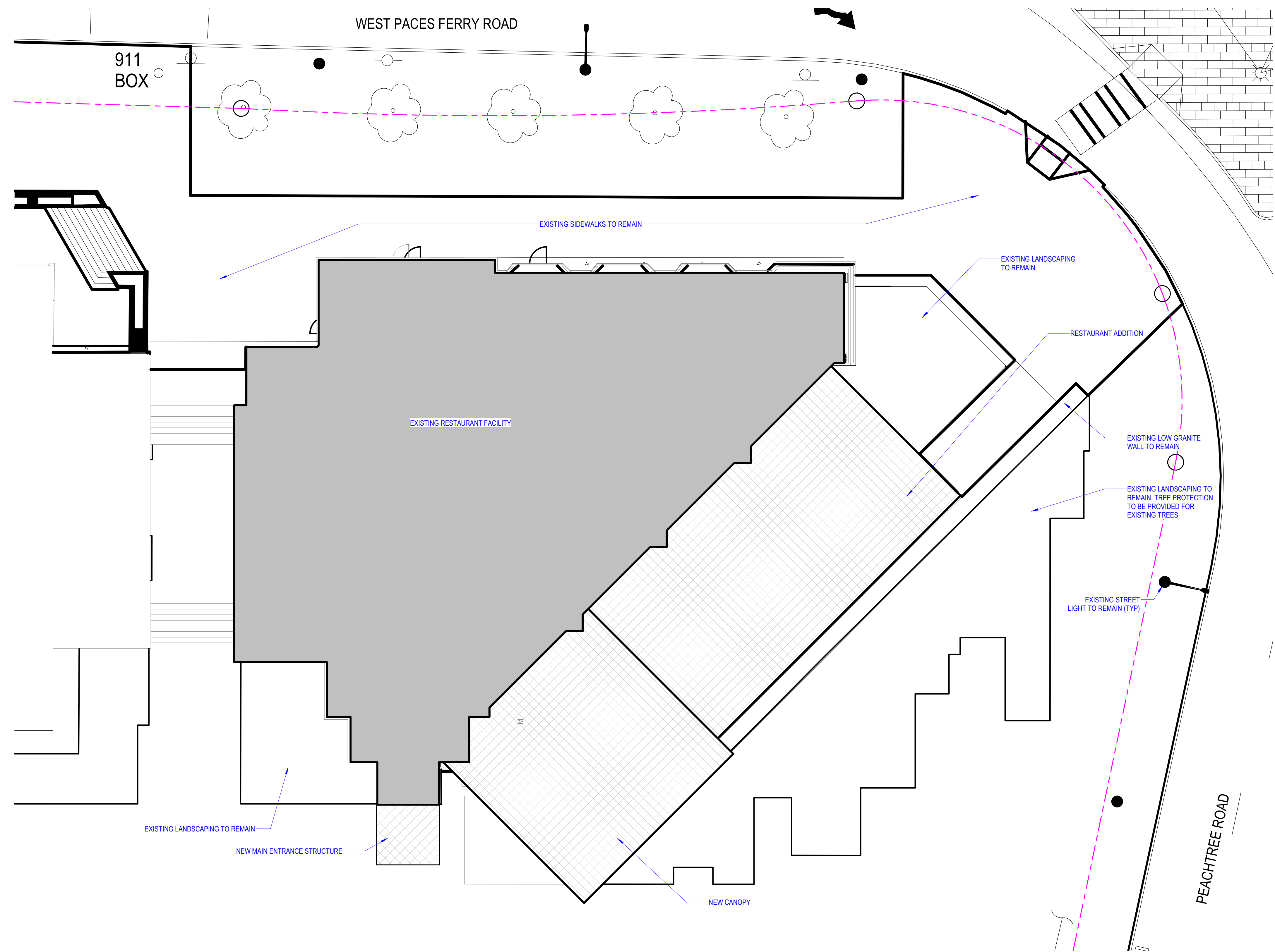
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Survey

A.007

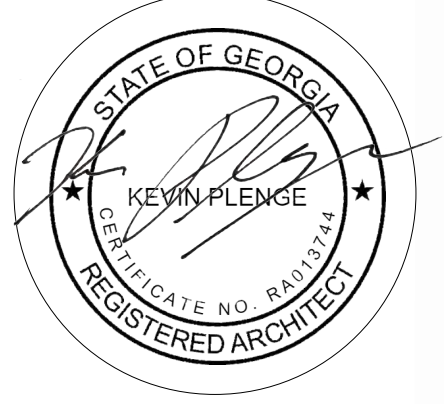


1 Parcel 1 Site Plan
A.100 1" = 30'-0"



2 Partial Site Plan
A.100 1" = 10'-0"

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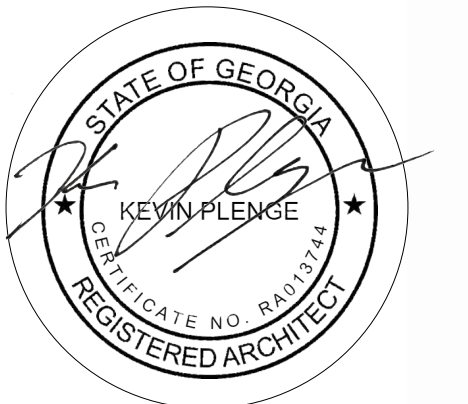
CLIENT: Nooshe Jan, LLC

REV	DATE	DESCRIPTION
0	2023.09.18	SAP Submittal

Site Plans

A.100

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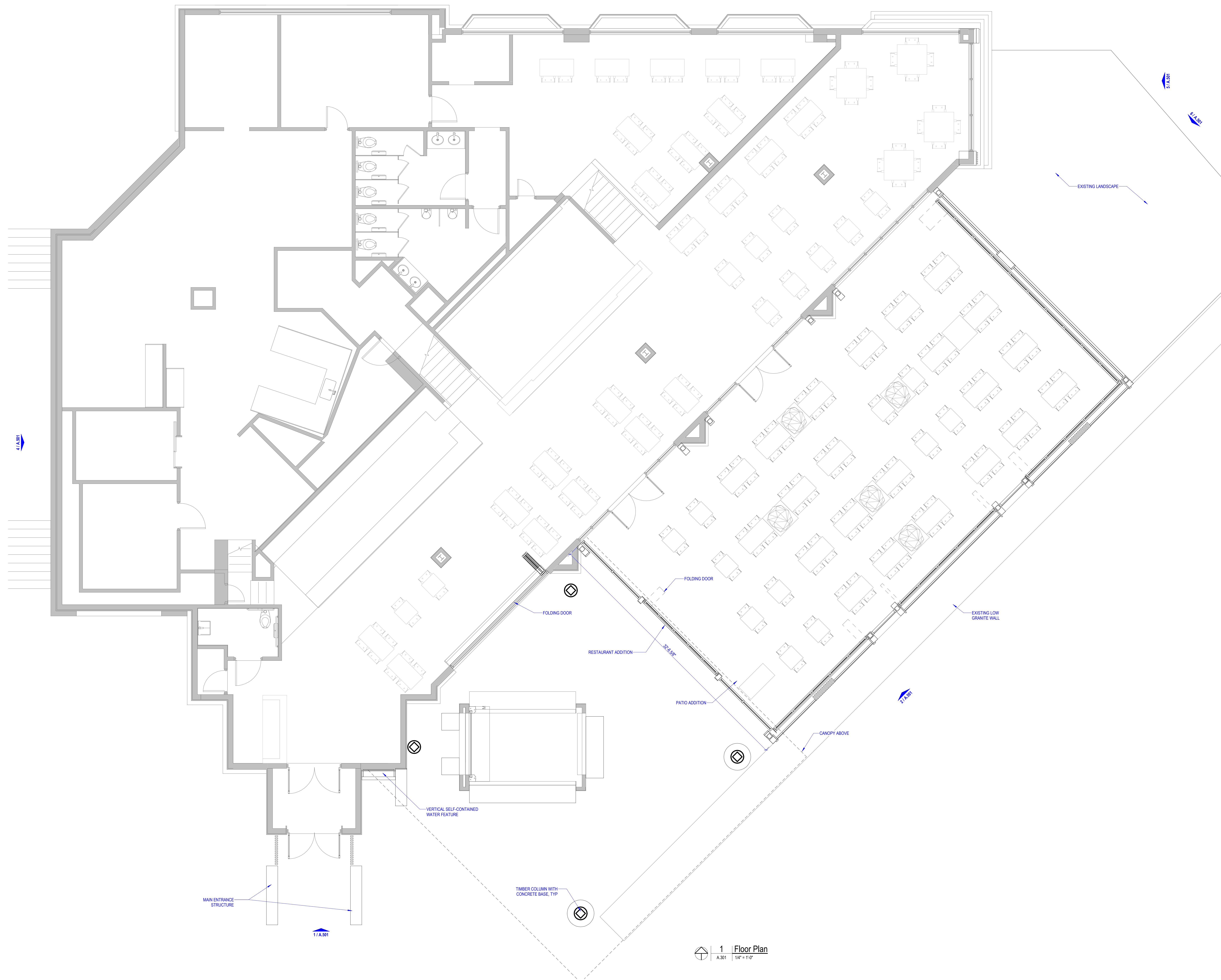
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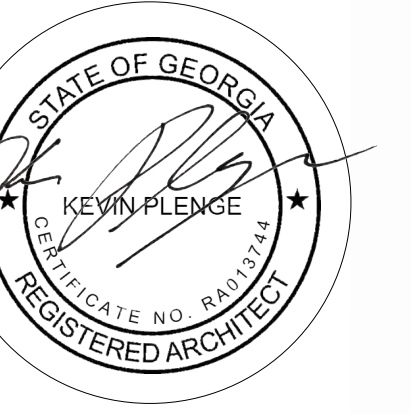


1 Floor Plan
A.301 | 1/4" = 1'-0"

Floor Plan

A.301

DESIGN PROFESSIONAL



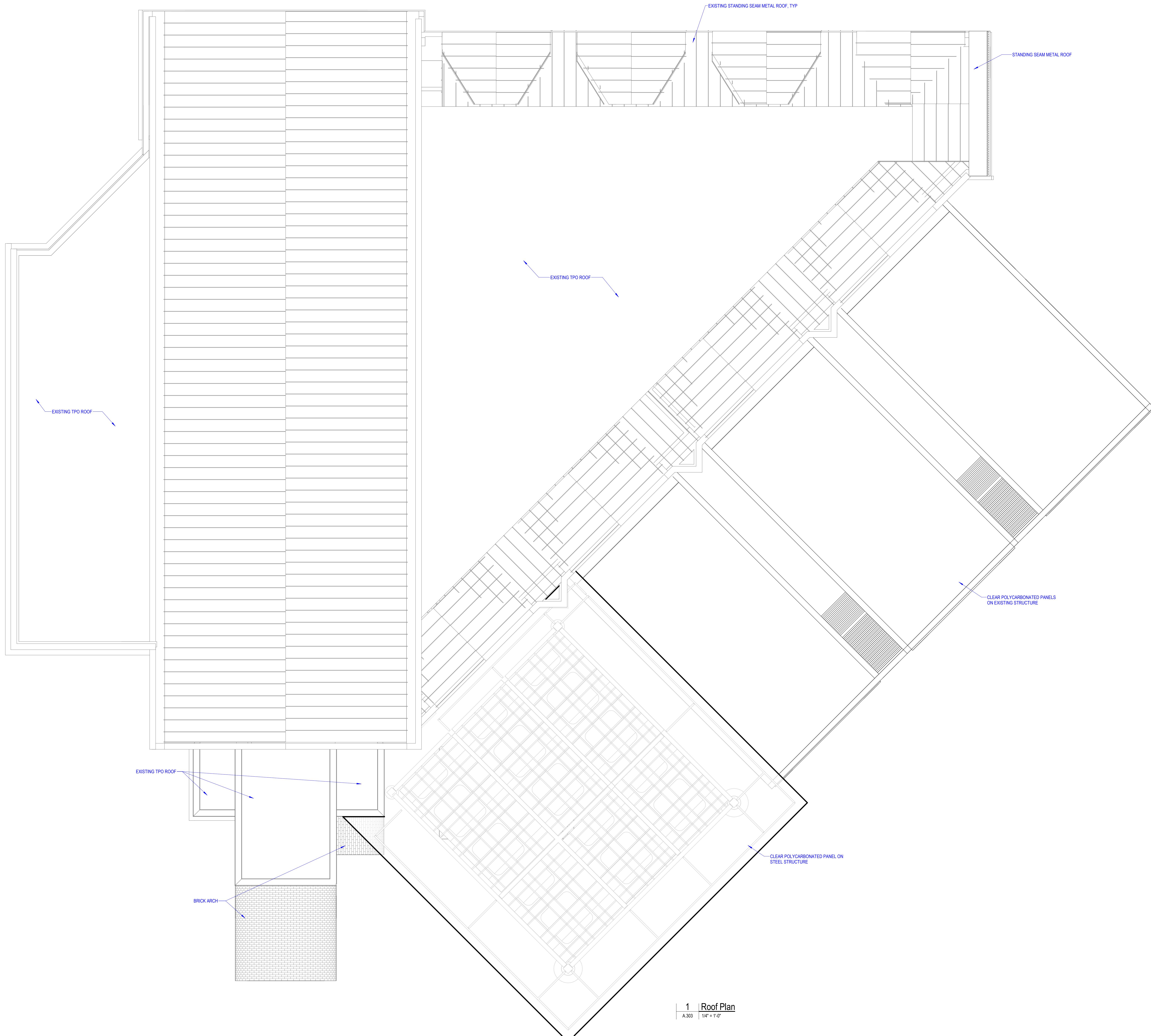
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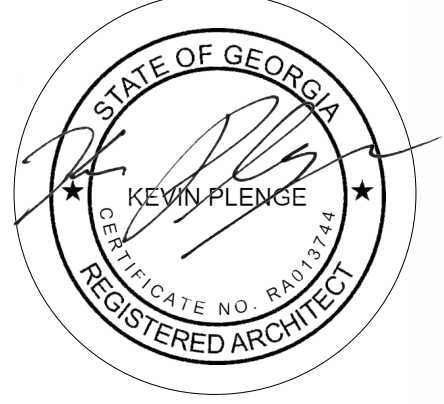
1 Roof Plan
 A.303 1/4" = 1'-0"

Roof Plan

A.303



DESIGN PROFESSIONAL



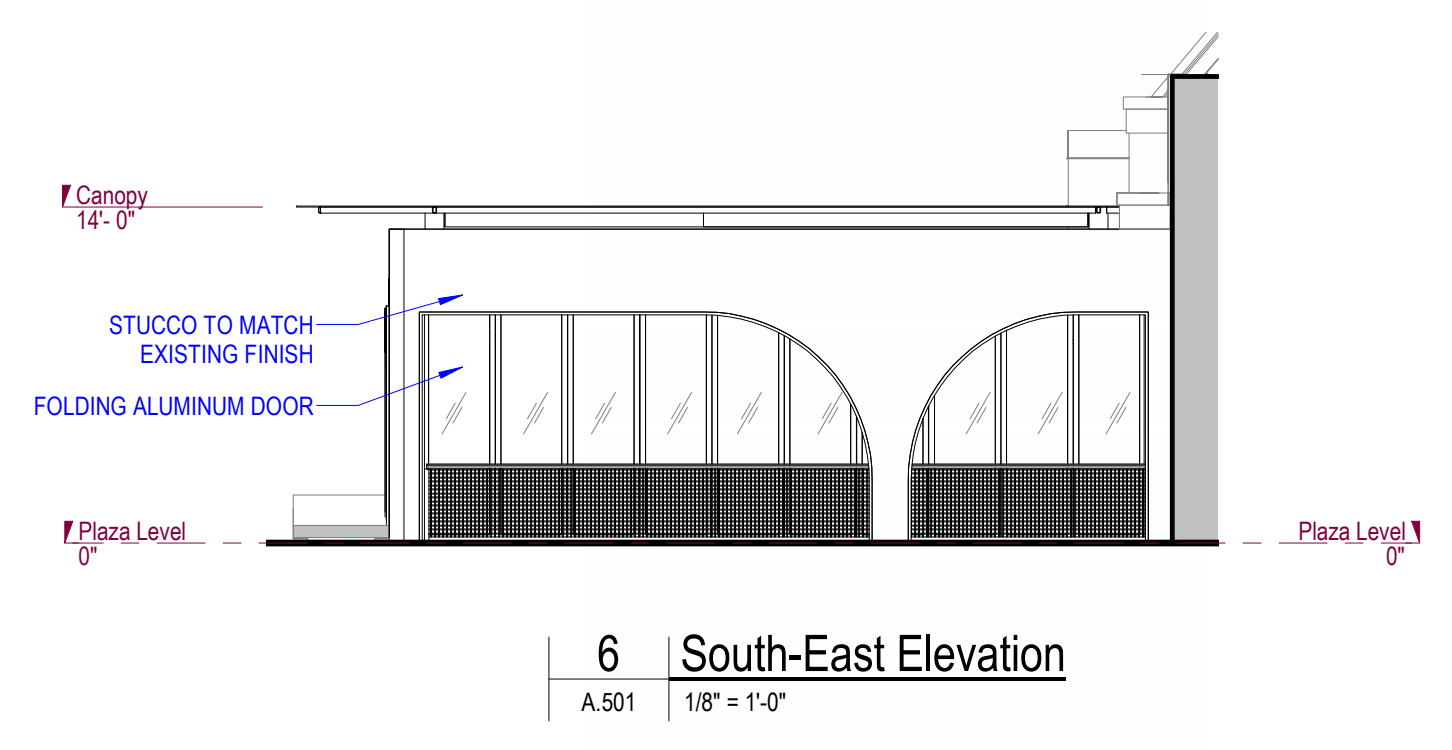
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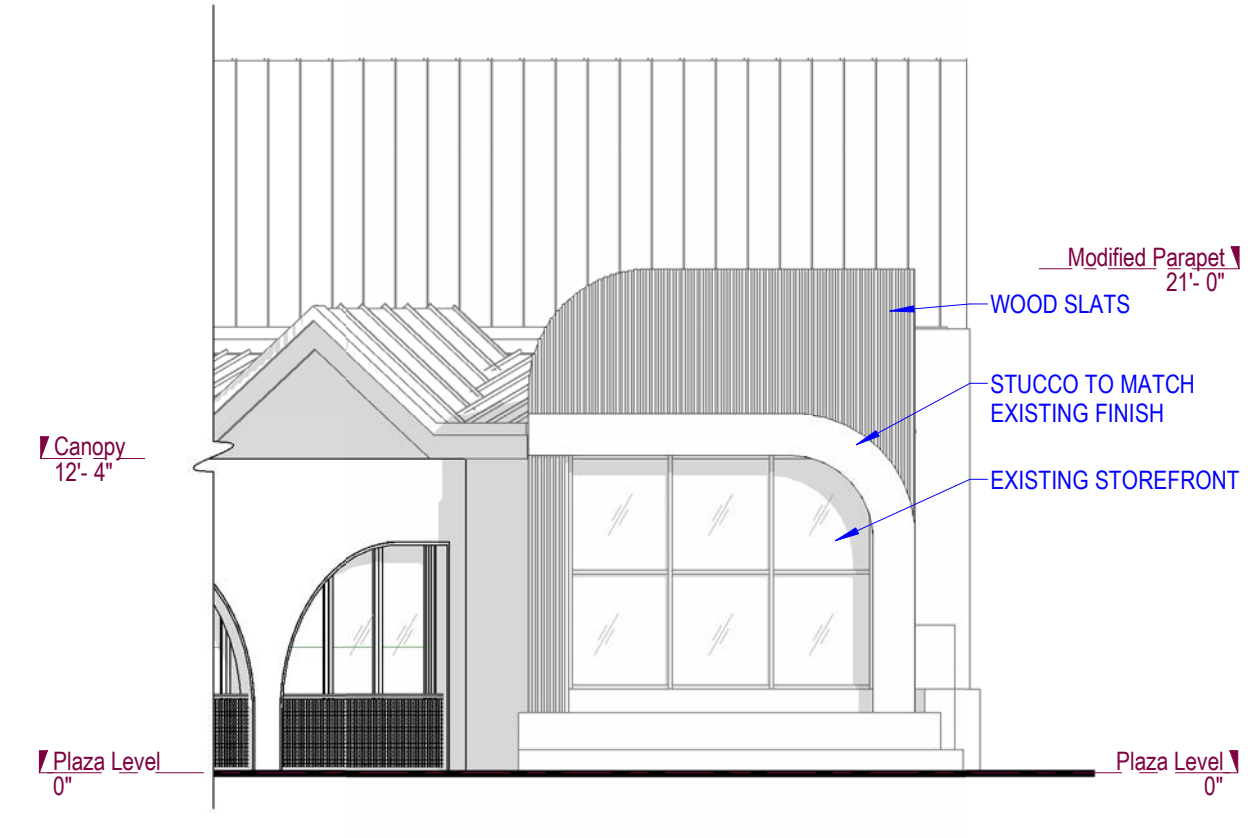
CLIENT: Nooshe Jan, LLC



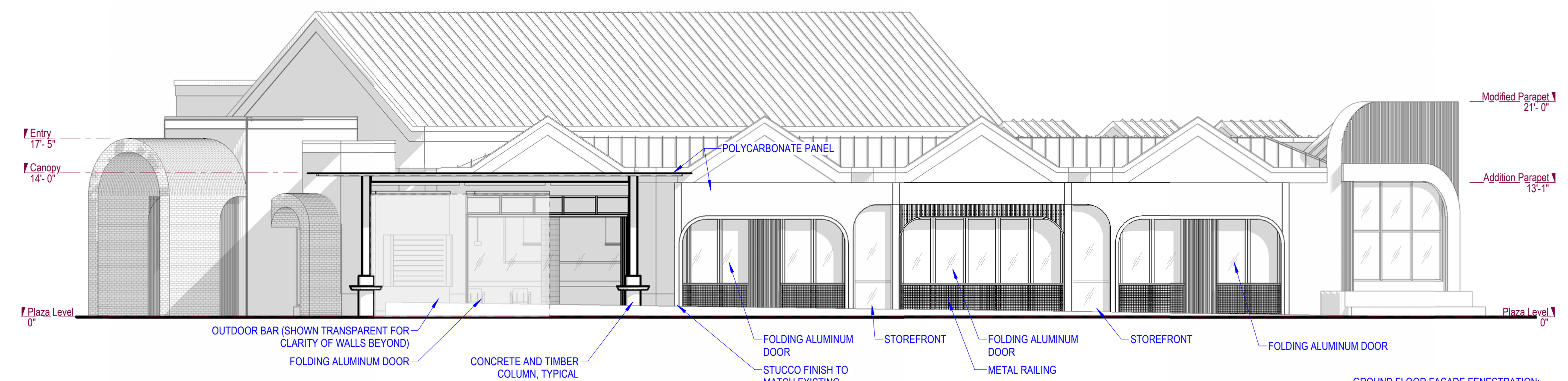
6 South-East Elevation
 A.501 | 1/8" = 1'-0"



3 North Elevation
 A.501 | 1/8" = 1'-0"

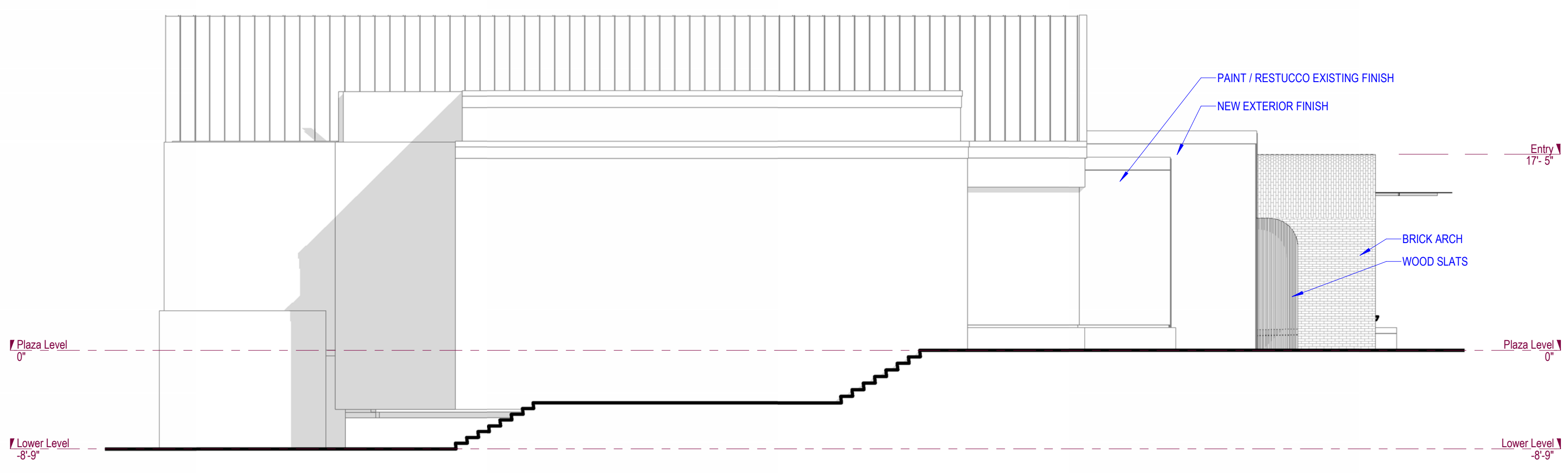


5 East Elevation
 A.501 | 1/8" = 1'-0"

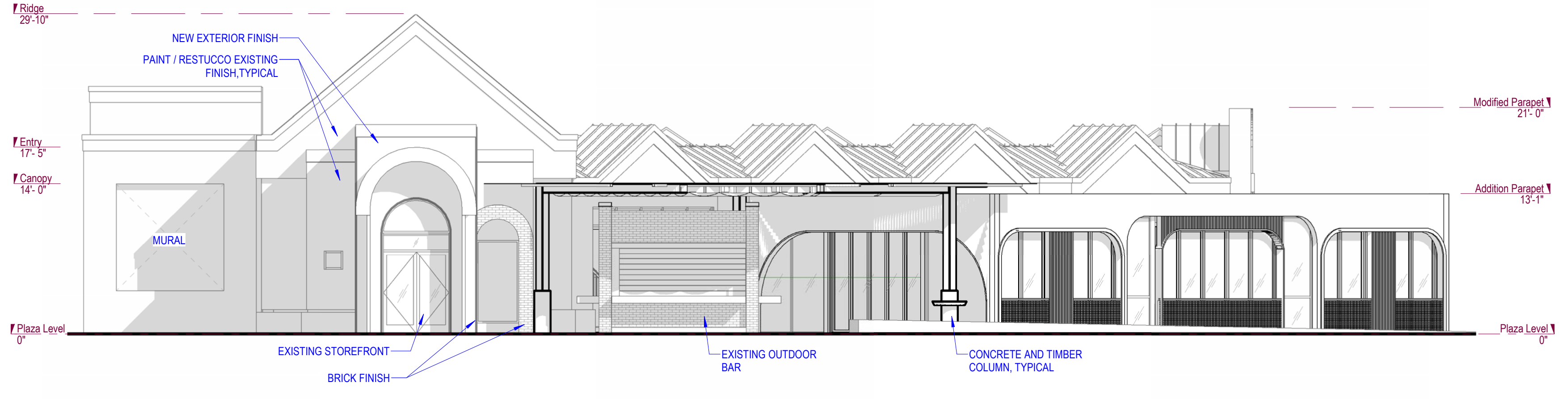


2 South Elevation
 A.501 | 1/8" = 1'-0"

GROUND FLOOR FACADE FENESTRATION:
 TOTAL FACADE LENGTH IN INCHES: 1,521"
 WINDOWS WIDTHS: 112" x 201" x 300" x 182"
 1,006" FENESTRATION / 1,521" = 66% COMPLIES



4 West Elevation
 A.501 | 1/8" = 1'-0"



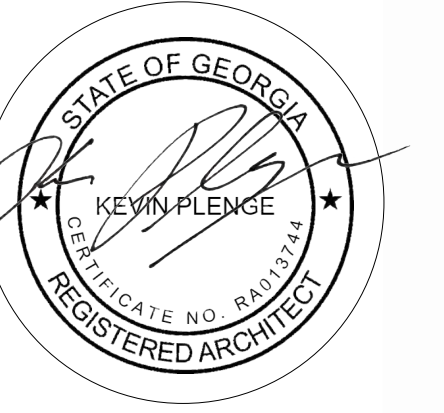
1 South-East Elevation
 A.501 | 1/8" = 1'-0"

REV	DATE	DESCRIPTION
0	2023.09.18	SAP Submittal

Exteriors

A.501

DESIGN PROFESSIONAL



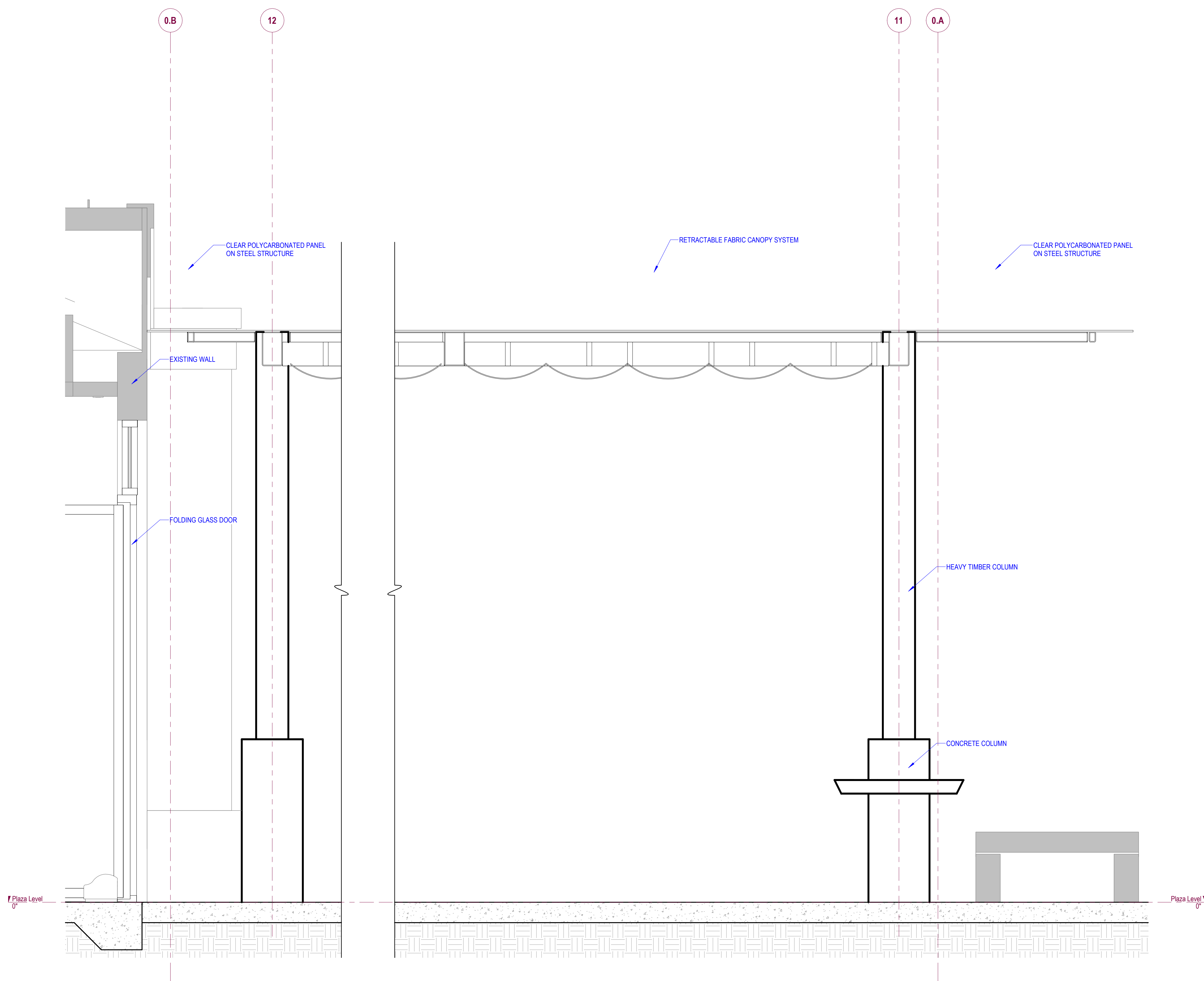
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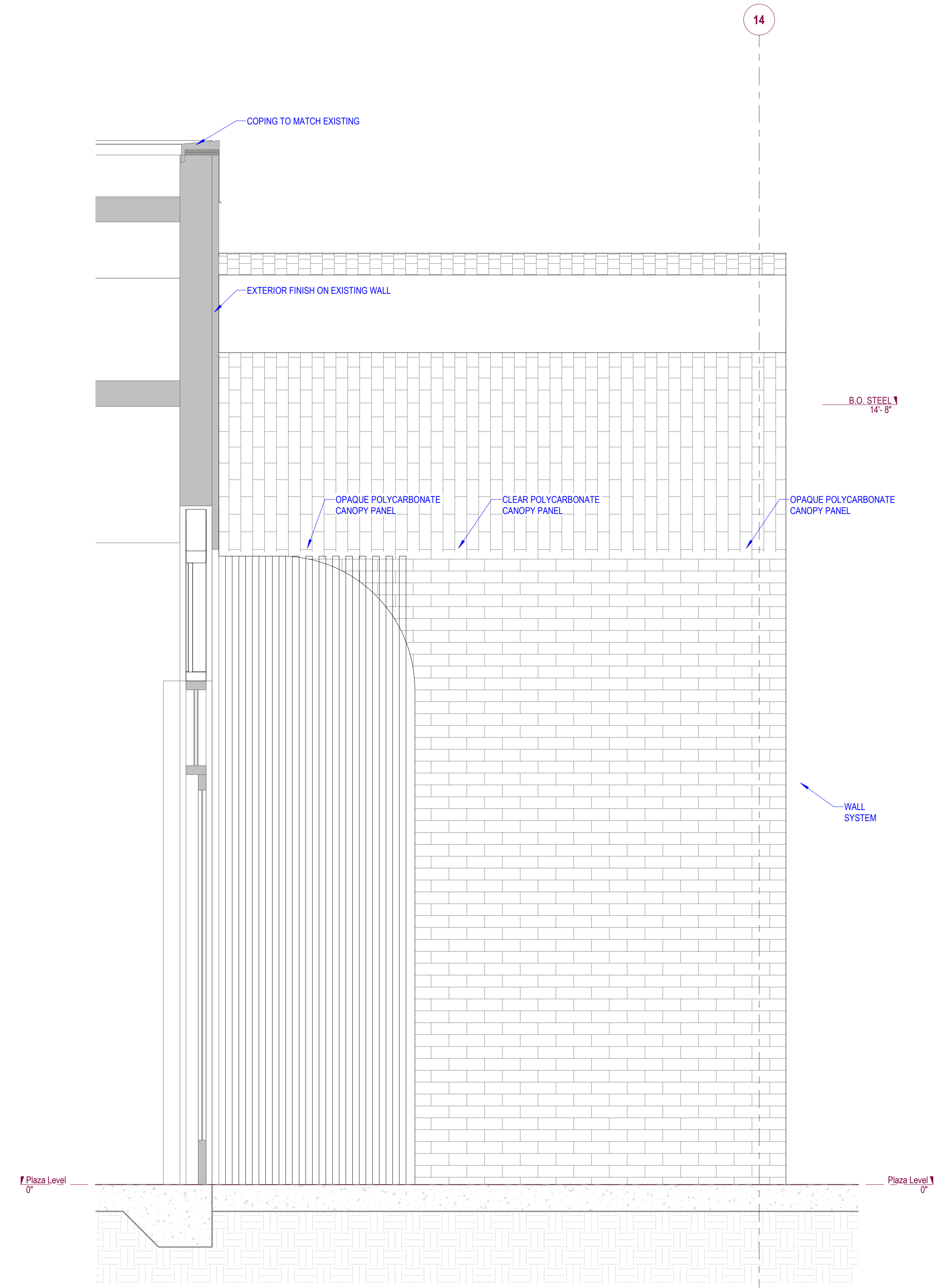
Delbar Buckhead

3060 Peachtree Rd NW, Atlanta, GA 30305

CLIENT: Nooshe Jan, LLC



2 Section
 A.505 3/4" = 1'-0"



1 Section
 A.505 3/4" = 1'-0"

REV	DATE	DESCRIPTION

Section

A.505