
Sec. 16-181.023. Off-street parking requirements.

In addition to the provisions of section 16-28.008(7), which shall apply and are incorporated herein, off-street parking for all uses shall be provided in accordance with the, SPI-9 Buckhead Village Parking Table and subject to subsections 1 through 6 below. See also sections 16-28.013 and 16-28.014.

1. *Maximum parking:* Unless otherwise shown in the SPI-9 Buckhead Village Parking Table, the maximum allowable off-street parking shall be one space for each 200 square feet of floor area.
2. *Minimum parking:* The minimum off-street parking required shall be 75 percent of the maximum shown in the SPI-9 Buckhead Village Parking Table unless reduced in accordance with part 5 below.
3. Off-street surface parking lots, including those for the authorized sale or lease of vehicles, shall not be located between a building and the adjacent street without an intervening building.
4. Off-street surface parking lots shall be screened from adjacent streets and sidewalks by a decorative fence or wall, berm, or vegetative screen at a minimum of 30 inches and at a maximum of 42 inches in height between the parking lot and the sidewalk(s). Only perpendicular driveway crossings and delineated pedestrian paths shall be allowed through such screening.
5. *Reduction of off-street parking requirements:*
 - a. On-street parking spaces may be used to meet up to 25 percent of the required off-street parking. Only those on-street parking spaces that are within, contiguous to, and/or located on right-of-way directly adjacent to the parcel (on the same side of the street) may be counted.
 - b. Parking requirements may be reduced at the discretion of the director upon a written determination that either:
 - i. The character or use of the building is such as to make unnecessary the full provision of parking facilities as verified by a valid shared parking analysis based on the Urban Land Institute (ULI) standard or other similarly recognized standard; or
 - ii. The applicant shall establish a valid shared or off-site parking arrangement which:
 1. Meets all other criteria of section 16.25.002(3);
 2. Provides safe pedestrian circulation and access between the principal structure and off-site parking facilities at no more than 600 feet in horizontal walking distance;
 3. Segregates required residential parking from parking associated for other uses;
 4. All shared or off-site parking spaces shall be clearly marked and signed as reserved during specified hours; and
 5. An applicant applying to share or transfer parking requirements shall submit documentation including the following:
 - a. A map drawn to scale that indicates the location of proposed parking spaces; and
 - b. Documentation of the hours of operation of nonresidential parking users that avoids conflicting parking demands; and
 - c. Copies of valid shared parking agreements. Renewed agreements shall be filed with the office of planning.

6. *Office uses, additional requirements:* Any development providing more than 50,000 square feet of gross office space shall reserve and designate at least five percent of the required parking spaces as "Carpool Only," or "Vanpool Only". Such spaces shall be located near the building's entrance or other preferable locations. Parking structures accommodating vanpool access at entry level must provide a minimum ceiling height of eight feet and two inches.

SPI-9 Buckhead Village Parking Table

Use	Maximum Allowable Parking Spaces ^{1,2}
Child care centers, day care centers, pre-kindergartens, kindergartens, play and other special schools or day care centers for young children	One space per 600 square feet of floor area. In addition to providing off-street parking, such establishments shall provide safe and convenient facilities for loading and unloading children, approved by the department of transportation.
Commercial recreation establishments, including bowling alleys, theaters, convention halls, places of assembly, and similar uses, with primary activities conducted within fully enclosed buildings	One space for each 100 square feet of floor area
Drive-in establishments	See section 16-28.021
Eating and drinking establishments - Indoor dining and covered outdoor dining	One space for each 300 square feet of floor area unless an eating and drinking establishment derives more than 60 percent of its gross income from the sale of malt beverages, wine and/or distilled spirits.
Eating and drinking establishments - Uncovered outdoor dining	If outdoor uncovered dining space is greater than 25 percent of the total gross floor area of the establishment, it shall provide a maximum of one additional space per 600 square feet for such accessory outdoor dining area.
Hotels and motels	One space per rental unit plus one-half space per employee and one space per 100 square feet of restaurant/lounge gross leasable area as applicable, and one space per 300 square feet of other convention facilities
Nursing homes	One space for each four beds
Office uses	No minimum. A maximum of two and one-half spaces for each 1,000 square feet of floor area. Parking during off-peak hours (after 6:00 p.m.) may be shared for other uses
Personal care homes, assisted living facilities, and rehabilitation centers with a residential component	See section 16-08.007 for applicable ratios according to the appropriate floor area ratio
Poolrooms, billiard parlors, amusement arcades and similar establishments	One space for each 100 square feet of floor area
Recreational establishments	One space for each 400 square feet of floor area
Residential	Two parking spaces per unit plus one-half space for each unit with three or more bedrooms + one-third space per unit for guest parking.
Retail establishments, including catering, delicatessen and bakeries with wholesale operations	One space for each 300 square feet of floor area
Schools, colleges, churches, recreation or community centers and other places of assembly	One space for each four fixed seats (with 18 inches of bench length counted as one seat; or One space for

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	each 35 square feet of enclosed floor area for the accommodation of movable seats in the largest assembly room, whichever is greater, plus the following: i. For elementary or middle schools: Two spaces for each classroom; ii. For high schools: Four spaces for each classroom; iii. For colleges and universities: Eight spaces for each classroom.
Shelter and supportive housing	One parking space for each on duty staff member, whether paid or unpaid. In addition to staff parking, a space of sufficient size is required for each van, bus or other vehicle used by the facility and one additional parking space shall be provided for each 2,000 square feet of the facility.
Single room occupancy residences	One space for each two dwelling units plus one space for each employee
Tailoring, custom dressmaking, millinery and similar establishments	One space for each 300 square feet of floor area
Accessory uses	One space for each 300 square feet of floor area
All other uses	One space for each 200 square feet of floor area
¹ Unless specified otherwise, minimum on-site off-street parking shall be no less than 75 percent of the maximum allowable parking spaces, see section 16-181.025(2).	
² Parking in excess of maximum parking allowed: Only parking structures providing shared or off-site parking in accordance with section 16-181.023(5) and allowed by Special Administrative Permit (SAP) may exceed the maximum parking allowed by this section.	

(Ord. No. 2010-54(10-O-1339), § 1(Att. A), 10-13-10; Ord. No. 2020-33(20-O-1381) , § 22, 6-23-20)



ORINATIONDESIGN,LLC
3225 SHALLOWFORDRD.
SUITE 920
MARIETTA, GA 30062
O:678.387.1814
M:404.542.0838
INFO@ORINATIONDESIGN.COM

March 6th, 2023,
Project: Knife Kitchen And Cocktails

To whom it may concern,

Thank you for taking the time to review drawings for **Knife Kitchen And Cocktails**, located at **3162 Piedmont Rd NE, Atlanta, GA 30305**

This is a response letter addressing your architectural plan review comments.

NO	SHEET	COMMENT	RESPONSE
1	LS-100	1. Back door cannot be existing	1. Sidewalk -serving the backdoor and the staircase- is highlighted per sheet SP-101, LS-100, A-101

Please call or email us if you want to discuss any of the comments we have addressed.

Thank you for your time.

Yours Sincerely,

Joseph M. Ghobrial
Orination Design, LLC
404.542.0538
jghobrial@originationdesign.com

Knife Kitchen And Cocktails

3162 PIEDMONT RD NE, ATLANTA, GA 30305



3225 SHALLOWFORD RD.
SUITE 920, MARIETTA, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM

Knife Kitchen And Cocktails

3162 Piedmont Rd NE, Atlanta, GA 30305

COVER SHEET

PIEDMONT ON PEACHTREE



No.	Description	Date
1	City comments	08/01/22

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ISSUED FOR CONSTRUCTION

Project Number 202120
Date 03/06/2023
Drawn By MI
Checked By JG

CS-100

Scale

3/6/2023 11:06:04 PM

ABBREVIATIONS		GENERAL NOTES		SYMBOL AND LEGEND		PROJECT INFORMATION		SHEET INDEX					
<p>(NOT ALL ABBREVIATIONS MAY BE USED IN THIS DOCUMENT)</p>													
<p>A.B. ANCHOR BOLT ABV. ABOVE A.C. ASPHALTIC CONCRETE ACM. ALUM. COMPOSITE METAL PANEL A.C.P. ACOUSTIC CEILING PANEL A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM A.Q.T. ABRASIVE QUARRY TILE AOR. ARCHITECT OF RECORD ARCH. ARCHITECTURAL BD. BOARD BLKG. BLOCKING B.N. BOUNDARY NAIL BM. BEAM B.O.C. BOTTOM OF CEILING B.O.J. BOTTOM OF JOIST B.U.R. BUILT-UP ROOFING BOTT. or (B) BOTTLING C. CONDUIT C.L. or q. CENTER LINE CAB. CABINET C.B.B. CEMENTITIOUS BACKER BOARD C.D. CORE DRILL CER. CERAMIC C.J. CONTROL JOINT (COLD JOINT) CLG. CEILING CLKG. CAULKING CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONG. CONCRETE CONN. CONNECTION CONST. CONSTRUCTION CONST. JT. CONSTRUCTION JOINT CONT. CONTINUOUS CONTR. CONTRACTOR COMP. COMPACTED/COMPACTION C.T. CERAMIC TILE C.T. C.T. DBL. DOUBLE DEG. or ° DEGREE DET. DETAIL DIA. or Ø DIAMETER DIAG. DIAGONAL DIM. DIMENSION DS. DOWNSPOUT DWG. (S) DRAWING(S) (E) EXISTING E.C. ELECTRICAL CONTRACTOR ELEC. ELECTRICAL ELEV. ELEVATION E.N. EDGE NAIL E.O.C. EDGE OF COUNTER/ EQUIPMENT EQ. or EQUAL ER. EXISTING RELOCATED EXP. EXPANSION EXT. EXTERIOR FACT. FACTORY F.D. FLOOR DRAIN FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.F. FINISHED FLOOR F.F.L. FINISHED FLOOR LEVEL F.F.AE. FURNITURE, FIXTURES & EQUIPMENT F.G. FLOAT GLASS FLR. FLOOR FIN. FINISH F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD F.R. FIRE RETARDANT F.R.P. FIBERGLASS REINFORCED PANEL FT. FOOT/ FEET FTG. FOOTING F.V. FIELD VERIFY GA. GAUGE (GAGE) GWB. GYPSUM WALLBOARD G.C. GENERAL CONTRACTOR GALV. GALVANIZED G.I. GALVANIZED IRON GLB. GLUE-LAMINATED BEAM HB. HOSE BIBB H.C. HOLLOW CORE H.D. HUB DRAIN HDR. HEADER HDW. HARDWARE HGR. HANGER HGT. or HT. HEIGHT H.M. HOLLOW METAL HORIZ. or H. HORIZONTAL H.S.B. HIGH STRENGTH BOLT I.D. INSIDE DIAMETER I.E. IN EXAMPLE IN. INCH INCHES INSUL. INSULATION INT. INTERIOR INV. INVERTED JT. OR INT. JOINT JST. JOIST</p>	<p>L. ANGLE LAM. LAMINATED LAV. LAVATORY P.O. POUND(S) LS. LONG LT. LIGHT MATL. MATERIAL MAX. MIN. MAXIMUM/ MINIMUM M.B. MACHINE BOLT MEZZ. MEZZANINE MISC. MISCELLANEOUS M.O. MASONRY OPENING M.P.S. MODULAR PANELBOARD SYSTEM M.S.B. MAIN SWITCH BOARD MTD. MOUNTED MTL. METAL (N) NEW N/A or N/A NOT APPLICABLE N.I.C. NOT IN CONTRACT NO. or # NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE O.C. ON CENTER O.F.C.I. OWNER FURNISHED, CONTRACTOR INSTALLED O.F.D. OVERFLOW DRAIN O.F.O.1. OWNER FURNISHED, OWNER INSTALLED O.D. OUTSIDE DIAMETER OPP. OPPOSITE PARTN. PARTITION P.L. PLASTIC LAMINATE OR PARALLAM (BEAM) P.L. or # PLASTER PLBG. PLUMBING PLYWD. PLYWOOD P.O.C. POINT OF CONNECTION PR. PAIR PSF. POUNDS PER SQ. FOOT PSI. POUNDS PER SQ. INCH P.T. PRESSURE TREATED Q.T. QUARRY TILE RAD. OR (R) RADIUS RCP. REFLECTED CEILING PLAN REF. REFERENCE REINF. REINFORCEMENT REV. REVERSE ROAMTS. REQUIREMENTS S.C. SOLID CORE SCHD. SCHEDULE SHT. SHEET SHTG. SHEATHING SIM. SIMILAR SM. SHEET METAL SMS. SHEET METAL SCREW SPEC. (S) SPECIFICATION(S) SQ. SQUARE SQ. IN/ FT. SQUARE INCH/FOOT S.S. STAINLESS STEEL STD. STANDARD STL. STEEL STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL TEMP. TEMPERATURE THICK. THICKNESS T&G. TONGUE & GROOVE T.N. TOE NAIL T.O.B. TOP OF BEAM T.O.C. TOP OF CURB T.O.F. TOP OF FOOTING T.O.P. TOP OF PARAPET T.O.PL. TOP OF PLATE T.O.S. TOP OF SLAB T.O.W. TOP OF WALL T.S. TOP OF SHEATHING TYP. TYPICAL UNLESS NOTED OTHERWISE UNDERWRITERS LABORATORY VERT. OR M. VERTICAL V.F. VERIFY IN FIELD V.T.R. VENT THROUGH ROOF V.W.C. VINYL WALL COVERING W/ or w/o WITH/ WITHOUT W.C. WATER CLOSET WD. WOOD WH. WATER HEATER W.I.B. WALK-IN BOX W.R. WATER RESISTANT WT. WEIGHT W.W. WELDED WIRE FABRIC W.W.M. WELDED WIRE MESH</p>	<p>1. ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS OF EVERY TYPE WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS.</p> <p>2. MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS ARE INCLUDED IN, AND NOT SUPPLEMENTARY TO, THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS BEFORE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND OTHER DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY THE CONTRACTOR FOR WRITTEN AND GRAPHIC CLARIFICATION.</p> <p>3. THE CONTRACTOR SHALL FOCUS SPECIAL ATTENTION ON A FIELD REVIEW OF THE EXISTING SITE PRIOR TO CONSTRUCTION. ANY CONDITIONS THAT ARE FOUND TO BE INCONSISTENT WITH THESE DOCUMENTS OR WHERE THE INTENT IS IN DOUBT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO BID SUBMITTAL. CONTRACTOR SHALL NOT RELY UPON ORAL COMMUNICATIONS; ALL COMMUNICATIONS MUST BE IN WRITTEN OR GRAPHIC FORMAT.</p> <p>4. REVISIONS TO WORK OR PLANS MUST BE APPROVED BY THE CITY AND/ OR LOCAL JURISDICTION'S INSPECTION SERVICES PRIOR TO IMPLEMENTATION. ANY ADDITIONS OR CHANGES TO WORK MUST BE AUTHORIZED IN WRITING BY THE ARCHITECT. NO AL TERA TIONS WILL BE MADE ON THIS PROJECT EXCEPT UPON WRITTEN ORDER BY USING PREDETERMINED ARCHITECT SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVES.</p> <p>5. CONTRACTOR IS RESPONSIBLE FOR THE MORE COSTLY RESOLUTION ON ALL CONFLICTING INFORMATION PRESENTED ON THE PLANS, OR BETWEEN THE EXISTING CONDITIONS AND THE PLANS.</p> <p>6. IF A CONFLICT OCCURS BETWEEN THE DESIGN DRAWINGS AND SPECIFICATIONS, PROMPTLY NOTIFY THE ARCHITECT IN WRITING. AT THAT POINT, A WRITTEN INTERPRETATION WILL BE MADE BY THE ARCHITECT AND SAID DECISION SHALL BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.</p> <p>7. THIS ARCHITECT WILL NOT HAVE CONTROL OF, AND WILL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE. NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT AND OR CONSTRUCTION DOCUMENTS.</p> <p>8. ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/ OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS, I.E. STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.</p> <p>9. WORK WILL BE COORDINATED WITH ALL TRADES IN ORDER TO AVOID INTERFERENCE AND AVOID OMISSIONS.</p> <p>10. UNLESS NOTED OTHERWISE, ALL MATERIALS USED WILL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. OR OTHER INDUSTRY STANDARDS.</p> <p>11. LAYOUT ALL PARTITIONS AND CABINETS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS AND CABINETS WILL BE INSTALLED AS NOTED ON THE DRAWINGS. IF APPLICABLE, GENERAL CONTRACTOR MUST OBTAIN RESOLUTION FROM ARCHITECT FOR ANY DISCREPANCIES PRIOR TO CONSTRUCTION OF WALL PARTITIONS AND CABINETS.</p> <p>12. EACH SUBCONTRACTOR WILL AMEND AND MAKE GOOD AT HIS OWN COST, ANY DEFECTS OR OTHER FAULTS IN HIS WORKMANSHIP AND/ OR HIS SUPPLIED MATERIALS.</p> <p>13. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND/ OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE ARCHITECT FOR WRITTEN AND/ OR GRAPHIC DIRECTION PRIOR TO PROCEEDING WITH THAT WORK.</p> <p>14. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY THE ARCHITECT. FIGURED AND CALCULATED DIMENSION TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TYPICALLY TAKES PRECEDENCE OVER SMALLER SCALE DRAWINGS VERIFY WITH ARCHITECT. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.</p> <p>15. PROVIDE SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED OR INSTALLED ITEMS.</p> <p>16. WEATHER CONDITIONS: CONTRACTOR(S) WILL PROTECT ALL PARTS OF THEIR WORK FROM WEATHER DAMAGE DUE TO FROST, RAIN, HEAT, ETC. AND WILL MAKE GOOD TO THE SATISFACTION OF THE ARCHITECT ANY PORTION OF THE WORK WHICH MAY HAVE BECOME DAMAGED.</p> <p>17. SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED O.S.H.A. STANDARDS FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT WILL BE HELD HARMLESS BY GENERAL CONTRACTOR AND RELATED AWARDED TRADES ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR ACCRUED ON THIS PROPERTY DURING THE PRE I ACTUAL POST CONSTRUCTION PHASES OF THIS PROJECT.</p> <p>18. CONTRACTORS WILL BE RESPONSIBLE FOR REMOVAL OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE WILL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG W/ A BROOM/ VACUUM FINISH AT THE END OF EACH WORKING DAY.</p> <p>19. TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OF DOORS TYPICALLY.</p> <p>20. PAINT ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS IN ROOMS WHICH INDICATED ON ROOM FINISH SCHEDULE. PAINT BEHIND ALL MOVABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELOCATE ITEMS. ALL NEW PAINTING SHALL INCLUDE (1) ONE COAT PRIMER AND (2) TWO COATS OF PAINT (UNLESS NOTED OTHERWISE).</p> <p>21. ALL WEATHER- EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.</p>	<p>ELEVATION IDENTIFICATION</p> <p>ELEVATION DESIGNATION</p> <p>SHEET REFERENCE NO.</p> <p>PARTIAL SECTION IDENTIFICATION</p> <p>SECTION DESIGNATION</p> <p>SHEET REFERENCE NO.</p> <p>INTERIOR ELEVATION IDENTIFICATION</p> <p>ELEVATION DESIGNATION</p> <p>DETAIL DESIGNATION</p> <p>SHEET REFERENCE NO.</p> <p>GRID LINE IDENTIFICATION</p> <p>GRID LINE</p> <p>FACE OF STUD</p> <p>FACE OF MASONRY</p> <p>CENTER LINE OF COLUMN</p> <p>CEILING IDENTIFICATION</p> <p>ACT-1 MATERIAL DESIGNATION</p> <p>HEIGHT REFERENCE</p> <p>NOTE</p> <p>ROOM IDENTIFICATION</p> <p>(E) CUSTOMER LOBBY</p> <p>ROOM NAME</p> <p>CPT-1 MATERIAL FINISH</p> <p>ENLARGED DETAIL IDENTIFICATION</p> <p>DETAIL DESIGNATION</p> <p>SHEET REFERENCE NO.</p> <p>SECTION DETAIL IDENTIFICATION</p> <p>DETAIL DESIGNATION</p> <p>SHEET REFERENCE NO.</p> <p>ELEVATION REFERENCE IDENTIFICATION</p> <p>0'-0" FINISH FLOOR</p> <p>SECTION / ELEVATION / FLOOR DATUM</p> <p>PROJECT REFERENCE</p> <p>NORTH ARROW</p> <p>PROJECT SYMBOL IDENTIFICATION</p> <p>101 DOOR NUMBER</p> <p>101 WINDOW NUMBER</p> <p>P-2 MATERIAL NAME I FINISH NAME</p> <p>W-1 WALL TYPE</p> <p>F-1 FIXTURE/ EQUIPMENT TYPE</p> <p>AP-1 GRAPHIC NAME</p> <p>FDXSCXX-1</p> <p>PROJECT ANNOTATION IDENTIFICATION</p> <p>REVISION / ADDENDUM NUMBER</p> <p>KEYNOTE NUMBER</p>	<p>PROPOSED USE</p> <p>PROPOSED TENANT IMPROVEMENT/ ADDITION CONSTRUCTION FOR AN OUTDOOR DINING AREA</p> <p>CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS</p> <p>APPLICABLE CODES:</p> <p>2018 INTERNATIONAL BUILDING CODE WITH 2020 GEORGIA AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE WITH 2020 GEORGIA AMENDMENTS 2020 NFPA 70 NATIONAL ELECTRICAL CODE WITH NO GEORGIA AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE WITH 2020 GEORGIA AMENDMENTS 2018 NFPA 101 LIFE SAFETY CODE 2018 INTERNATIONAL FIRE CODE WITH 2020 GEORGIA AMENDMENTS 2018 INTERNATIONAL FUEL AND GAS CODE WITH 2020 GEORGIA AMENDMENTS 2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2020 GEORGIA AMENDMENTS</p> <p>ACCESSIBILITY: 2010 AMERICANS WITH DISABILITIES ACT O.C.G.A. SECTION 120-3-20.01 - CHAPTER 30-3-7(g) ACCESS AND USE OF PUBLIC FACILITIES BY HANDICAPPED PERSONS</p> <p>ACCESSIBILITY</p> <p>THESE PLANS ARE INTENDED TO COMPLY WITH ALL OF THE PROVISIONS SET FORTH BY GEORGIA ACCESSIBILITY CODE (120-3-20.01-08) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</p> <p>CODE COMPLIANCE</p> <p>OCCUPANCY GROUP: A2 OUTDOOR DINING AREA</p> <p>CONSTRUCTION TYPE: V-B SPRINKLERED</p> <p>BUILDING SUMMARY</p> <p>TENANT FLOOR AREA: BAR DECK 190 S.F. (NO NEW S.F. ADDED) 1019 S.F. (NO NEW S.F. ADDED)</p> <p>TOTAL BUILDING HEIGHT</p> <p>OCCUPANT LOAD</p> <p>EXISTING OCCUPANT LOAD: 202 OCCUPANTS PREVIOUSLY APPROVED UNDER - BB-202008198</p> <p>PATIO OCCUPANT LOAD: 70 OCCUPANTS (REFER TO SHEET LS-100 FOR CALCULATIONS AND LIFE SAFETY PLAN)</p> <p>TOTAL OCCUPANT LOAD: 272 OCCUPANTS (REFER TO SHEET LS-100 FOR CALCULATIONS AND LIFE SAFETY PLAN)</p> <p>PARKING SUMMARY</p> <p>SITE AND PARKING (EXISTING TO REMAIN)</p>	<p>SHEET NO.</p> <p>SHEET</p> <p>01 GENERAL INFO. CS-100 COVER SHEET GN-100 GENERAL CONSTRUCTION NOTES GN-101 ADA ACCESSIBILITY STANDARDS LS-100 LIFE SAFETY</p> <p>02 ARCHITECTURAL SP-100 SITE PLAN AS PER CIVIL DRAWINGS FOR REFERENCE SP-101 SITE PLAN A-101 EXISTING AND PROPOSED DECK FLOOR PLANS A-102 EXTERIOR ELEVATIONS</p> <p>03 STRUCTURAL S-1 GENERAL NOTES S-2 DECK FOUNDATION PLAN S-3 DECK FRAMING PLAN S-4 SECTIONS AND DETAILS</p>								
<p>DEFERRED SUBMITTAL</p>				<p>KEY MAP</p> <p>THIS MAP IS REFERRED FROM GOOGLE MAPS WEBSITE</p>				<p>PROJECT TEAM</p> <p>TENANT</p> <p>PIEDMONT ON PEACHTREE 3162 PIEDMONT RD NE, ATLANTA, GA 30305 (202) 559-8852 plawrence@sequoiarow.com</p> <p>ARCHITECT</p> <p>ORIGINATION DESIGN, LLC 3225 SHALLOWFORD RD, MARIETTA, GA 30066 404-542-0838 info@originationdesign.com www.originationdesign.com</p> <p>MECHANICAL, ELECTRICAL, PLUMBING</p> <p>ORIGINATION DESIGN, LLC 3225 SHALLOWFORD RD, MARIETTA, GA 30066 404-542-0838 info@originationdesign.com www.originationdesign.com</p> <p>THE DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF ORIGINATION DESIGN, LLC. COPIES OF THE DRAWINGS MAY BE USED ONLY BY THE OWNER TO CONSTRUCT AND OCCUPY HIS PROJECT. NEITHER THE DRAWINGS NOR THE DESIGN INDICATED ON THE DRAWINGS MAY BE REPRODUCED NOR USED FOR ANY OTHER PROJECT OR PURPOSE. ORIGINATION DESIGN, LLC, ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE, AND DATE OF FINAL REVISION FOR THE DRAWINGS.</p>		<p>VICINITY MAP</p> <p>THIS MAP IS REFERRED FROM GOOGLE MAPS WEBSITE</p>		<p>DESCRIPTIVE SUMMARY OF WORK</p> <p>THE WORK INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT TO BUILD AND FINISH A PROPOSED OUTDOOR DINING AREA.</p> <p>THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS, AND EQUIPMENT ARE TO BE INCLUDED FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION INCLUDED.</p> <p>THE NEW DECK IS DESIGNED TO BE STAND-ALONE STRUCTURE. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.</p> <p>INTERIOR: NEW DECK NEW BAR EQUIPMENT NEW STAIRS</p> <p>DEMOLITION: EXISTING STAIRS</p>	

What is the new added area?

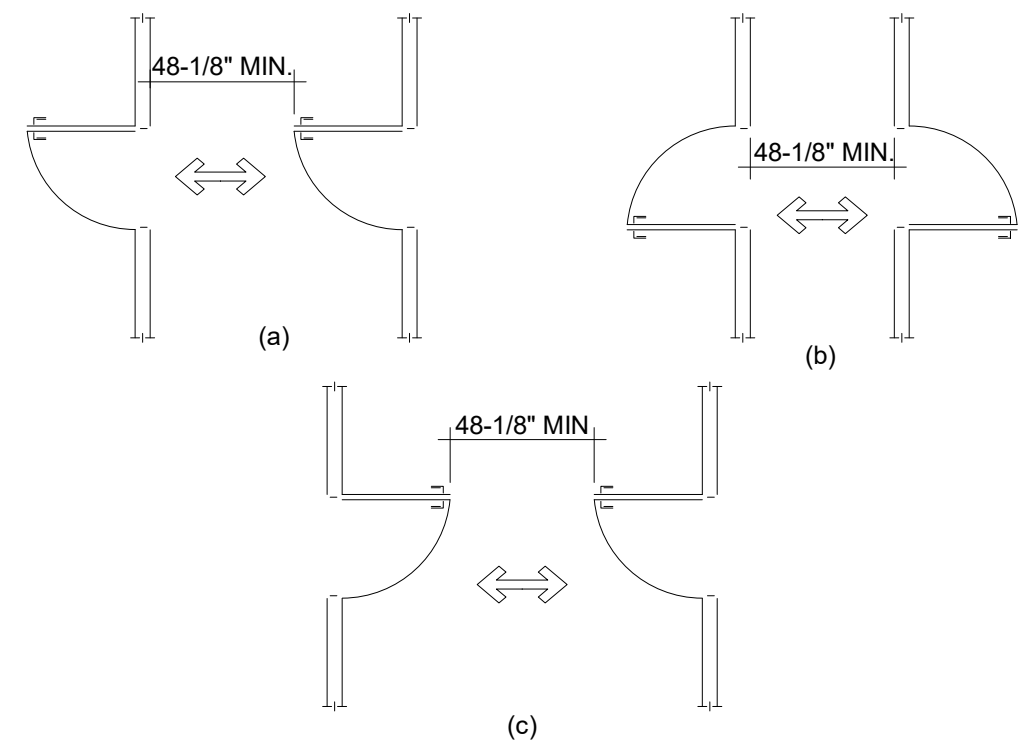


FIGURE 11B-404.2.6 DOORS IN SERIES AND GATES IN SERIES

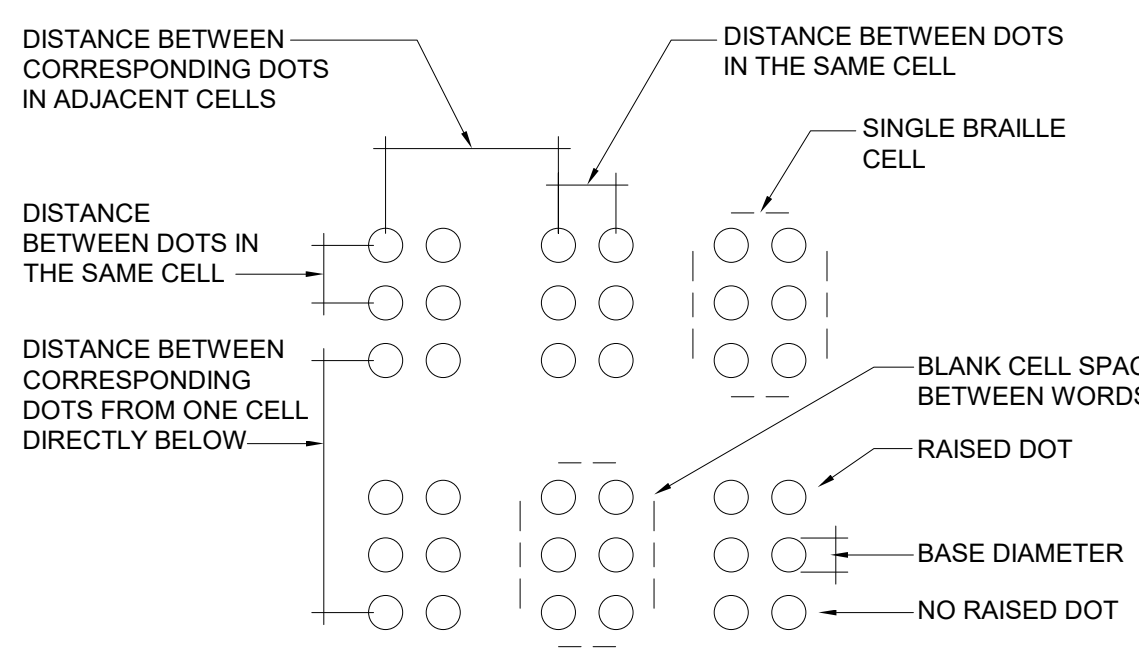
NOTE: 1. THE DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48-1/8" INCHES MINIMUM PLUS THE WIDTH OF DOORS OR GATES SWINGING INTO THE SPACE. (11B-404.2.6)

ACCESSIBLE DOORS IN A SERIES

MEASUREMENT RANGE	SCALE	
	N.T.S.	17
MEASUREMENT RANGE	MINIMUM IN INCHES MAXIMUM IN INCHES	
DOT BASE DIAMETER	0.059 TO 0.063	
DISTANCE BETWEEN TWO DOTS IN THE SAME CELL	1	0.100
DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS	1	0.300
DOT HEIGHT	0.025 TO 0.037	
DISTANCE BETWEEN CORRESPONDING DOTS FROM ONE CELL DIRECTLY BELOW	1	0.395 TO 0.400

1. MEASURED CENTER TO CENTER

TABLE 11B-703.3.1 BRAILLE DIMENSIONS



- BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH SECTIONS 11B-703.3 AND 11B-703.4. (11B-703.3)
- BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH TABLE 11B-703.3.1. THE INDICATION OF AN UPPERCASE LETTER OR LETTERS SHALL ONLY BE USED BEFORE THE FIRST WORD OF SENTENCES, PROPER NOUNS AND NAMES, INDIVIDUAL LETTERS OF THE ALPHABET, INITIALS, AND ACRONYMS. (11B-703.3.1)
- BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT IN A HORIZONTAL FORMAT, FLUSH LEFT OR CENTERED. IF TEXT IS MULTI-LINED, BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. BRAILLE SHALL BE SEPARATED 3/8 INCH (9.5 MM) MINIMUM AND 1/2 INCH MAXIMUM FROM ANY OTHER TACTILE CHARACTERS AND 3/8 INCH (9.5 MM) MINIMUM FROM RAISED BORDERS AND DECORATIVE ELEMENTS. (11B-703.3.2)

SIGNS / BRAILLE

SCALE	19
N.T.S.	

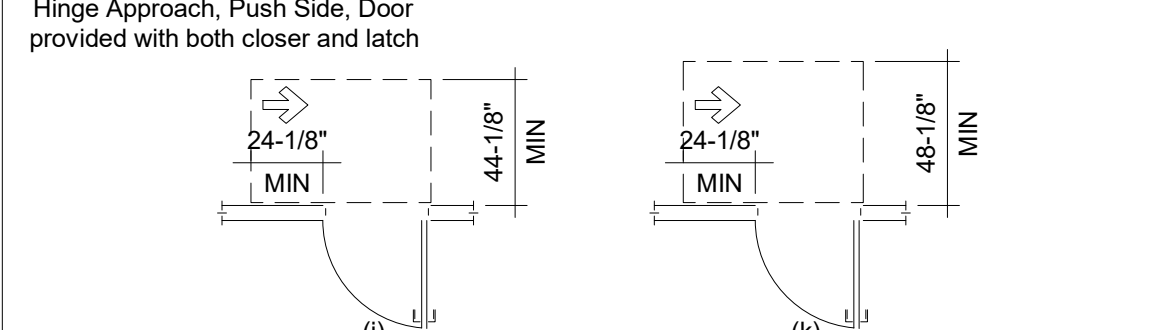
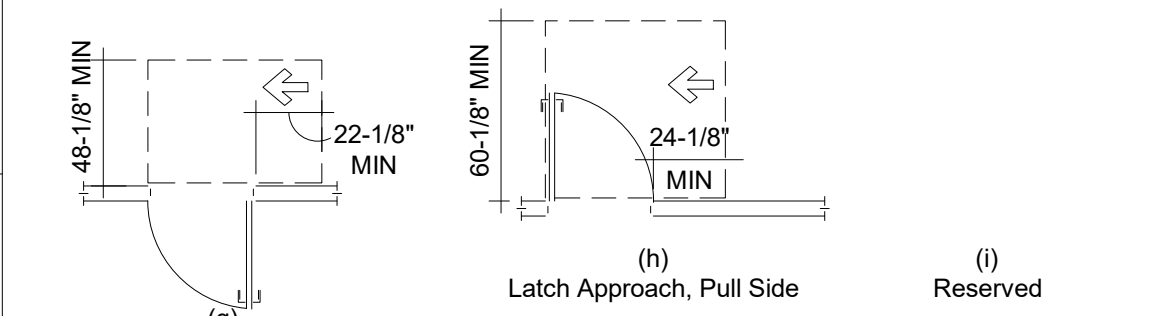
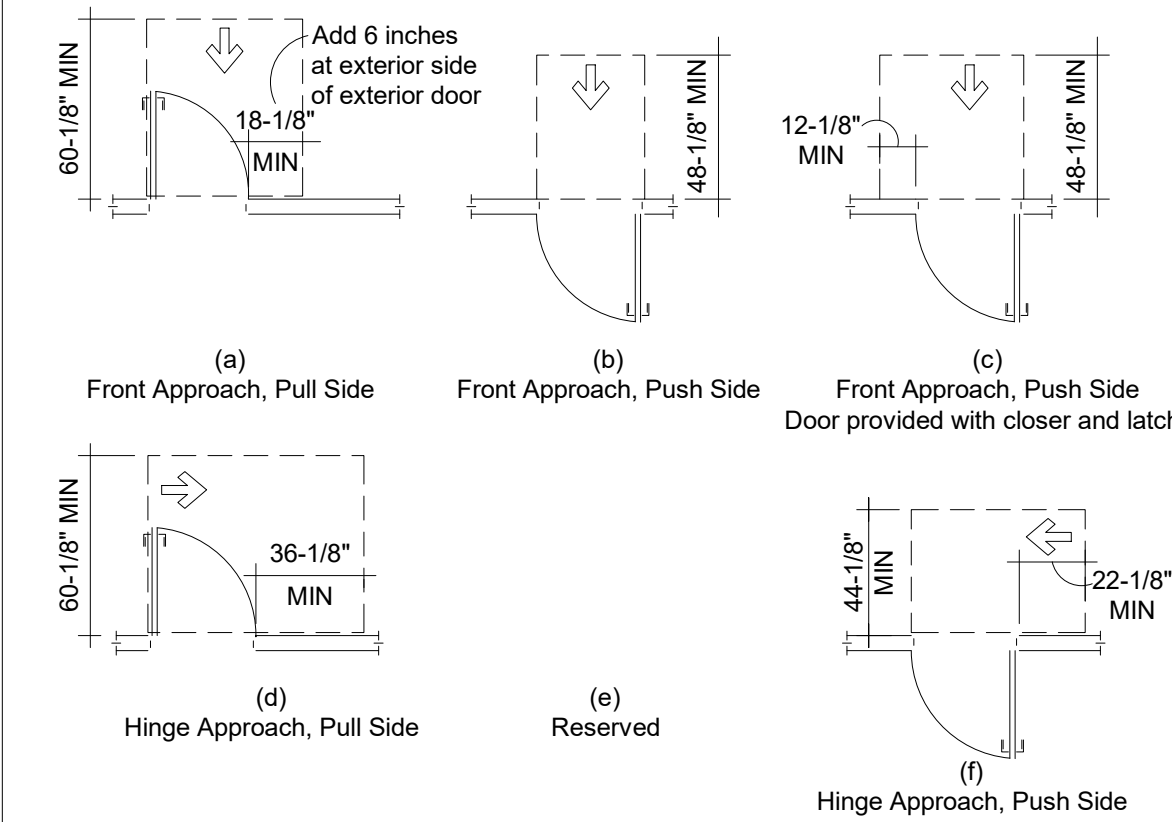


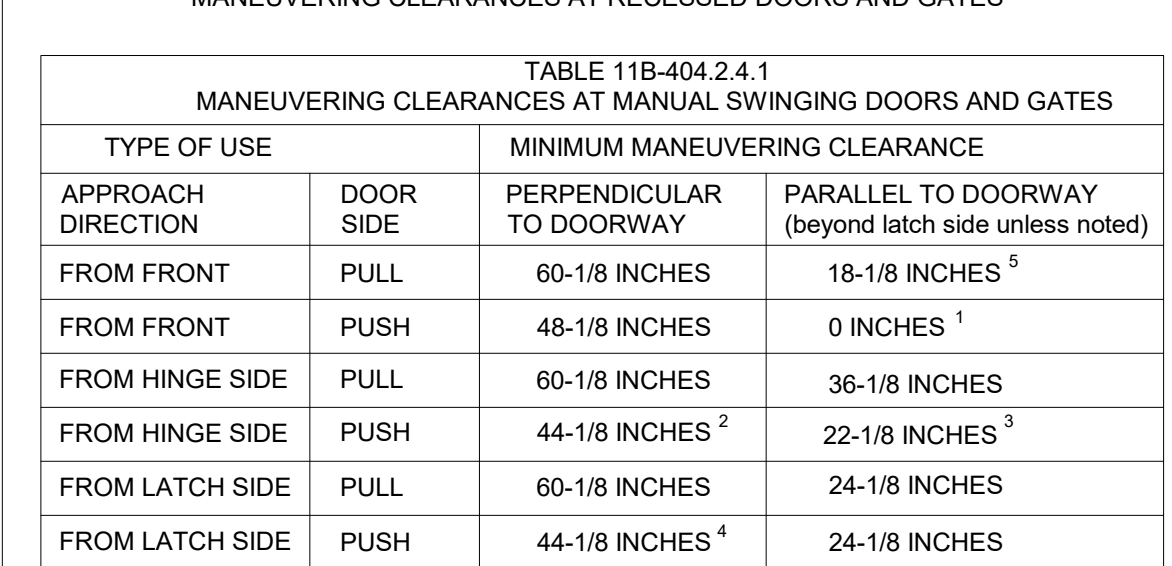
TABLE 11B-404.2.4.1 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

TYPE OF USE	MINIMUM MANEUVERING CLEARANCE	
APPROACH DIRECTION	PERPENDICULAR TO DOORWAY (beyond stop/latch side unless noted)	PARALLEL TO DOORWAY (beyond stop/latch side unless noted)
FROM FRONT	PULL 60-1/8 INCHES	18-1/8 INCHES ⁵
FROM FRONT	PUSH 48-1/8 INCHES	0 INCHES ¹
FROM HINGE SIDE	PULL 60-1/8 INCHES	36-1/8 INCHES
FROM HINGE SIDE	PUSH 44-1/8 INCHES ³	22-1/8 INCHES ³
FROM LATCH SIDE	PULL 60-1/8 INCHES	24-1/8 INCHES
FROM LATCH SIDE	PUSH 44-1/8 INCHES ⁴	24-1/8 INCHES

- ADD 12 INCHES IF CLOSER AND LATCH ARE PROVIDED.
- ADD 4 INCHES IF CLOSER AND LATCH ARE PROVIDED.
- BEYOND HINGE SIDE.
- ADD 4 INCHES IF CLOSER IS PROVIDED.
- ADD 6 INCHES AT EXTERIOR SIDE OF EXTERIOR DOORS.

- NOTES:
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH SECTION 11B-308.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE (CENTERED BETWEEN) 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. (11B-404.2.7)
 - DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. (11B-404.2.3)

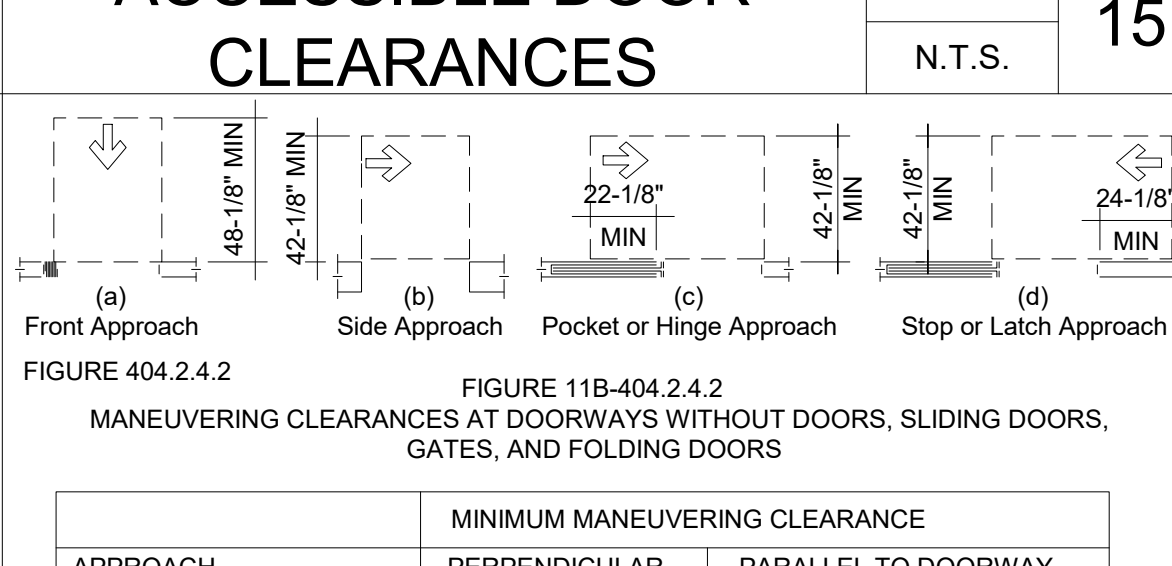
ACCESSIBLE DOOR CLEARANCES



APPROACH DIRECTION	PERPENDICULAR TO DOORWAY	PARALLEL TO DOORWAY (beyond stop/latch side unless noted)
FROM FRONT	48-1/8 INCHES	0 INCHES
FROM SIDE ¹	42-1/8 INCHES	0 INCHES
FROM POCKET/HINGE SIDE	42-1/8 INCHES	22-1/8 INCHES ²
FROM STOP/LATCH SIDE	42-1/8 INCHES	24-1/8 INCHES

- DOORWAY WITH NO DOOR ONLY.
- BEYOND POCKET/HINGE SIDE.

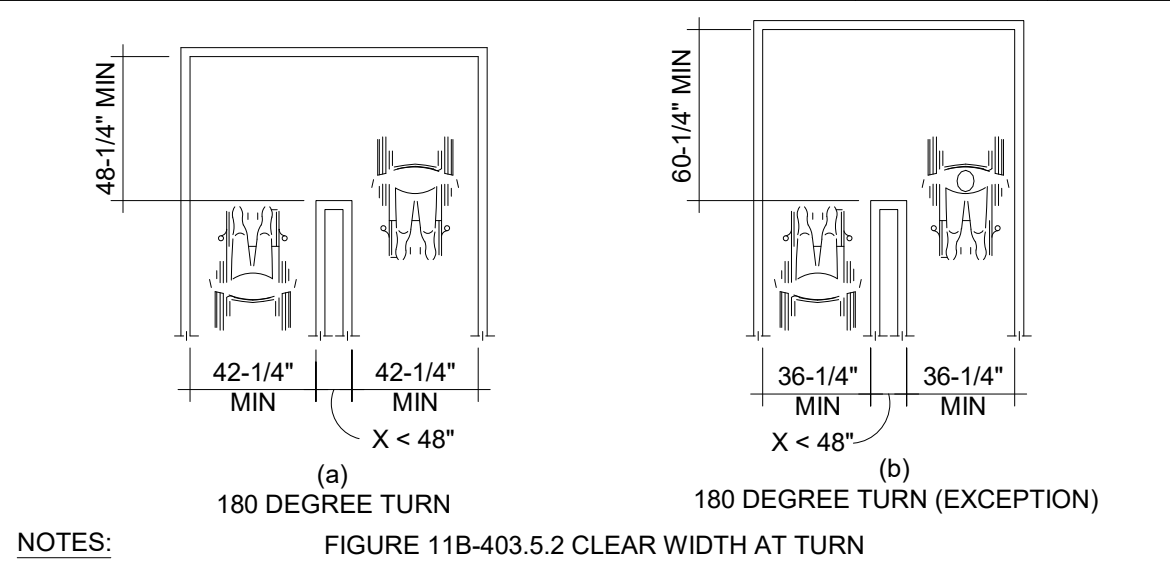
ACCESSIBLE DOOR SIDE REACH



ACCESSIBLE DOOR

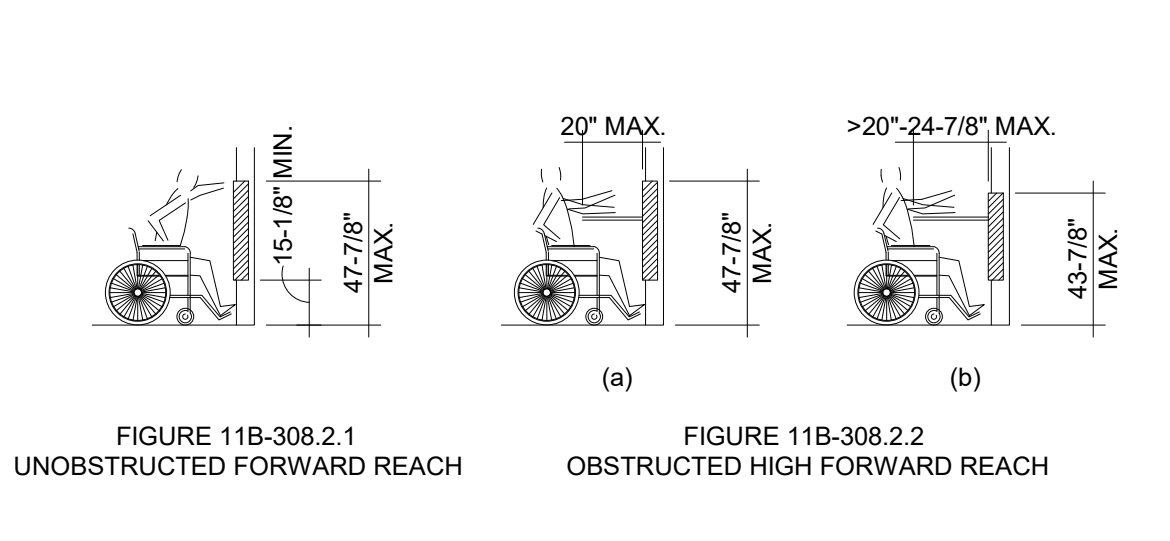
SCALE	16
N.T.S.	

CLEAR WIDTH AT ROUTE / TURN

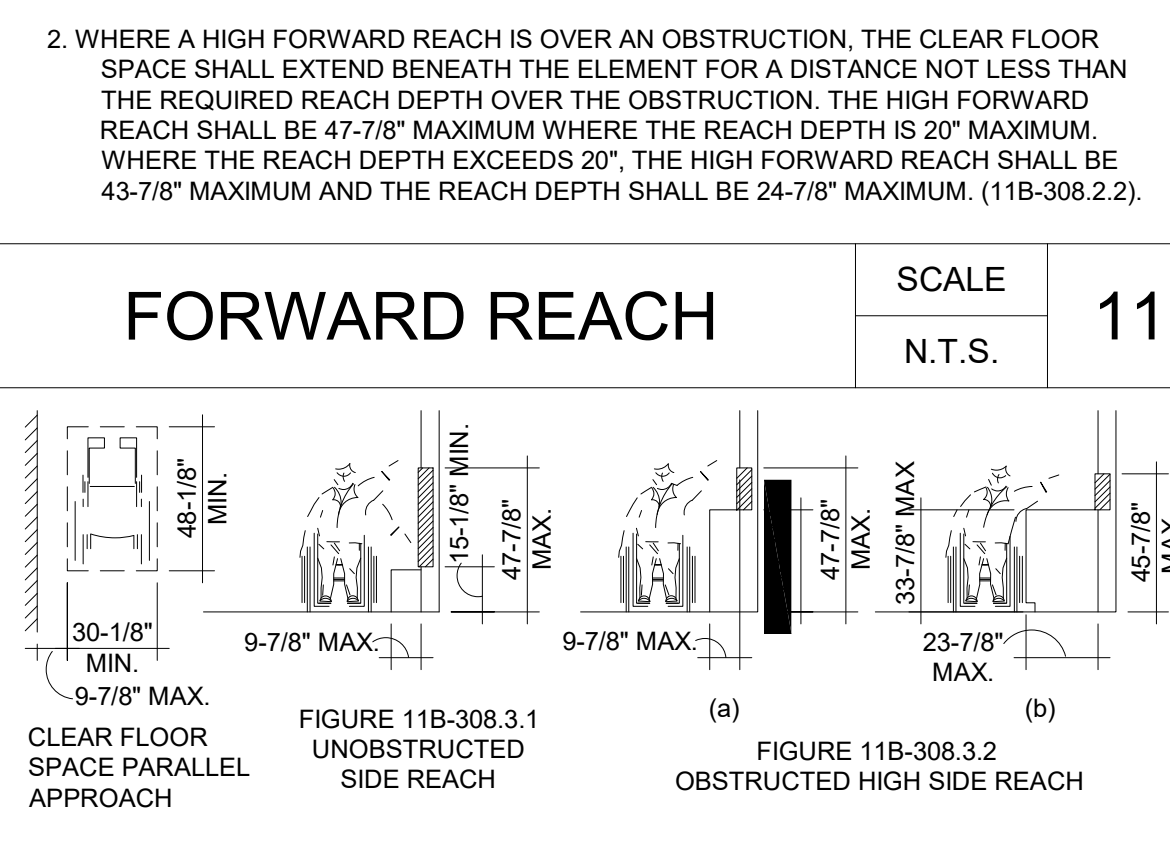


- WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 47-7/8" MAXIMUM AND THE LOW FORWARD REACH SHALL BE 15-1/8" MINIMUM ABOVE THE FINISH FLOOR OR GROUND. (11B-308.2.1)
- WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION. THE HIGH FORWARD REACH SHALL BE 47-7/8" MAXIMUM WHERE THE REACH DEPTH IS 20" MAXIMUM. WHERE THE REACH DEPTH EXCEEDS 20", THE HIGH FORWARD REACH SHALL BE 43-7/8" MAXIMUM AND THE REACH DEPTH SHALL BE 24-7/8" MAXIMUM. (11B-308.2.2)

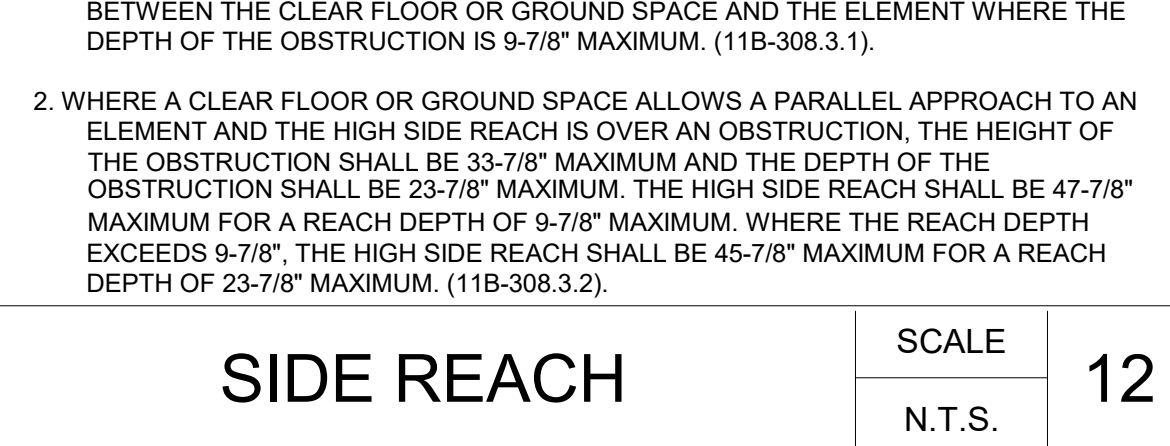
WIDTH OF ACCESSIBLE ROUTE



FORWARD REACH



FORWARD REACH



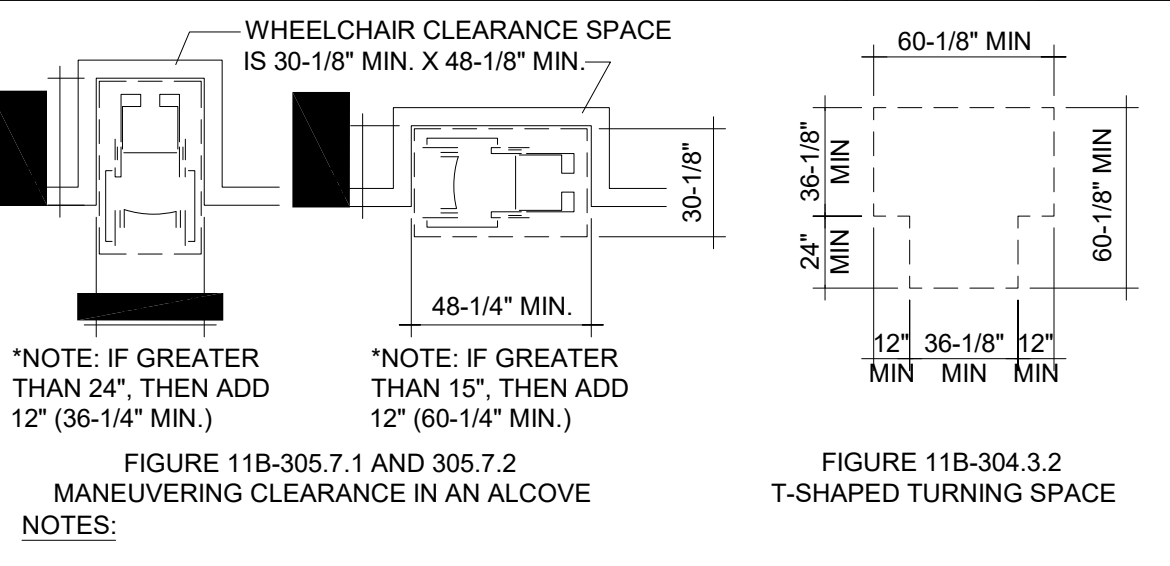
FORWARD REACH



FORWARD REACH

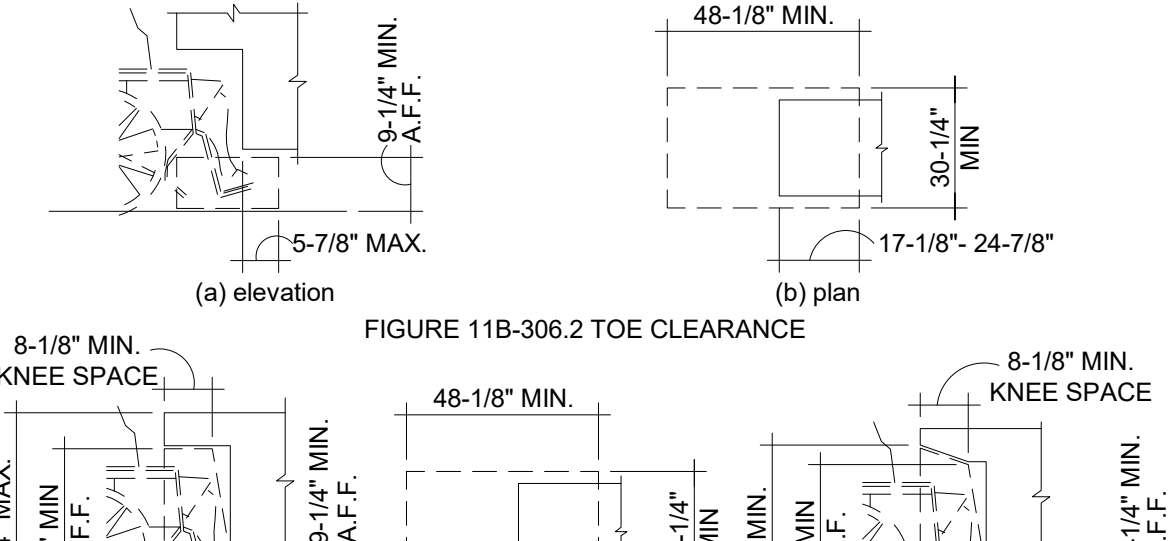


FLOOR / GROUND SURFACE

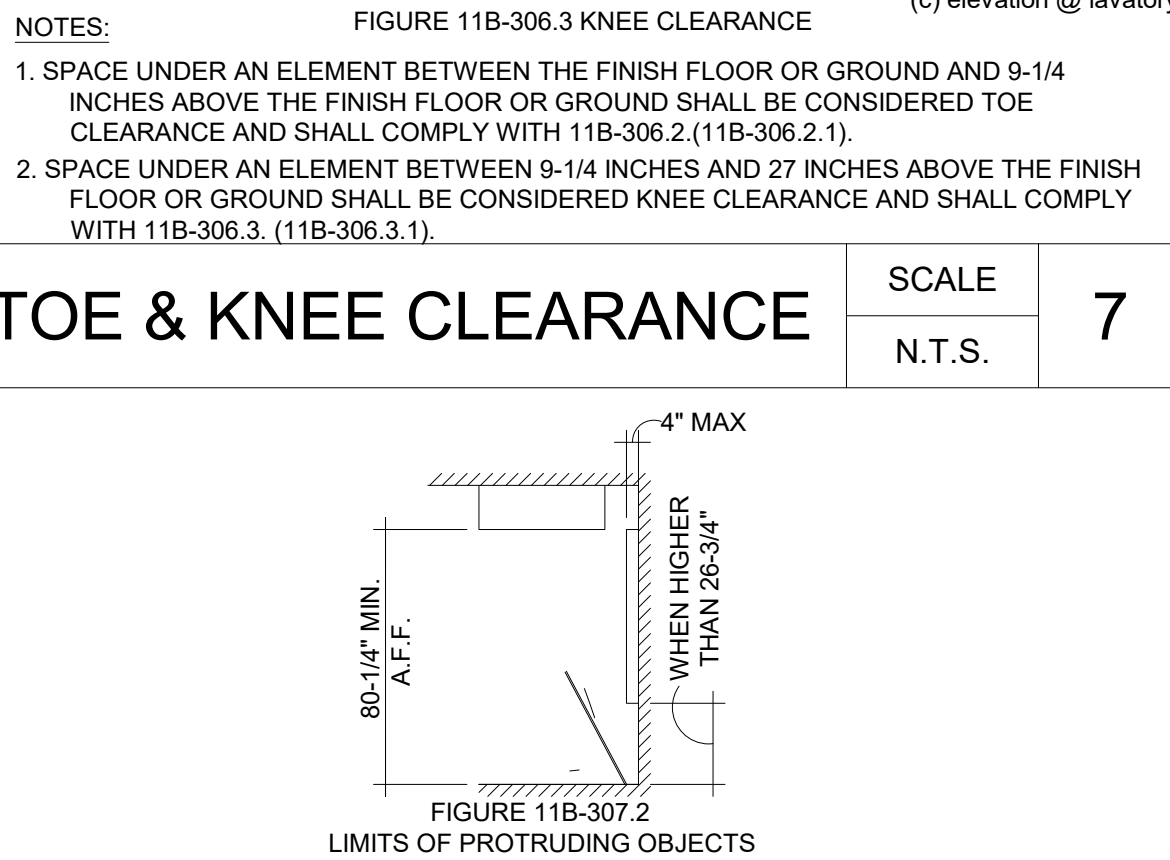


- SPACE UNDER AN ELEMENT BETWEEN THE FINISH FLOOR OR GROUND AND 9-1/4 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL BE CONSIDERED TOE CLEARANCE AND SHALL COMPLY WITH 11B-306.2 (11B-306.2.1)
- SPACE UNDER AN ELEMENT BETWEEN 9-1/4 INCHES AND 27 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL BE CONSIDERED KNEE CLEARANCE AND SHALL COMPLY WITH 11B-306.3 (11B-306.3.1)

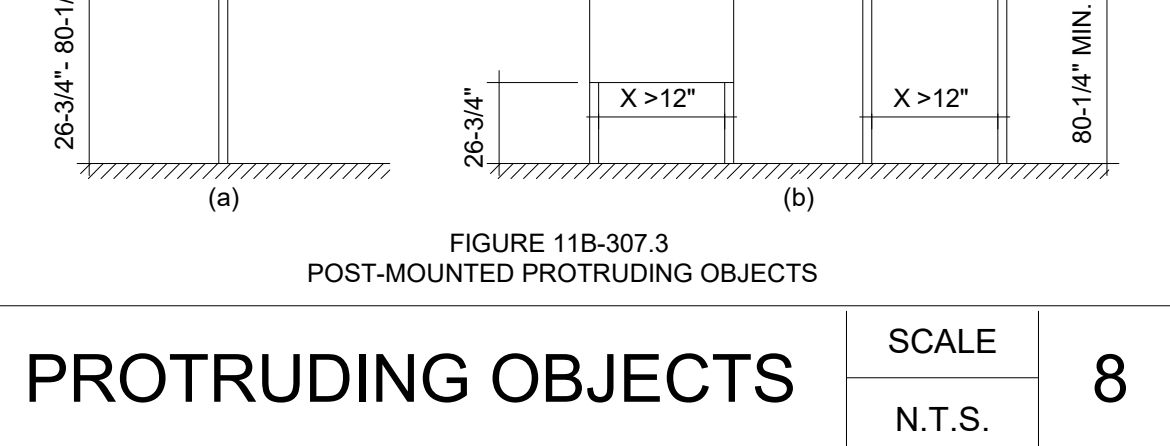
CLEAR FLOOR & TURNING SPACE



TOE & KNEE CLEARANCE



TOE & KNEE CLEARANCE



PROTRUDING OBJECTS



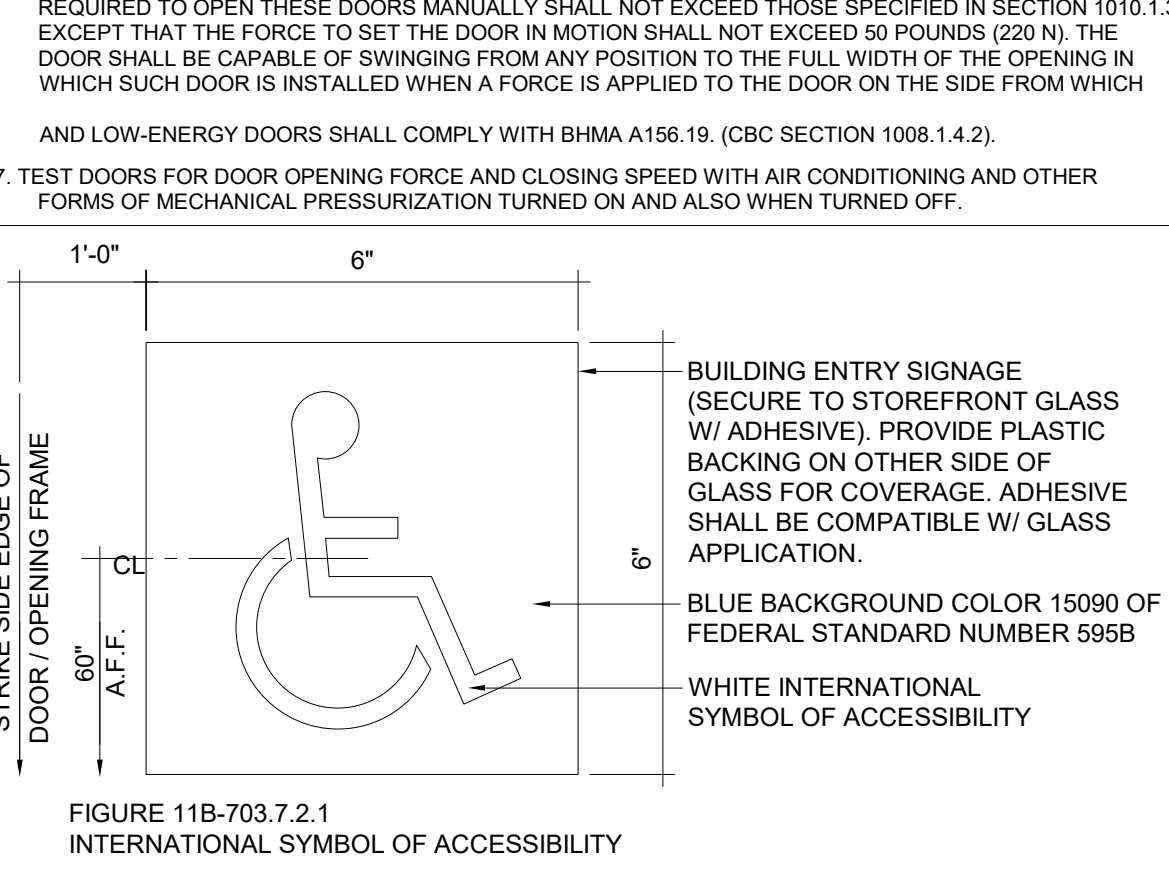
PROTRUDING OBJECTS



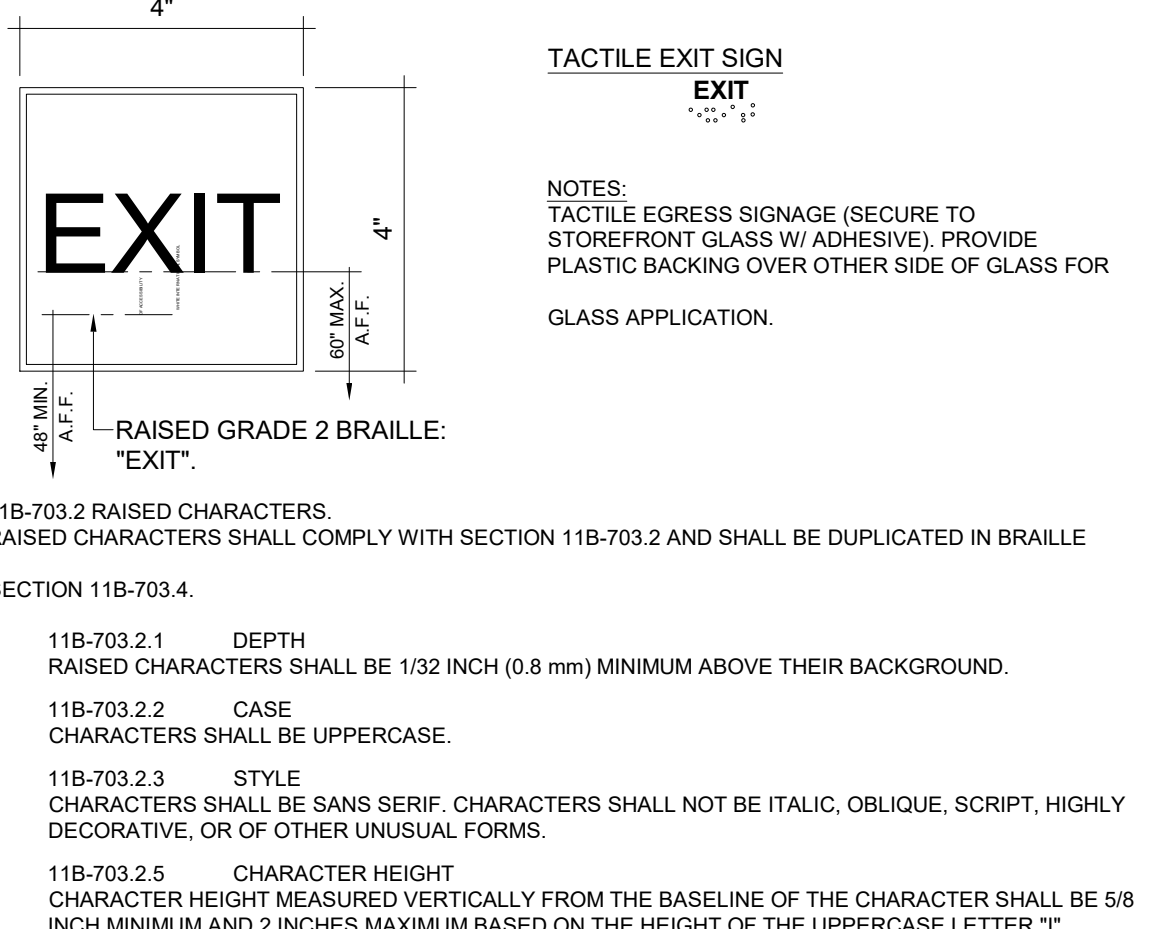
ACCESSIBILITY NOTES

- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2 INCH DIAMETER EXCEPT AS ALLOWED IN SECTIONS 11B-407.4.3, 11B-408.4.3, 11B-410.4, 11B-410.5.3 AND 11B-410.10. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. (11B-302.3)
- ALL NEW CONSTRUCTION MUST COMPLY WITH DIMENSIONS AS DENOTED ON THESE CONSTRUCTION DOCUMENTS AND WITH CHAPTER 11B OF THE 2018 IBC. DIMENSIONS WITH A SPECIFIED DIMENSIONAL "RANGE" MUST BE LESS THAN THE MAXIMUM DIMENSIONAL RANGE OR GREATER THAN THE MINIMUM MAXIMUM OR MINIMUM DIMENSIONS, BUT SHALL BE LESS THAN THE MAXIMUM AND GREATER THAN THE DESIGN INTENT OF ARCHITECT IS TO PROVIDE REASONABLE DIMENSIONAL TOLERANCES. ENSURE COMPLIANCE WITH THE ADA, AND TO SIMPLIFY AND EXPEDITE THE CONSTRUCTION PROCESS. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR NON-COMPLIANCE WITH THIS NOTICE. CONTRACTOR TO NOTIFY ARCHITECT PRIOR TO BIDDING OF ANY QUESTIONS OR CONCERNS RELATING TO THIS MATTER.
- DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. (11B-404.2.8.1)
- THE FORCE FOR PUSHING OR PULLING A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
 - INTERIOR HINGED DOORS AND GATES: 5 POUNDS (22.2 N) MAXIMUM.
 - SLIDING OR FOLDING DOORS: 5 POUNDS (22.2 N) MAXIMUM.
 - REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS (66.7 N).
 - EXTERIOR HINGED DOORS: 5 POUNDS (22.2 N) MAXIMUM.
 THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISengage OTHER DEVICES THAT HOLD THE DOOR OR GATE IN A CLOSED POSITION. (11B-404.2.9)
- POWER-OPERATED DOORS WHERE MEANS OF EGRESS ARE OPERATED BY POWER, SUCH AS DOORS WITH A PHOTOELECTRIC-ACTUATED MECHANISM TO OPEN THE DOOR UPON THE APPROACH OF A PERSON, OR DOORS WITH POWER-ASSISTED MANUAL OPERATION, THE DESIGN SHALL BE SUCH THAT IN THE EVENT OF POWER FAILURE, THE DOOR IS CAPABLE OF BEING OPENED MANUALLY TO PERMIT MEANS OF EGRESS.
- TEST DOORS FOR DOOR OPENING FORCE AND CLOSED SPEED WITH AIR CONDITIONING AND OTHER FORMS OF MECHANICAL PRESSURIZATION TURNED ON AND ALSO WHEN TURNED OFF.

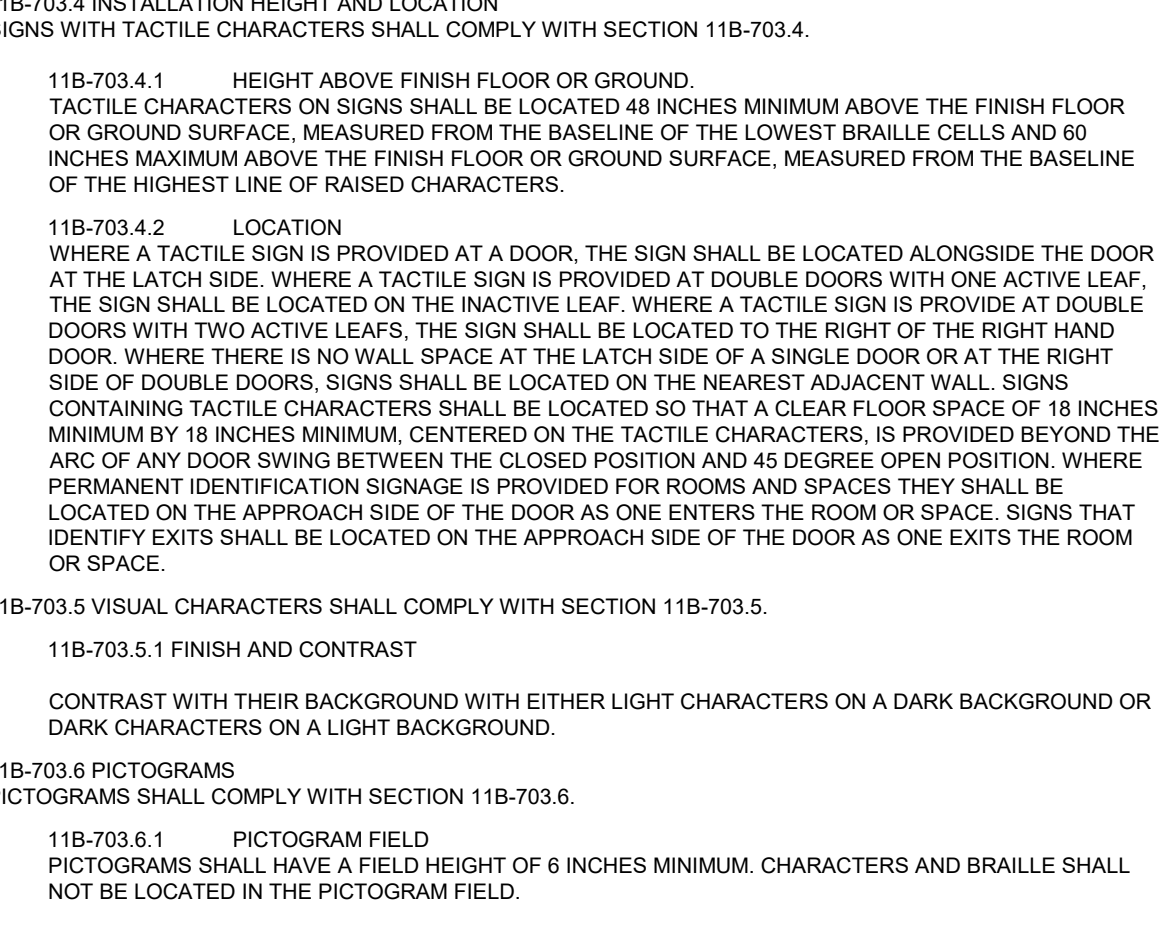
BUILDING ENTRY SIGN



BUILDING ENTRY SIGN



BUILDING ENTRY SIGN



BUILDING EXIT SIGN



BUILDING EXIT SIGN



ORIGINATION DESIGN
Architecture.Engineering

3225 SHALLOWFORD RD.
SUITE 920, MARIETTA, GA 30062
O: 678.404.8456
M: 404.542.0838
WWW.ORIGINATIONDESIGN.COM

Knife Kitchen And Cocktails
3162 Piedmont Rd NE, Atlanta, GA 30305

ADA ACCESSIBILITY STANDARDS

PIEDMONT ON PEACHTREE

JOSEPH M. GHORBAL
REGISTERED ARCHITECT

No.	Description	Date

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ISSUED FOR CONSTRUCTION

Project Number	202120
Date	03/06/2023
Drawn By	MD
Checked By	J.G.

GN-101

Scale

GENERAL NOTES

- ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES.
- THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX. - CROSS SLOPE 2%.
- WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT.
- PROVIDE A 80"x80" MIN. LANDING ON STRIKE SIDE OF DOOR W/ 44" MIN. WIDTH IN DIRECTION OF TRAVEL.
- WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3 FT. WIDE BY NOT LESS THAN 6'-5" HIGH CAPABLE OF OPENING 90° AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32" MIN.
- THRESHOLD TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH - PULL ACTUATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. <30" TO 44" AFF.
- EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. FLUSH OR SURFACE BOLTS SHALL BE AUTOMATIC TYPE. LOCKABLE DOORS SHALL BE PROVIDED WITH A SIGN STATING "THESE DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS" IN MIN. 7 HIGH LETTERS.
- EXIT SIGNS WHERE NOTED OR REQUIRED SHALL BE WORDED "EXIT" IN AND LETTERS HAVING THE PRINCIPAL STROKE OF NOT LESS THAN 3/4" WIDE AND 6" HIGH AND SHALL CONFORM TO ALL APPLICABLE CODES.
- PROVIDE ILLUMINATED EXIT SIGNS AND EMERGENCY LIGHTING AT ALL EXIT CORRIDORS AS REQUIRED BY CODE. EMERGENCY LIGHTING SHALL PROVIDE ILLUMINATION OF ONE FOOT CANDLE AT FLOOR LEVEL.
- THE MAXIMUM EFFORT REQUIRED TO OPERATE FIRE-RATED DOORS IS 5 LBS. EXIT DOORS IS 85 LBS. FOR EXTERIORS, AND 3 LBS. FOR INTERIOR DOORS.
- SEE ELECTRICAL DRAWINGS FOR ALL FIRE ALARM DEVICES AND EQUIPMENT.

CONSTRUCTION TYPE: IBC - BUILDING CHAPTER 5: TYPE V-B
OCCUPANCY AREA: A2 - ASSEMBLY (OUTDOOR DINING)
FIRE PROTECTION: BUILDING SPRINKLERED

EXISTING BUILDING OCCUPANCY - PREVIOUSLY APPROVED UNDER - BB-202005196

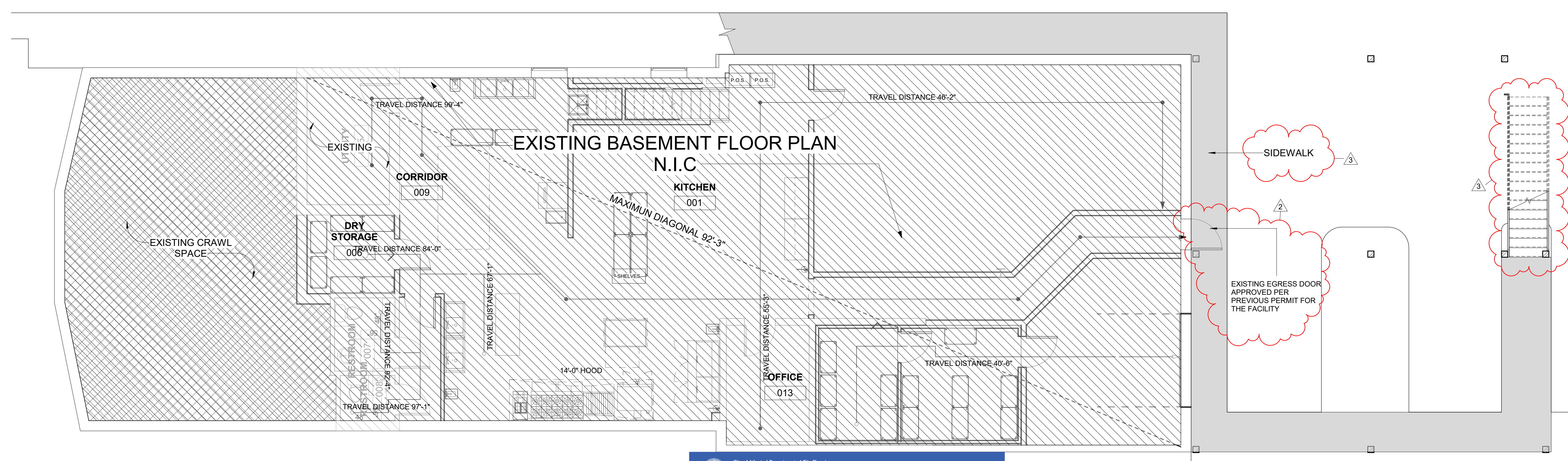
EXISTING OCCUPANT LOAD

Name	Area	Load Factor	Occupant Load
001 KITCHEN	998 SF	100 SF	10
002 EMPLOYEE OFFICES	656 SF	150 SF	4
003 DELIVERY DROP OFF STORAGE	242 SF	500 SF	0
005 UTILITY	99 SF	500 SF	0
006 DRY STORAGE	65 SF	500 SF	0
013 OFFICE	93 SF	150 SF	1
016 EGRESS CORRIDOR	146 SF	500 SF	0
017 WALK-IN COOLER	125 SF	500 SF	0
018 WALK-IN FREEZER	84 SF	500 SF	0
102 WAITING AREA	134 SF	15 SF	9
103 BAR 1	309 SF	100 SF	3
104 WAIT STATION	27 SF	15 SF	2
105 DINING AREA	2602 SF	15 SF	173
GRAND TOTAL	5580 SF		202

OCCUPANT LOAD-DECK

Name	Area	Load Factor	Occupant Load
01 BAR	190 SF	100 SF	2
02 DECK	1019 SF	15 SF	68
Grand total	1208 SF		70

TOTAL OCCUPANCY LOAD IS 272 OCCUPANTS
 PER TABLE LIFE SAFETY NFPA 101 7.3.1.2
 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT ASSEMBLY WITHOUT FIXED SEATS
 NFPA 101 7.3.3 EXIT AND EXIT ACCESS DOORWAY CONFIGURATION



City of Atlanta | Department of City Planning
OFFICE OF BUILDINGS

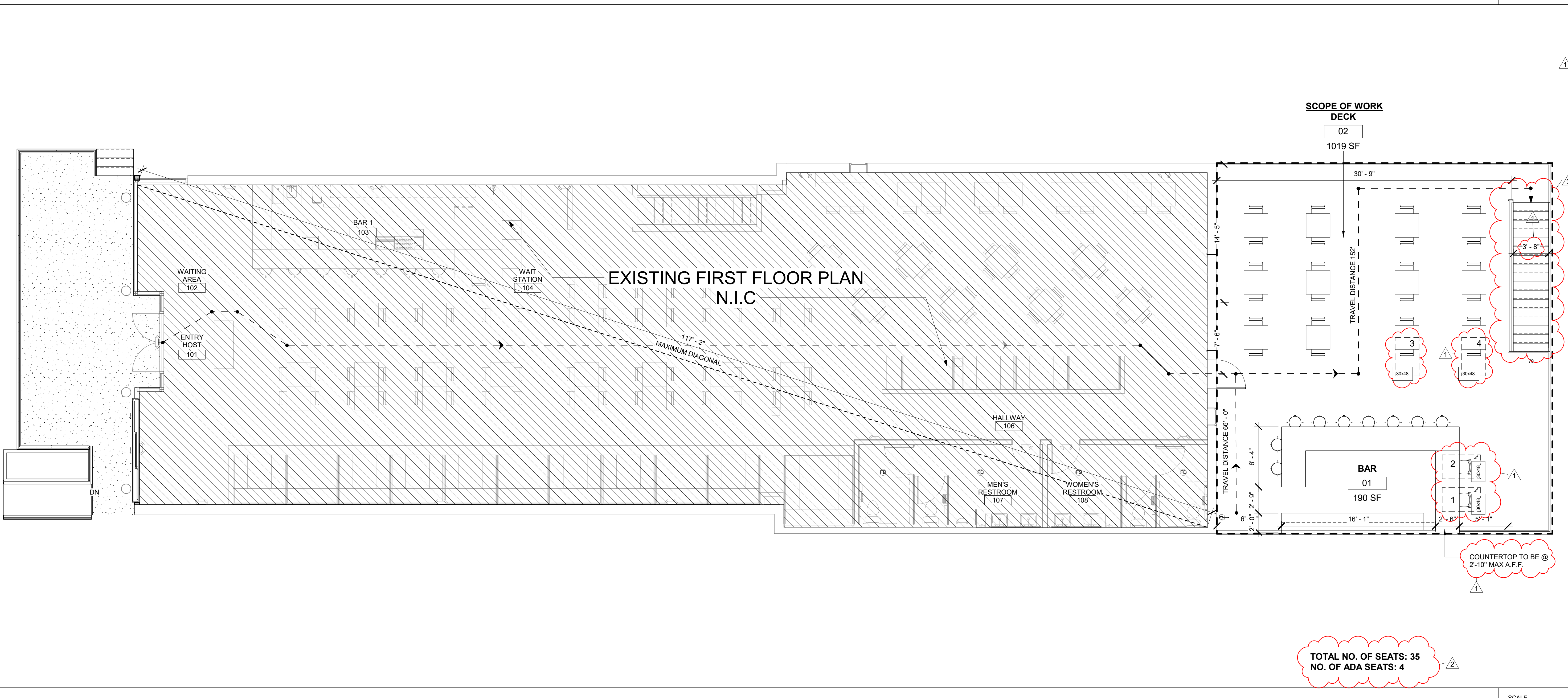
THIS PLAN IS APPROVED FOR CONSTRUCTION

The approval of plans shall not prevent the Building Official from thereafter requiring the correction of errors in the plans and specifications, or from preventing building operations being carried on thereunder when in violation of the building code, zoning ordinance, or any other ordinance in the City of Atlanta.

03/06/2023 10:36:48 PM
 DATE ISSUED BY
 KEEP THIS APPROVED PLAN ON JOB SITE DURING CONSTRUCTION

2018 NFPA 101 LIFE SAFETY CODE
2018 IBC WITH GEORGIA AMENDMENTS

LIFE SAFETY FOR BASEMENT FLOOR PLAN SCALE 3/16" = 1'-0" 01



SCOPE OF WORK DECK
 02
 1019 SF

TOTAL NO. OF SEATS: 35
NO. OF ADA SEATS: 4

LIFE SAFETY FOR FIRST FLOOR PLAN SCALE 3/16" = 1'-0" 02

EXITING ANALYSIS

1) BASEMENT FLOOR PLAN
 BUILDING IS SPRINKLERED 1/2
 EXISTING OCCUPANCY LOAD IS 15 OCCUPANTS
 ADDED OCCUPANCY LOAD IS 0 OCCUPANTS
 TOTAL OCCUPANCY LOAD IS 15 OCCUPANTS

4 EXIST IN THE BUILDING
 15 OCCUPANTS
 0 OCCUPANTS
 15 OCCUPANTS

OUTDOOR DINING AREA WITH STAIRS FOR EGRESS
 EGRESS WIDTH PER OCCUPANT (NO RAMP, OR CORRIDORS)
 NUMBER OF EGRESS IN THE BASEMENT FLOOR PLAN = 2
 EXIT WIDTH REQUIRED = 0.2 X 15 = 3"
 EXIT WIDTH PROVIDED = 2 DOORS 36" = 72"
 TRAVEL DISTANCE = 99'-4" < 200'-0" OK

MAXIMUM DIAGONAL: 92'-3"
 1/2 x 92' - 3" OF = 46' - 1 1/2" MIN. DISTANCE BETWEEN EXITS REQUIRED
 EXISTING DISTANCE BETWEEN TWO EXITS = 46' - 6" - COMPLIANCE

2) FIRST FLOOR PLAN
 BUILDING IS SPRINKLERED 1/2
 EXISTING OCCUPANCY LOAD IS 70 OCCUPANTS
 ADDED OCCUPANCY LOAD IS 27 OCCUPANTS
 TOTAL OCCUPANCY LOAD IS 97 OCCUPANTS

4 EXIST IN THE BUILDING
 187 OCCUPANTS
 70 OCCUPANTS
 27 OCCUPANTS

OUTDOOR DINING AREA WITH STAIRS FOR EGRESS
 EGRESS WIDTH PER OCCUPANT (NO RAMP, OR CORRIDORS)
 NUMBER OF EGRESS IN THE FIRST FLOOR PLAN = 2
 EXIT WIDTH REQUIRED = 0.2 X 257 = 51.4"
 EXIT WIDTH PROVIDED = 1 DOOR 48" & 1 DOOR 36" = 84"
 TRAVEL DISTANCE = 148' < 200'-0" OK

MAXIMUM DIAGONAL: 117'-2"
 1/3 x 117' - 2" OF = 39'-0" MIN. DISTANCE BETWEEN EXITS REQUIRED
 EXISTING DISTANCE BETWEEN TWO EXITS = 108' - 10" - COMPLIANCE

PLUMBING PLUMBING FIXTURE CALCULATIONS

PER 29-2018 IBC TABLE 2902.1

OCCUPANCY	1560CC		272 OCC.	
	MALE	FEMALE	MALE	FEMALE
WATER CLOSETS	1	1	1	1
URINALS*	67% OF THE REQUIRED WATER CLOSETS		67% OF THE REQUIRED WATER CLOSETS	
LAVATORY	1 (MALE) 1 per 200 (FEMALE) 1 per 75		1 (MALE) 1 per 200 (FEMALE) 1 per 200	
FIXTURES	REQUIRED	2 WC PER M	2 WC PER F	1 U PER M 1 LAV PER M 1 LAV PER F
PROVIDED	3 WC PER M	3 WC PER F	1 U PER M 3 LAV PER M 3 LAV PER F	

*IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67% OF THE REQUIRED WATER CLOSETS IN ASSEMBLY OCCUPANCIES.
 *RETAIL ESTABLISHMENT SERVES WATER UPON REQUEST.

LEGEND

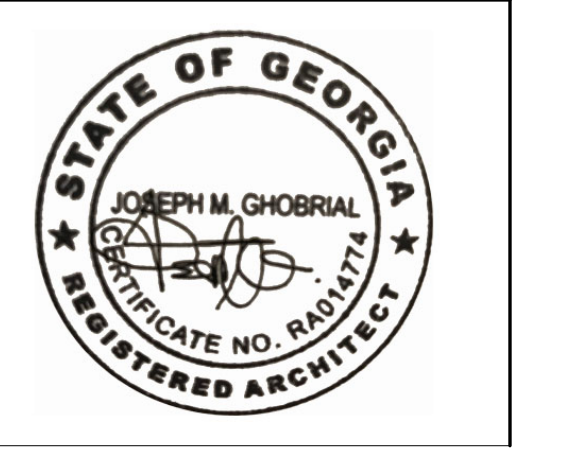
- NUMBER OF PEOPLE EXITING
- PER 2012 NFPA 101, SECTION 7.12.1
 MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE IS 100 FEET. IN BUILDINGS PROTECTED THROUGHOUT BY AN APPROVED SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 9.7.
- SEE PLAN FOR TRAVEL DISTANCE ON EACH AREA
- ANSUL SYSTEM WILL BE SERVICED EVERY SIX (6) MONTHS.
- CLASS K FIRE EXTINGUISHER REQUIRED.
 FIRE EXTINGUISHERS FOR CLASS A FIRE HAZARDS - ORDINARY HAZARD OCCUPANCY
 - TO BE MOUNTED AT 4'-0" HIGH FROM FINISH FLOOR TO HANDLE OF FIRE EXTINGUISHER
- TWO HOUR RATED INTERIOR PARTITION

ORIGINATION DESIGN
 Architecture.Engineering

3225 SHALLLOWFORD RD.
 SUITE 920, MARIETTA, GA 30062
 O: 678.404.8456
 M: 404.542.0838
 WWW.ORIGINATIONDESIGN.COM

Knife Kitchen And Cocktails
 3162 Piedmont Rd NE, Atlanta, GA 30305
LIFE SAFETY

PIEDMONT ON PEACHTREE



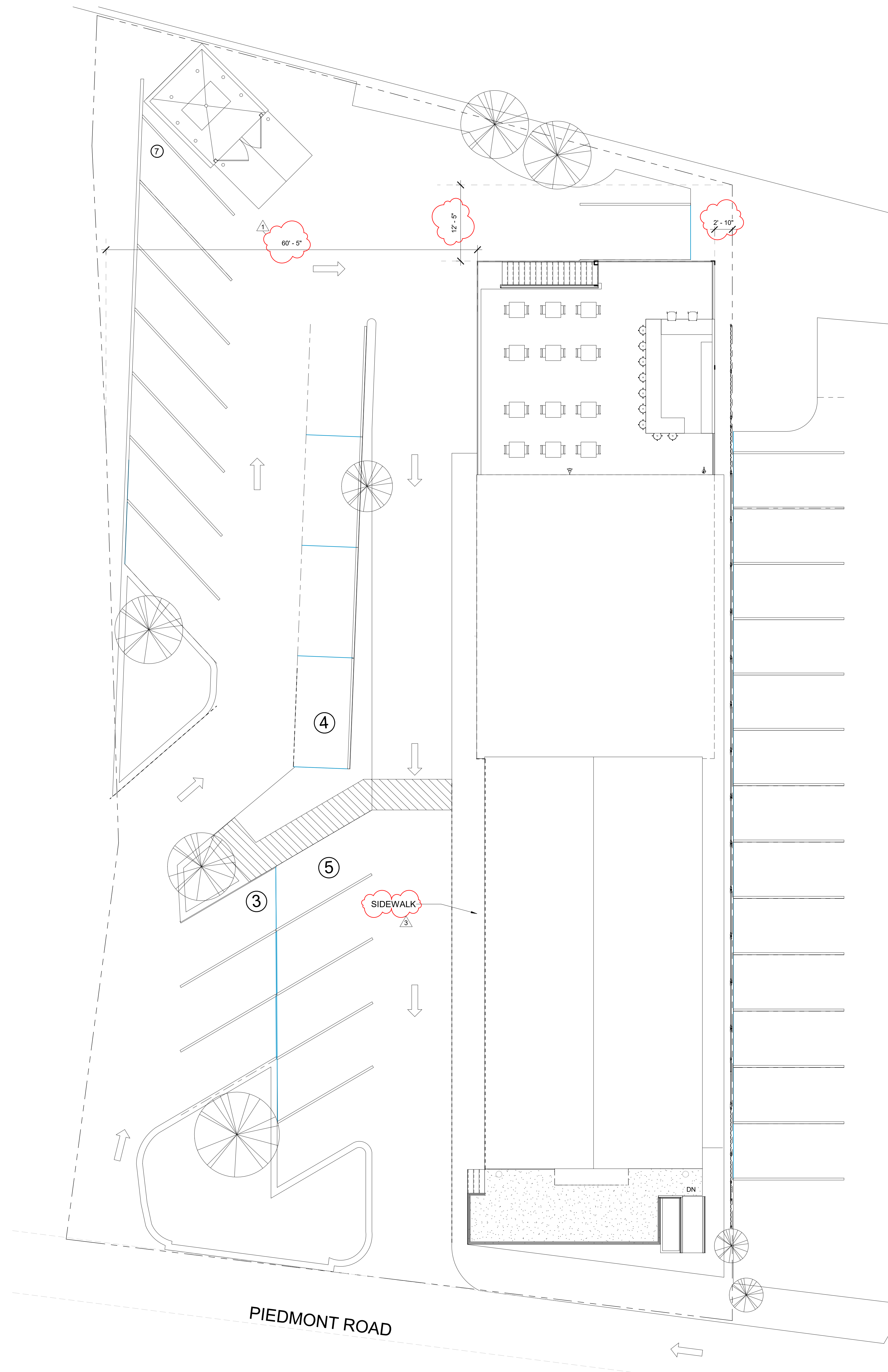
No.	Description	Date
1	City comments	08/01/22
2	City comments	08/21/22
3	CITY COMMENTS	03/06/23

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ISSUED FOR CONSTRUCTION

Project Number 202120
 Date 03/06/2023
 Drawn By MO
 Checked By JG

LS-100
 Scale 3/16" = 1'-0"



No.	Description	Date
1	City comments	08/01/22
3	CITY COMMENTS	03/06/23

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ISSUED FOR CONSTRUCTION

Project Number 202120
Date 03/06/2023
Drawn By HN
Checked By JG

SP-101
Scale 1/8" = 1'-0"



No.	Description	Date
1	City comments	08/01/22
3	CITY COMMENTS	03/06/23

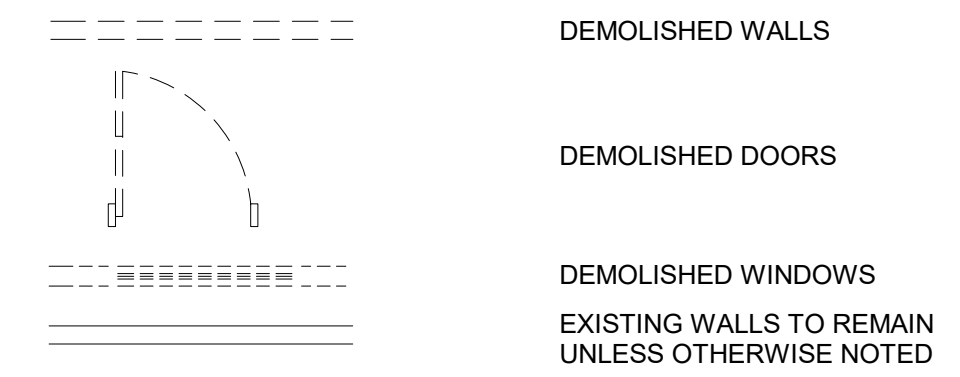
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ISSUED FOR CONSTRUCTION

Project Number	202120
Date	03/06/2023
Drawn By	MD
Checked By	JG

A-101
Scale 3/16" = 1'-0"

DEMOLITION LEGEND



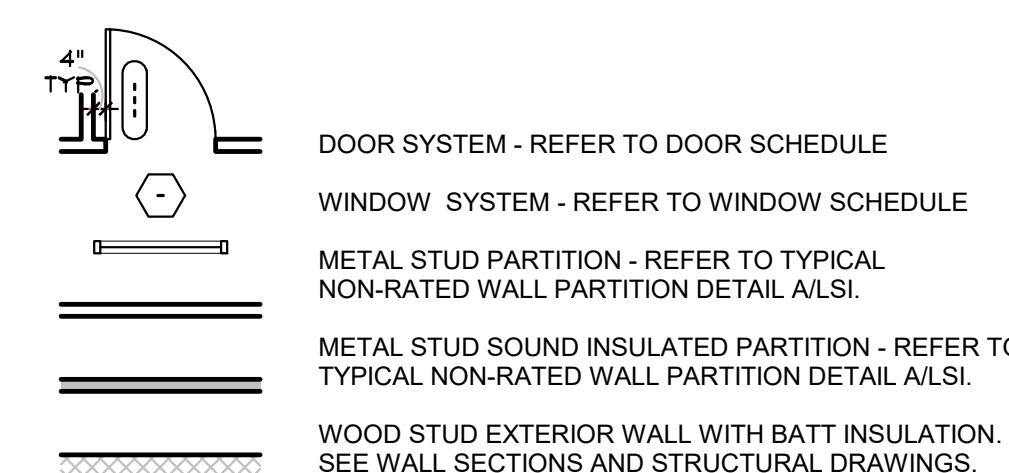
DEMOLITION NOTES

- SEE T1.1 FOR FURTHER GENERAL DEMOLITION NOTES.
- TO BE REVIEW AND MODIFY BASED ON TENANT COMMENTS.

GENERAL NOTES

- CONTRACTOR SHALL OBTAIN, READ, AND IMPLEMENT ALL REQUIREMENTS AS SET FORTH BY THE DESIGN AND CONSTRUCTION CRITERIA. SHOULD ANY CRITERIA BE IN CONFLICT WITH THESE PLANS, CONTACT THE ARCHITECT AS SOON AS THE DISCREPANCY IS DETECTED.
- SEE SHEET K-100 FOR EQUIPMENT, FURNITURE, FIXTURES AND PLUMBING FIXTURES.
- SEE REFLECTED CEILING PLAN FOR SOFFIT AND LIGHTING INFORMATION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT EVER SCALE DRAWINGS.
- DIMENSIONS ARE FROM THE FACE OF FINISHED WALL (GWB) TO FACE OF FINISHED WALL (GWB), UNLESS OTHERWISE NOTED ON PLANS.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND/OR INSTRUCTIONS.
- ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE ARCHITECT, OWNER, AND LANDLORD UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY ALL LABOR, MATERIALS, EQUIPMENTS, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF WORK.
- THE CONTRACTOR WARRANTS TO THE OWNER AND TO THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORKS SHALL BE AS SPECIFIED AND FREE OF DEFECTS.
- ALL OUTSIDE CORNERS AT DRYWALL PARTITION AND FURRING TO HAVE METAL CORNER BEADS SPACKLE AND SMOOTH.
- PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL NEW DOORS, GLAZING HEADS AND JAMBS AS REQUIRED TO MAKE ASSEMBLY RIGID.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE AREA OF WORK AND AREA AFFECTED BY CONSTRUCTION. TO INCLUDE BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE WALL MOUNTED TELEVISIONS AND GRAPHIC SIGNAGE TO PROVIDE BLOCKING FOR MOUNTING.
- ALL WET/PLUMBING WALLS ARE TO BE PROVIDED WITH MOISTURE RESISTANT GYP. BOARD, UNLESS TILE IS TO BE USED, THEN PROVIDE CEMENT BACKER BOARD.
- ALL PLUMBING WALLS ARE TO BE 6" METAL STUD FRAMING, PROVIDE REQUIRED BLOCKING FOR WALL MOUNTED FIXTURES, GRAB BARS, SHELVING, CABINETRY, ETC.
- THERE SHALL BE NO PENETRATIONS TO A DEMISING WALL, UNLESS OTHERWISE NOTED. IF PENETRATIONS ARE TO BE NOTED, THEN ALL PENETRATIONS INCLUDING CONDUITS, PIPES, DUCTWORK, ETC. SHALL BE UL RATED PER CURRENT CODE REQUIREMENTS.
- NO PLUMBING IS ALLOWED IN DEMISING WALLS. FURR OUT AS REQUIRED.
- INSTALL FULL THICKNESS BATT INSULATION CONTINUOUS TO ROOF DECK IN ALL WALL SEPARATING REST ROOMS FROM ADJACENT CONVENIENCE STORE AREAS. INSULATION TO BE NON-COMBUSTIBLE, BEARING THE UL CLASSIFICATION MARKING.
- BRACE STUDS ABOVE CEILING AS REQUIRED TO PROVIDE RIGID WALLS THROUGHOUT. SEE STRUCTURAL DRAWINGS.
- ALL CABINETS IN FAST-FOOD AREA, INCLUDING COFFEE BAR AND SALES COUNTER, TO HAVE SOLID TOP WITH METAL SIDES PAINTED AND KICK PLATE BASE PAINTED "BLACK".
- USE FDA APPROVED FOOD GRADE CLEAR WALKING BETWEEN COUNTERTOPS AND WALLS AND WHERE REQUIRED PER LOCAL AND COUNTY HEALTH DEPARTMENT REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE EQUIPMENT AND DRYWALL INSTALLERS TO ENSURE THAT ALL ELECTRICAL WIRING, WATER LINES AND REFRIGERATION LINES HAVE BEEN INSTALLED PROPERLY ON ALL EQUIPMENT PRIOR TO THE HANGING OF ANY DRYWALL. SEE THE CIRCLE K PROJECT MANUAL FOR ANY EQUIPMENT LOCATION CLARIFICATIONS.
- ALL INSULATION SHALL NOT BE EXPOSED TO VIEW FROM INSIDE SALES FLOOR AREA.

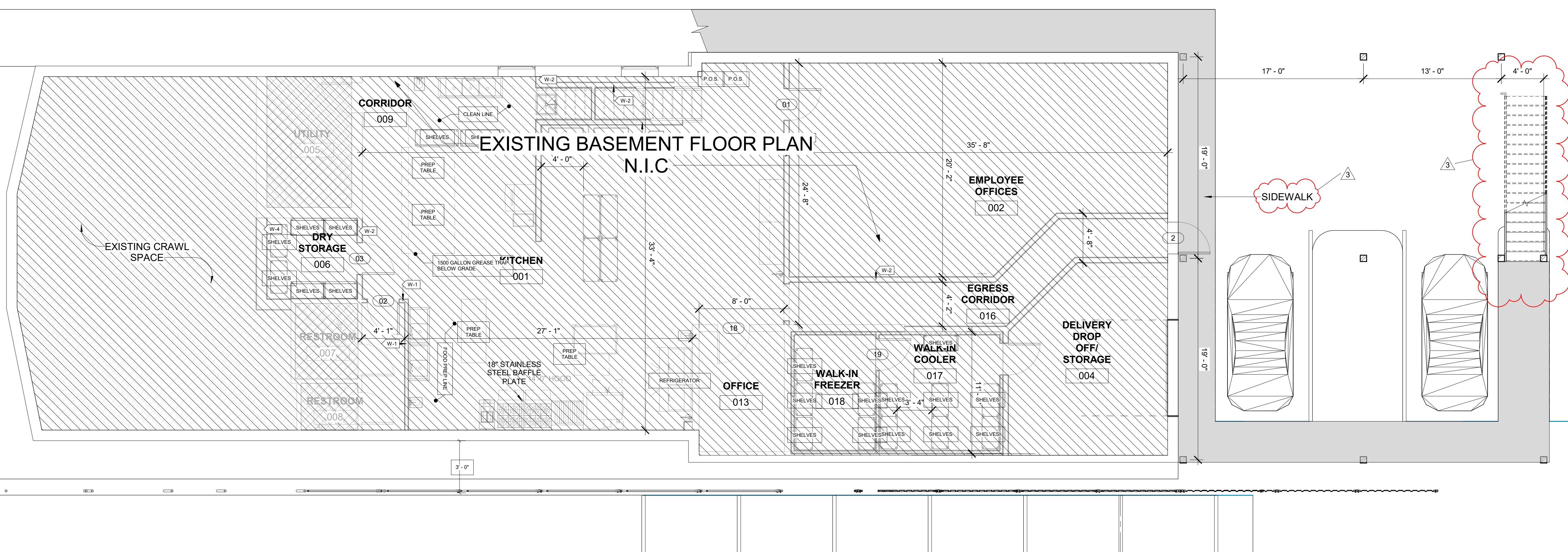
WALL LEGEND



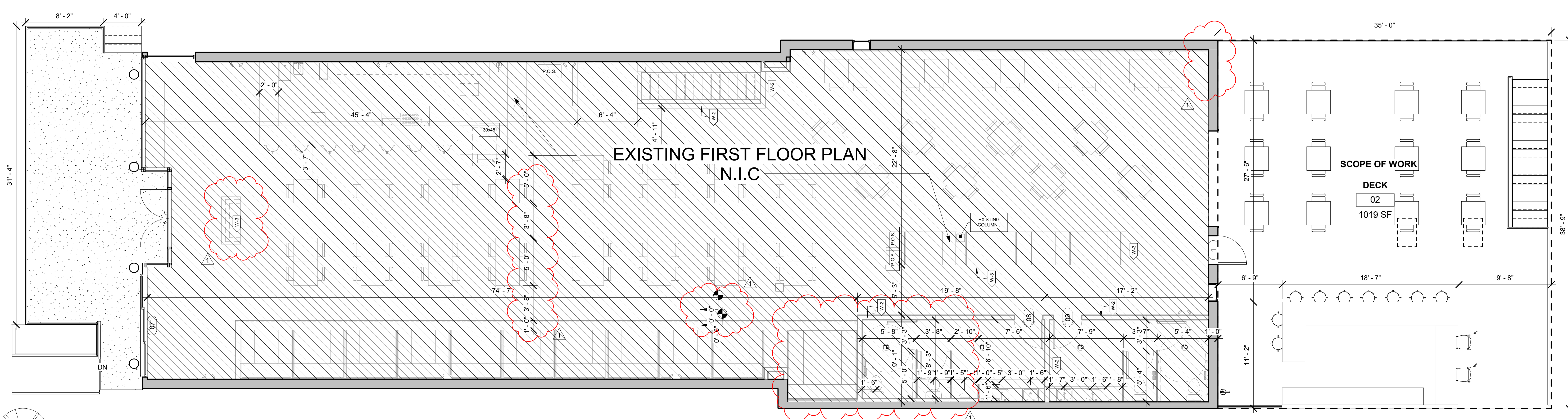
WALL TYPES

- W-1 (N) 4" x 20GA. METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD ON EACH SIDE
- W-2 (N) 6" x 20GA. METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM BOARD ON EACH SIDE
- W-3 (N) 6" x 16GA. METAL STUD 43 1/2" HIGH LOW WALL @ 16" O.C. 5/8" GYPSUM BOARD
- W-4 (N) 12" CMU RETAINING WALL

NOTE:
PROVIDE 5/8" WATER RESISTANT GYP. BOARD WHERE PLUMBING WALLS OCCUR, TYP.
TYPICAL WALLS TO RECEIVE 5/8" GYP. BOARD.



PROPOSED BASEMENT FLOOR PLAN 3/16"= 1'-0" SCALE **02**



PROPOSED FLOOR PLAN 3/16"= 1'-0" SCALE **02**

BXUVC.G512 - Fire-resistance Ratings

BXUVC - Fire-resistance Ratings

See General Information for Fire-resistance Ratings

Design No. G512

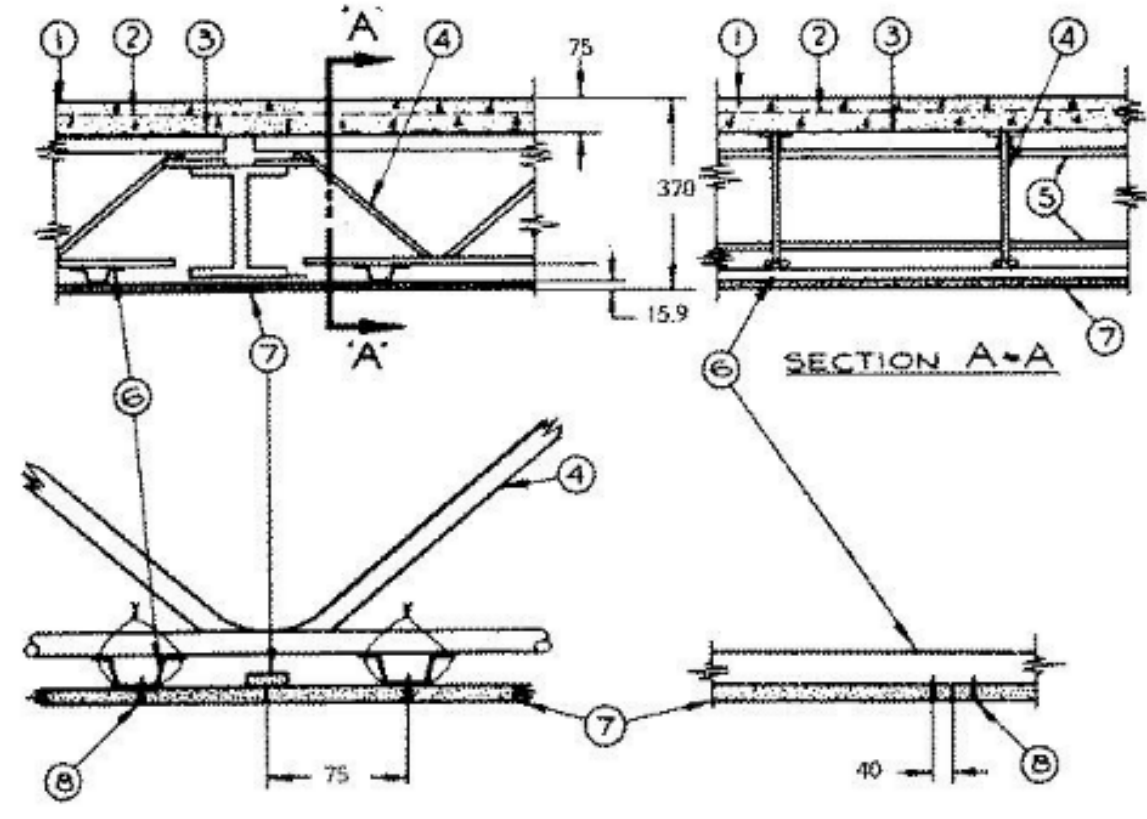
February 11, 2019

Restrained Assembly Rating - 3 h

Unrestrained Assembly Rating - 3 h

Unrestrained Beam Rating - 3 h

Load Restricted — Assembly evaluated in accordance with Working Stress Design methods, for use under Limit States Design methods; refer to information under Guide BXUVC.



Beam — W200x52, min size.

1. Sand-Gravel Concrete — 2390/150 kg/m³, 21 MPa nom compressive strength.

https://iq.ulprospector.com/en/profile?e=224836

2. Wire Fabric — 152x152 P9.2/P9.2 steel wire.

3(a). Metal Lath — 1.8 kg/m², 9.5 mm rib, exposed steel, tied to each joint 225 mm OC and side overlap also tied midway between joints, with 1.2 mm steel wire.

3(b). Metal Pan — As an alternate, the form material for the concrete may be metal pan of 0.4 mm (min) sheet steel. The min overall concrete thickness measured between the top of the slab and the bottom plane of the pan shall be 90 mm. The min concrete thickness shall be measured directly over a joint.

3(c). Steel Floor Units — As an alternate, the form material for the concrete may be steel floor units, noncomposite fluted type, 38 mm nom depth, 0.76 mm (min). Welded to supports 300 mm OC. Adjacent units button-punched or crimped midway between joints. The min overall concrete thickness measured between the top of the slab and the top plane of the section shall be 75 mm.

4. Steel Joists — 250 mm deep, 7 kg/m min size, designed in accordance with the relevant provisions of Part 4 of the National Building Code of Canada, spaced 610 mm OC and welded to end supports.

5. Horizontal Bridging — 13 mm diameter continuous steel bar stock, welded to top and bottom chords of each joist.

6. Furring Channels — 0.5 mm steel, 70 mm wide at top and 44 mm wide at bottom by 22 mm deep, spaced 600 mm OC, perpendicular to joists. Two courses of furring channel positioned 150 mm OC, 75 mm from each end joint of wallboard. Channels secured to each joist with 1.2 mm galvanized wire bent into double-strand saddle ties. Channels spliced with adjoining pieces overlapped 150 mm and tied together using double strand of 1.2 mm galvanized steel wire at each end of overlap.

7. Gypsum Wallboard — (CKNXC), 15.9 mm thick, 1200 mm wide installed with long dimension perpendicular to furring channels and side joints located midway between joists. Wallboard fastened to furring channels with 25 mm wallboard screws spaced 300 mm OC, 40 mm and 75 mm from butted side and end joints, respectively. End joints attached to double channels and protected above with 70 mm wide strips of 15.9 mm thick wallboard with joints staggered 200 mm from the side joints of the wallboard sheets. End joints of the wallboard sheets may be continuous or, as an alternate, the end joints may be staggered and similarly fastened to double furring channels that extend 75 mm beyond each end joint, and which are wired to lower chords of joists. Wallboard joints may be either exposed or covered with the joint system. CGC-INC — Types C, P-K2, WRC.

UNITED STATES GYPSUM CO — Types C, P-K2, WRC

8. Wallboard Screw — Type 5 Phillips, self-drilling and self-tapping, 25 mm long. Screwheads may be either exposed or covered with joint cement.

9. Joint System — (not shown) — Wallboard joints may either be exposed or covered with fibre tape and joint compound, except where required for specific edge configuration. Lath joints covered with 60 mm wide pressure-sensitive glass fibre tape or glass fibre tape attached with wire staples. For tapered, rounded edge wallboard, joints covered with fibre tape and joint compound.

10. Outlet Boxes and Fittings for Service Penetrations — (not shown) — Where required, labelled outlet boxes and fittings may be installed as specified for the individual manufacturers listed under CEVVC.

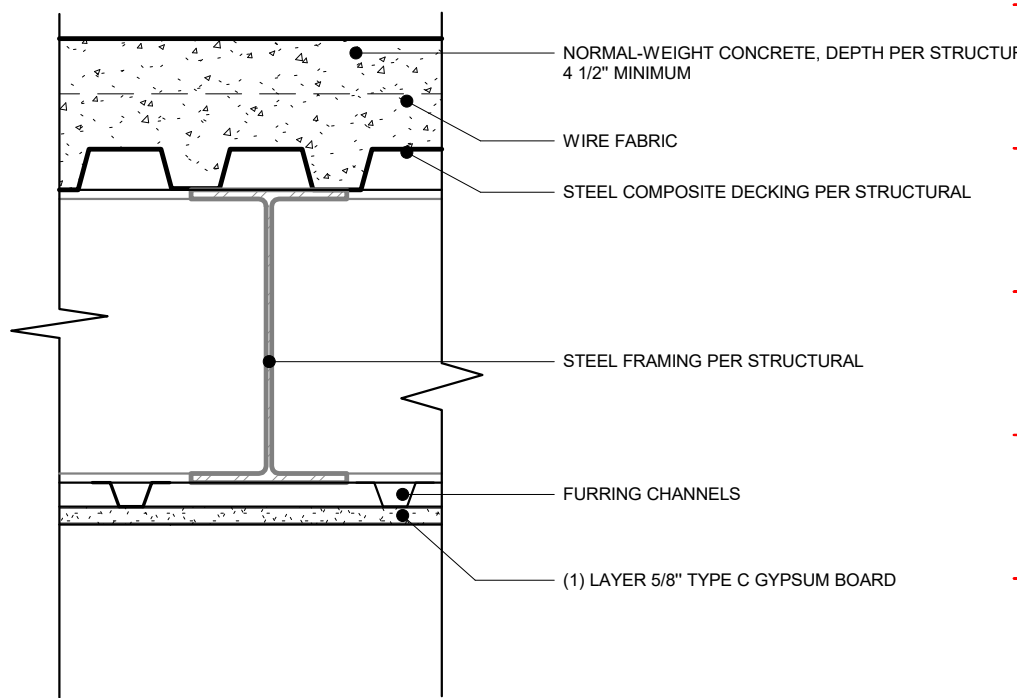
Last Updated on 2019-02-11

The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL Solutions' Follow - Up Service. Only those products bearing the UL Mark should be considered to be Certified and covered under UL Solutions' Follow - Up Service. Always look for the Mark on the product.

1/3

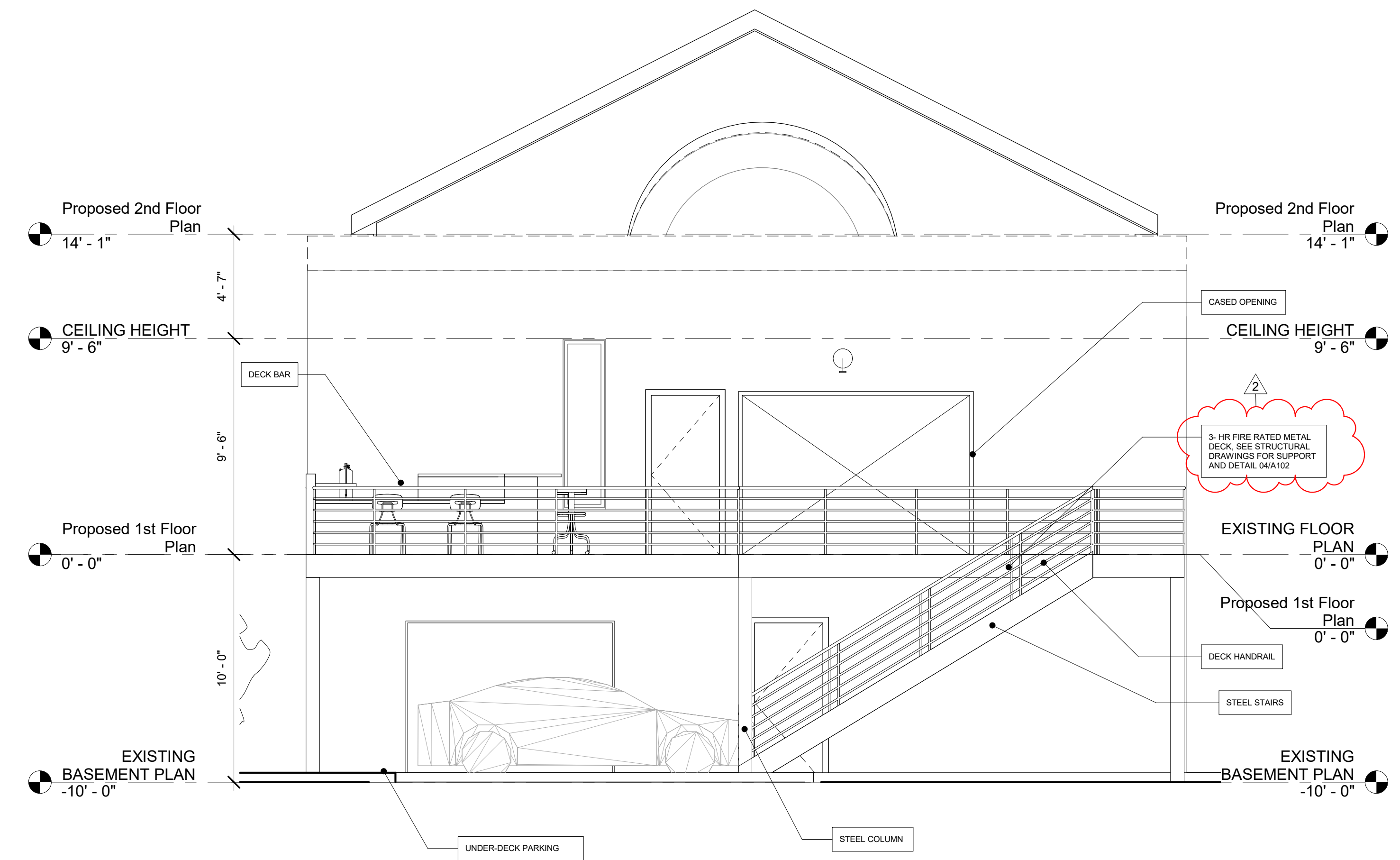
https://iq.ulprospector.com/en/profile?e=224836

2/3



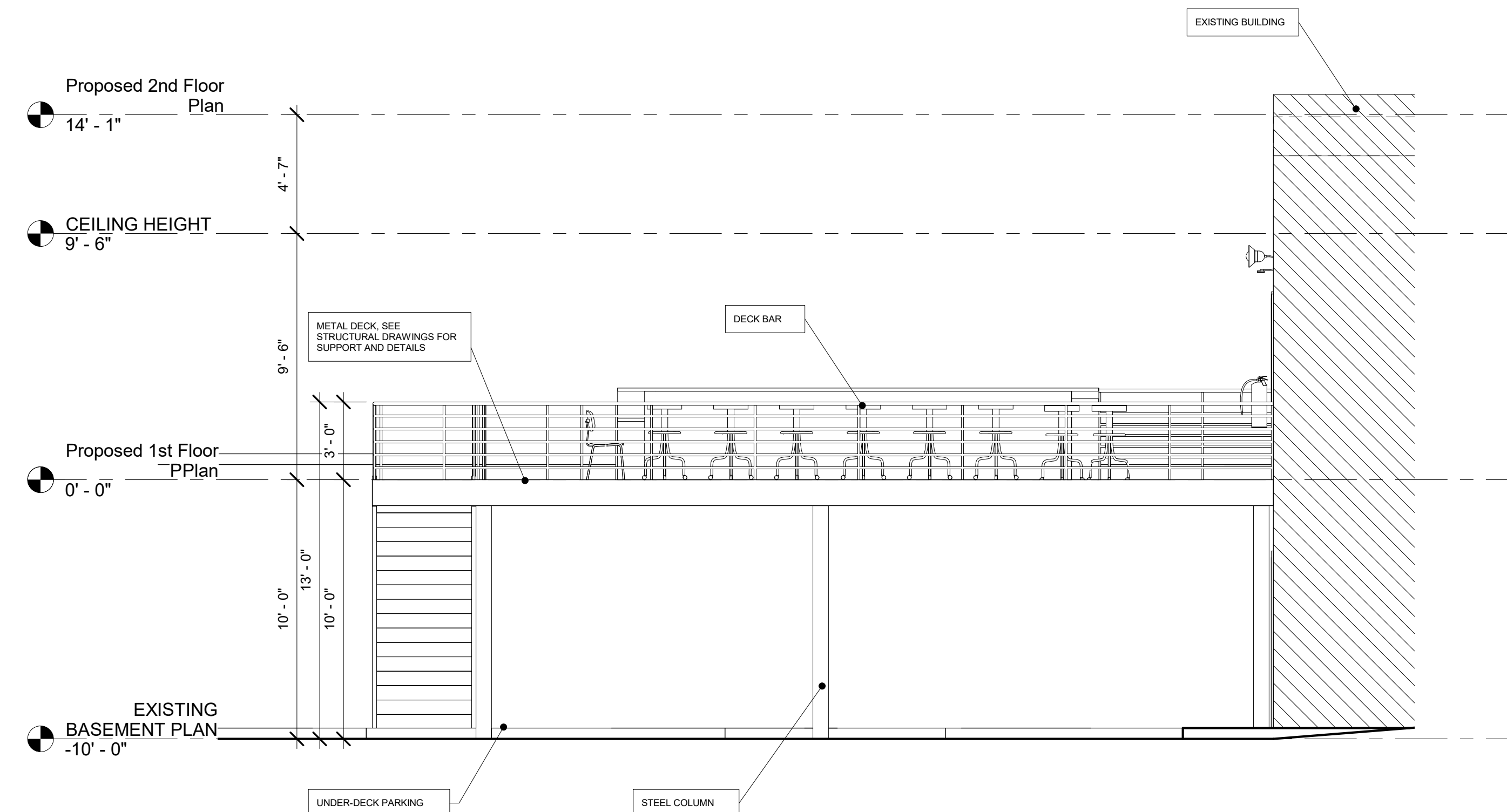
3-HR FIRE RATED HORIZONTAL ASSEMBLY

SCALE 1/4" = 1'-0" 04



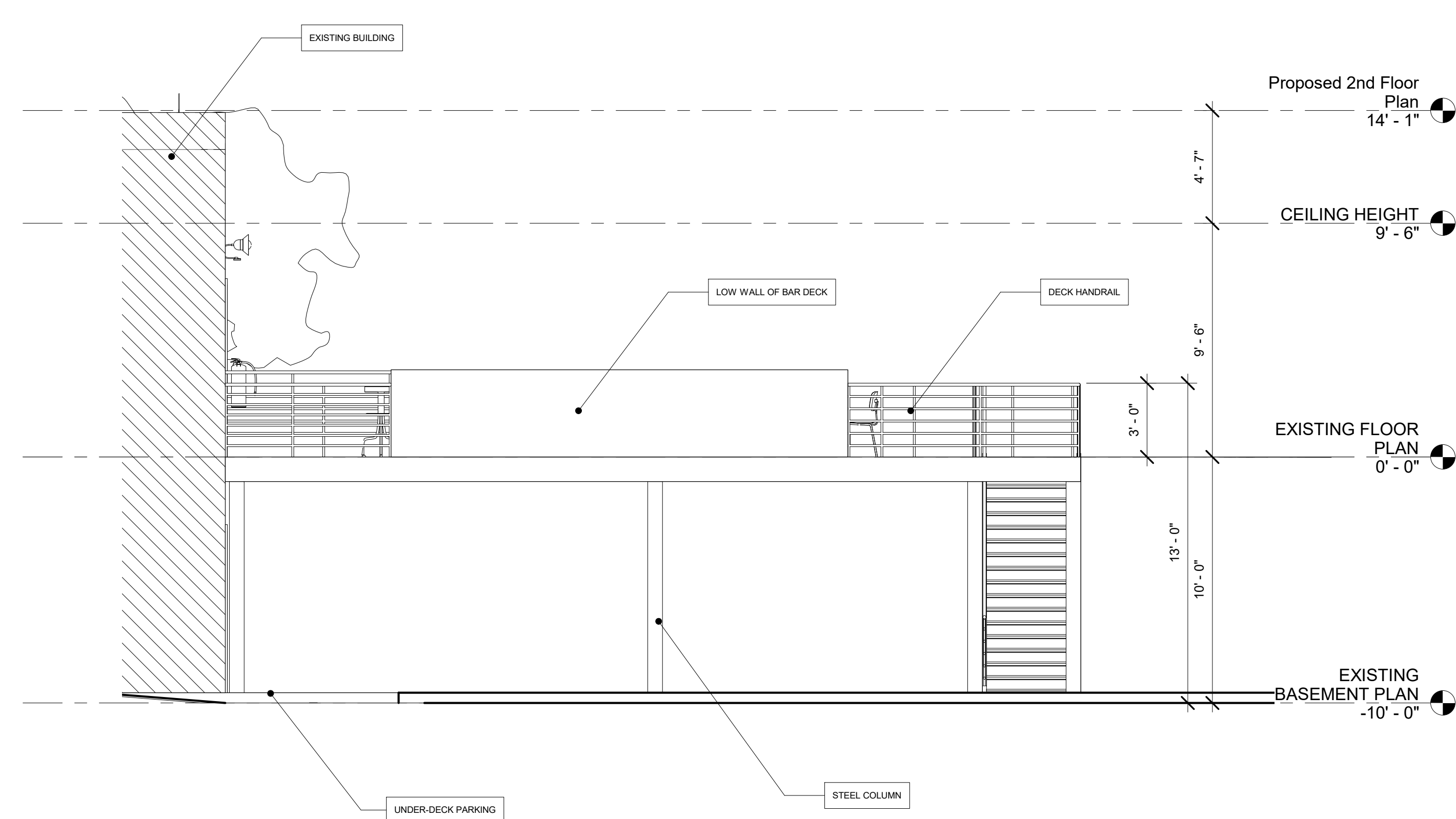
NORTH ELEVATION

SCALE 1/4" = 1'-0" 02



WEST ELEVATION

SCALE 1/4" = 1'-0" 03



EAST ELEVATION

SCALE 1/4" = 1'-0" 01



ORIGINATION DESIGN Architecture.Engineering

3225 SHALLOWFORD RD. SUITE 920, MARIETTA, GA 30062 O: 678.404.8456 M: 404.542.0838 WWW.ORIGINATIONDESIGN.COM

Knife Kitchen And Cocktails

3162 Piedmont Rd NE, Atlanta, GA 30305

EXTERIOR ELEVATIONS

PIEDMONT ON PEACHTREE



Table with 3 columns: No., Description, Date. Row 1: 2, City comments, 08/21/22

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ISSUED FOR CONSTRUCTION

Project Number 202120 Date 03/06/2023 Drawn By MI Checked By JG

A-102

Scale As indicated



City of Atlanta: Office of Buildings

Department of City Planning

LIGHT COMMERCIAL PLAN REVIEW COMMENTS

55 Trinity Avenue, Suite 3900

Atlanta, Georgia 30303

(404) 330-6150

https://aca3.accela.com/atlanta_ga/

This review was performed to verify compliance with the requirements found within those codes adopted and amended by the State of Georgia and enforced by the City of Atlanta.

APPLICATION INFORMATION

REVISION REQUIRED-HOLD **APPROVED WITH CONDITIONS** **APPROVED**

Plan Review#1 **#2** **3*** **#4***

DATE: 3/9/2023 DATE ASSIGNED: 8/8/2022 APPLICATION NUMBER **BB-202204314**

Address: 3162 PIEDMONT RD NE

Project Name: ROSEWOOD STEAKHOUSE, PATIO (LC)

Applicant Name: Tiara Crumby Email address: pcgroupinc@comcast.net

Design Professional: Joseph M. Ghobrial Email address: Email Address

PLAN REVIEWER <NAME> NEBIYOU SETEGN Plans Examiner email address

SCOPE OF WORK .. ROSEWOOD STEAKHOUSE, PATIO-CONSTRUCTION OF A NEW OUTDOOR PATIO.

BUILDING CODE DATA

Occupancy Group Classification **IBC** Assembly Group - A-2 **LSC** Assembly

Square Footage: **Existing** Sq. ft. 5580 **New** Sq. ft. **TOTAL** Sq. ft. 5580

Occupant Load **Existing** 202 **New** sq. ft 70 **TOTAL** Sq. ft. 272

Number of Stories **Existing** 1 **New** **# of Stories**

Height of the Structure 15feet inches

New Construction NO **REDLINES** N/A

Renovation/Alteration YES

Existing YES - ADDITION

Interior MAJOR **C of O** Type of Certification

Type of Construction VB

Sprinklered: NFPA 13

Inclusionary Zoning: Compliance Level

FEE TABLE INFORMATION			
	OCCUPANCY	UNITS	NEW/EXISTING SQUARE FOOTAGE
NEW USES			
CREDIT USES			
CREDITS / MISC			

VALUATION CALCULATION TABLE		
TYPE OF CONSTRUCTION	OCCUPANCY	SQUARE FOOTAGE
VB	A-2	5580

The following comments or clarifications are required before this project can be approved for permit issuance. Failure to complete the requested corrections within 180 (one hundred and eighty) days of your application submittal date may result in your permit application expiring through inactivity.

Please review the comments listed in the body of this Revision letter. The drawings submitted have been reviewed and generated comments from the Plan Reviewer that require further clarification, modification, and/or revisions to the submitted drawings. **Provide a minimum two (2) revised plan sets that reflect the comments required by this letter, or remove the previously submitted red line sets and collate the corrected sheets into the plan set for resubmittal.** Please return the Plan Reviewer's redline sheets upon resubmission.

To ensure the project proceeds quickly through the resubmittal review process, **please provide a Response Letter** that contains written responses to each numbered comment.

Building Plan Review Comments Revisions Required:

No.	Sheet No.	Code Section	Comment
4	General Statement	COA 103.3 & 107.2.4 This document is intended for the "registered design professional of record" for the project and shall be submitted to that person in its entirety without modification. When submitting corrections, the design professional shall provide a response letter, to the plans examiner's comments, addressing all comments sequentially for all trades, and cloud any corrections on the sheets affected along with the Delta (Δ) and date of the change. This review process attempts to be comprehensive and address the minimum requirements found in the code. If the designer wishes to disagree with any comment, they are encouraged to do so by substantiating with reference(s) from applicable law, code, standard or ordinance.	
2	General Statement-2	Provide a Building Code Data Legend on the Title Sheet. Include the following code information for each building proposed:	• Please refer to plan for additional comments

Revision Comments from other review agencies listed below are **not** included in this Revision Letter and include the following:

<u>Zoning:</u>	404-330-6175 #2	<u>Planning:</u>	404-330-6145
<u>Fire:</u>	404-865-8688	<u>Arborist:</u>	404-330-6874
<u>Site Development:</u>	404-330-6089	<u>Sewer:</u>	404-546-0311
<u>Traffic:</u>	404-330-6501	<u>Health Kitchen:</u>	404-613-1301 – Fulton County
<u>Grease Trap:</u>	404-330-6249	<u>Solid Waste:</u>	404-612-8013 – Fulton County
<u>Water Service:</u>	404-546-7312	<u>Sanitation:</u>	404-330-6236

Please understand other agencies may have revision comments, which are not contained within this Revision Letter. Please contact these agencies if you have questions.

If you require additional information regarding this revision letter, need clarification of any stated requirements, or would like to schedule a meeting to discuss your project, please contact the Office of Buildings at (404) 330-6150 or send an email to the assigned plans examiner for your project.

Please provide your response letter with the corrected plans so staff can make the re-review as efficient and effective as possible. If the plans are determined to comply with City of Atlanta's Code requirements this concludes the Construction Plan Review portion.

Thank you,

<NAME>

City of Atlanta: Office of Buildings

