



OFFICE OF ZONING AND DEVELOPMENT

55 Trinity Avenue S.W., Suite 3350

Atlanta, Georgia 30303

(404) 330-6145

APPLICATION #: **SAP-23-108**

DATE ACCEPTED **06/22/2023**

NOTICE TO APPLICANT

Address of Property:

3234 Peachtree RD NE

City Council District: **7** Neighborhood Planning Unit (NPU): **B**

Special Administrative Permit (SAP) Hearing Date:

August 09, 2023, OR August 23, 2023, at 12:00PM

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.



Please contact the Office of Zoning & Development staff at 404-330-6145 or dcpzd@atlantaga.gov with any questions.

NOTE: Special Administrative Permit applications are not required to be placed on NPU agendas. However, several zoning classifications require NPU notification via a certificate of mailing. For full requirements, and to see if such a notification is applicable, refer to the SAP application form.

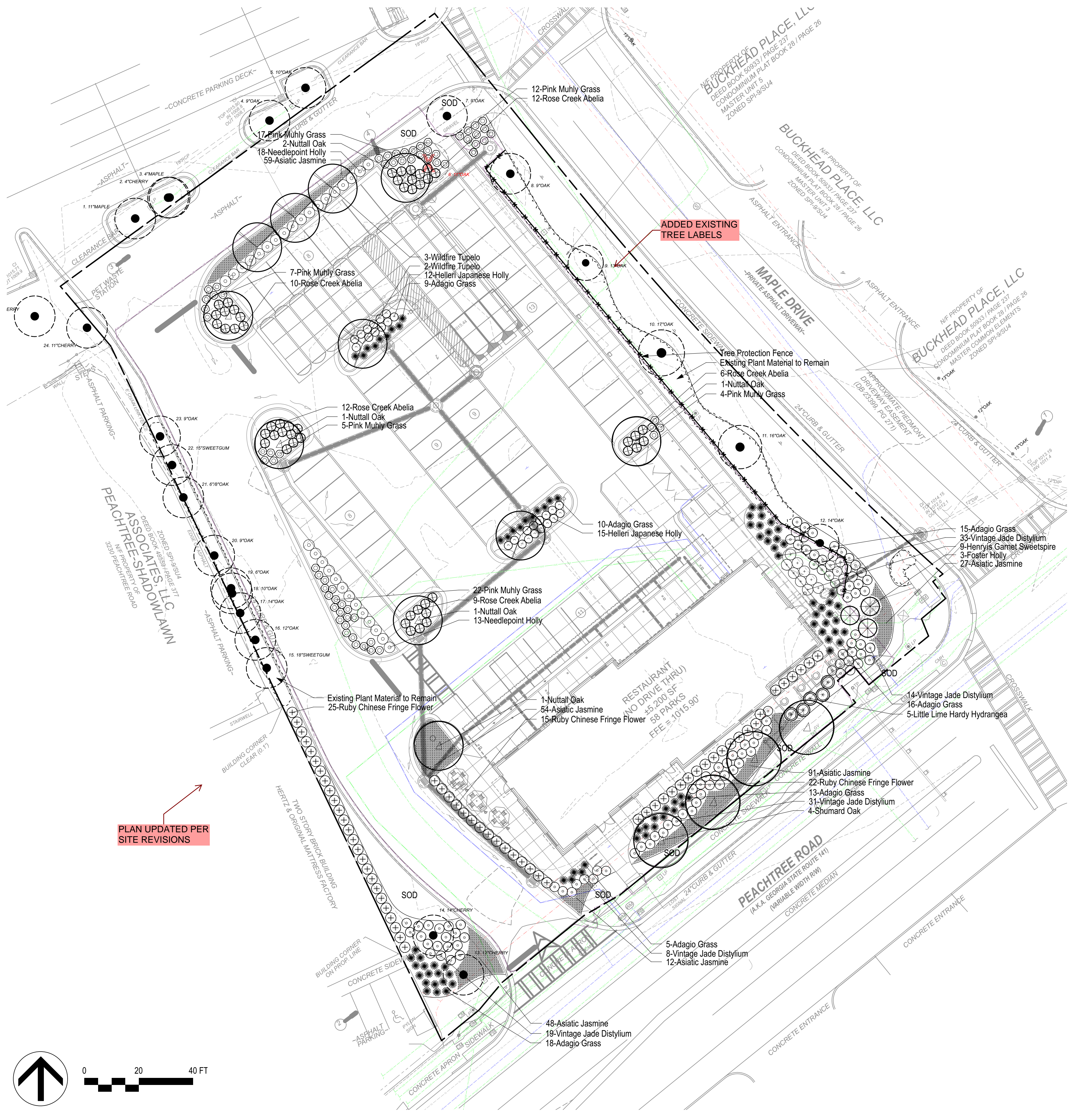
Signed,

Rhonda Goodman

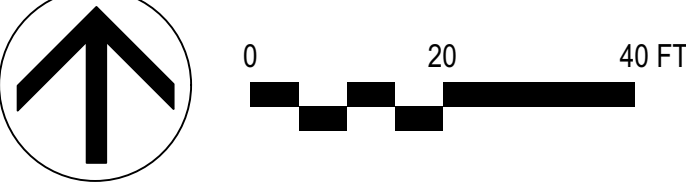
RG, for Director, Office of Zoning and
Development

Laurel David

Laurel David



PLAN UPDATED PER SITE REVISIONS



****THIS PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT TO CHANGE**

LANDSCAPE REQUIREMENTS

- A. PARKING LOT REQUIREMENTS**
- REQUIRED**
- Trees must be planted or retained so that there is one tree for every eight parking spaces. 58 parking spaces / 8 = 8 trees
 - No parking space shall be further than 45 LF from a tree.
 - All trees used to meet the parking lot planting requirement shall be overstory or mid-story trees
 - 50% of the trees planted shall be overstory
 - 50% of the trees planted in the interior of parking lots also being overstory.
 - Landscape areas shall contain shrubs or any non-invasive herbaceous plants.
- PROVIDED**
- (8) Nuttall Oaks, (2) Black Gums = 8 trees
 - No parking space is further than 45 LF from a tree
 - All tree used to meet the parking lot planting requirements are overstory or mid-story trees
 - 100% of trees used are overstory
 - 100% of trees used are overstory
 - Landscape areas contain shrubs, groundcover or turf

- B. STREET TREES REQUIRED**
- REQUIRED**
- All commercial sites, must have trees planted along any public road at a maximum spacing of 40 LF. Peachtree Road: (251 LF less drive) 215 LF / 40 = 6 street trees
- PROVIDED**
- Peachtree Road: (2) Existing Cherries, (4) Shumard Oaks = 6 street trees

- C. SITE DENSITY**
- REQUIRED**
- 90 Tree inches per acre 1.40 Acres x 90 = 126 density units required
- PROVIDED**
- | | |
|--------------------|-----------------------------------|
| 1 @ 6" | = 6 |
| 1 @ 8" | = 8 |
| 4 @ 9" | = 36 |
| 1 @ 10" | = 10 |
| 2 @ 12" | = 24 |
| 1 @ 13" | = 13 |
| 3 @ 14" | = 42 |
| 1 @ 15" | = 15 |
| 1 @ 16" | = 16 |
| 1 @ 17" | = 17 |
| 1 @ 18" | = 18 |
| 4 @ 3" Shumard Oak | = 12 |
| 6 @ 3" Nuttall Oak | = 18 |
| 5 @ 3" Black Gum | = 15 |
| TOTAL | 250 density units provided |

CALCULATIONS ADDED

PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
3	Ilex x attenuata 'Foster'	Foster Holly	6' Hgt.	Full to ground, well branched
5	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo	3" Cal; 12' Hgt.	B & B; single straight leader
6	Quercus nuttallii	Nuttall Oak	3" Cal; 12' Hgt.	B & B; single straight leader
4	Quercus shumardii	Shumard Oak	3" Cal; 12' Hgt.	B & B; single straight leader
Shrubs				
49	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	3 Gal.	
105	Distylium 'Vintage Jade'	Vintage Jade Distylium	3 Gal.	
5	Hydrangea paniculata 'Jane'	Little Lime Hardy Hydrangea	3 Gal.	Plant 48" O.C.
31	Ilex cornuta 'Needlepoint'	Needlepoint Holly	3 Gal.	
27	Ilex crenata 'Helleri'	Helleri Japanese Holly	3 Gal.	
9	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	3 Gal.	
62	Loropetalum chinense 'Ruby'	Ruby Loropetalum	3 Gal.	
86	Miscanthus sinensis 'Adagio'	Adagio Grass	3 Gal.	
67	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal.	
Groundcovers				
Other				

TREES REMOVED WITHIN PROPERTY

Tree #	Description	DBH
6	Oak	11
TOTAL	11	

TREES TO REMAIN WITHIN PROPERTY

Tree #	Description	DBH	% Impacted
7	Oak	9	0.0%
8	Oak	9	0.0%
9	Oak	13	0.0%
10	Oak	17	0.0%
11	Oak	16	0.0%
12	Oak	14	0.0%
13	Cherry	12	0.0%
14	Cherry	14	0.0%
15	Sweetgum	18	0.0%
16	Oak	12	0.0%
17	Oak	14	0.0%
18	Oak	10	0.0%
19	Oak	6	0.0%
20	Oak	9	0.0%
21	Oak	8	0.0%
22	Sweetgum	15	0.0%
23	Oak	9	0.0%
TOTAL	205	0.0%	

BOUNDARY TREES TO REMAIN (ON ADJACENT PROPERTY)

Tree #	Description	DBH	% Impacted
1	Maple	11	0.0%
2	Cherry	4	0.0%
3	Maple	4	0.0%
4	Oak	9	0.0%
5	Oak	10	0.0%
24	Cherry	11	0.0%
25	Cherry	8	0.0%
TOTAL	57	0.0%	

NOTES ADDED

SOUTHEAST LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurseries.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (double shredded hardwood mulch).
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "T" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



Manley Land Design, Inc.
 51 Old Canton Street
 Alpharetta, Georgia 30009
 770.442.8171 tel



CHICK-FIL-A
PEACHTREE & PIEDMONT
 3234 Peachtree Rd NE
 Atlanta, GA 30305

FSU# 05475

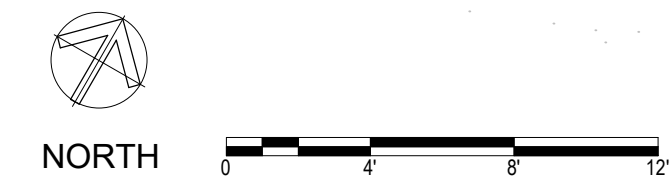
REVISION SCHEDULE
 NO. DATE BY DESCRIPTION

MLD PROJECT # 2023116
 PRINTED FOR SAP
 DATE 7/13/23
 DRAWN BY MB

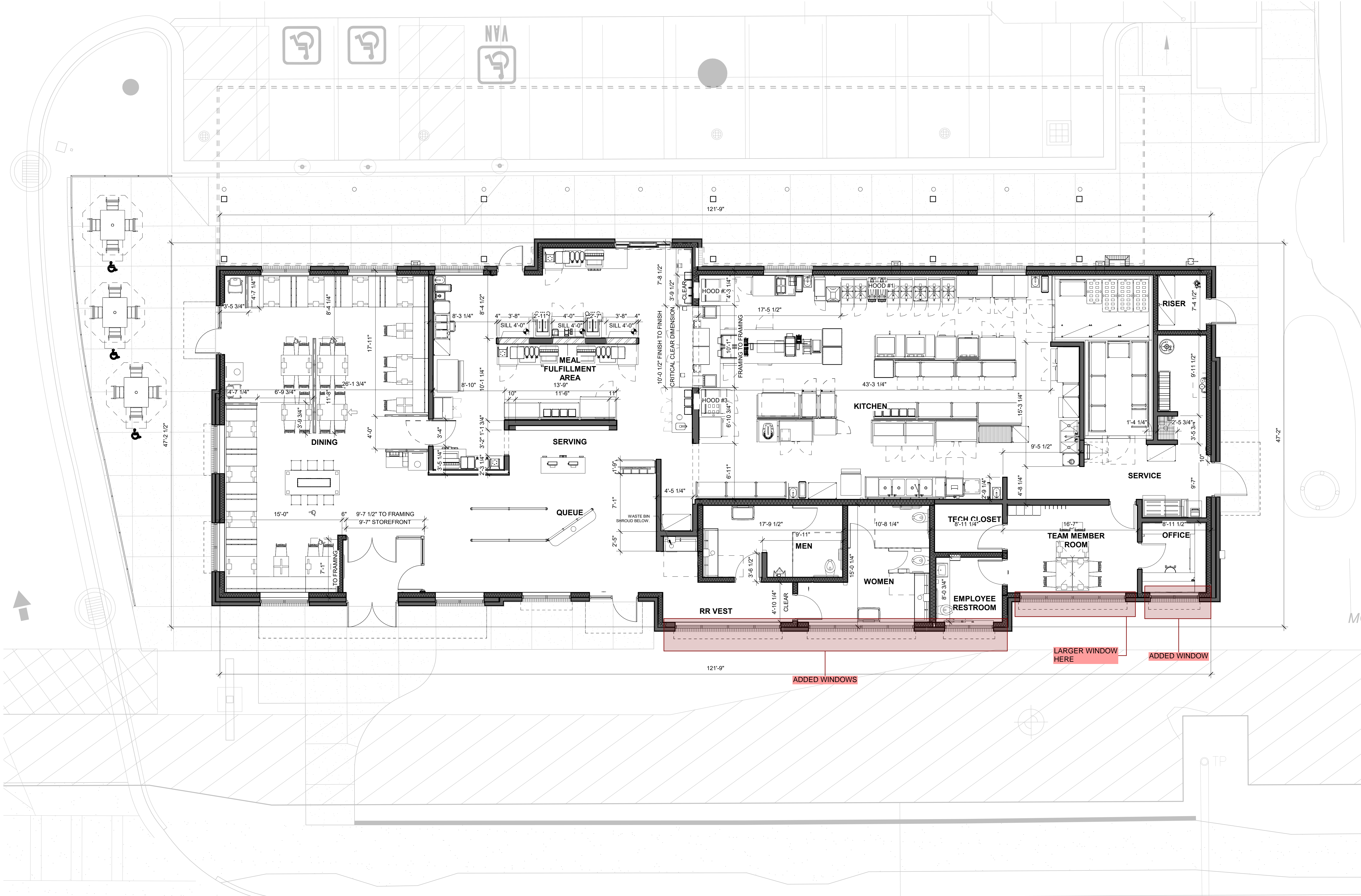
Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.

SHEET
Landscape Plan

SAP SHEET NUMBER
L-100

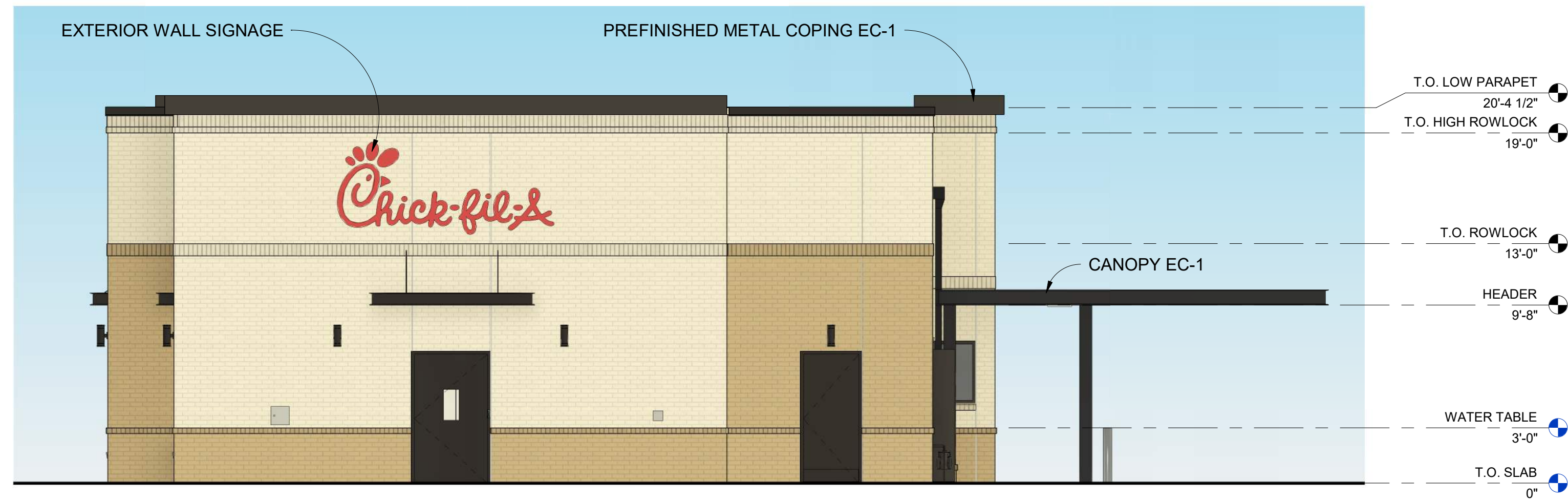


A201 | FLOOR PLAN



MC

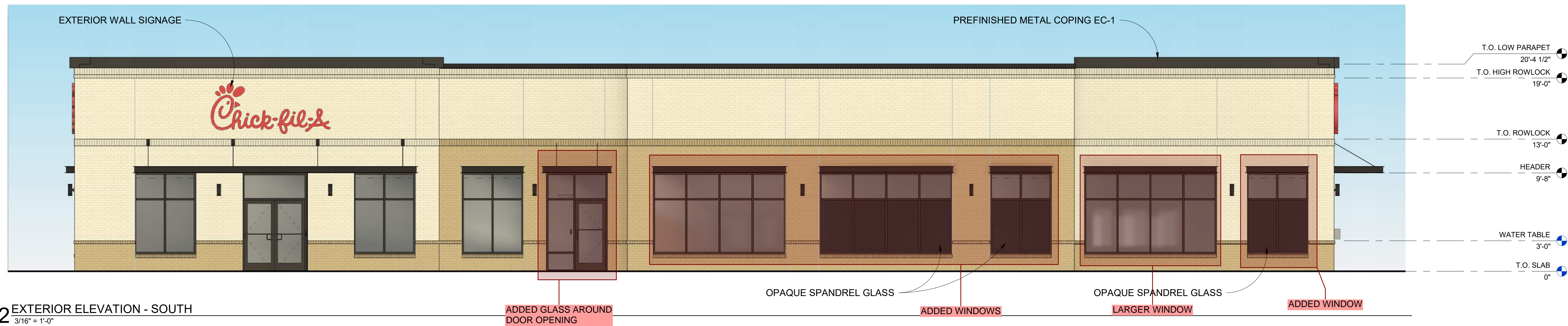
TP



3 EXTERIOR ELEVATION - EAST
3/16" = 1'-0"



4 EXTERIOR ELEVATION - WEST
3/16" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
3/16" = 1'-0"

EXTERIOR FINISHES	
(BR-A)	BRICK VENEER COLOR: DARK BROWN SIZE: MODULAR
(BR-B)	BRICK VENEER COLOR: LIGHT BROWN SIZE: MODULAR
(EC-1)	PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE
(PT-113)	EXTERIOR PAINT COLOR: DARK BRONZE FINISH: SEMI-GLOSS
(ST-1)	STOREFRONT COLOR: DARK BRONZE



SAP-23-108

City of Atlanta | Department of City Planning
**OFFICE OF ZONING
& DEVELOPMENT**

RECEIVED

DATE: 06/23/2023



SAP-23-108



RECEIVED

DATE: 06/23/2023

CLERK OF THE SUPERIOR COURT RECORDING INFORMATION

Plat Book 28 Page 26
Filed and Recorded 11/30/2021 03:49:00 PM
2021-0356791
CATHELENE ROBINSON
Clerk of Superior Court
Fulton County, GA
Participant IDs: 2979894615
7067927936

LEGEND table with symbols for P.P., L.P., F.H., M.H., W.M., G.M., RBS, RBF, CTF, OTF, R/W MON., TYPE OF FENCE, J.B., D.I., C.B., R.C.P., C.M.P., F.F.E., WATER VALVE, C.O., TELEPHONE MANHOLE, OVERHEAD POWER LINES, HW, PBX, STREET ADDRESS, WATER LINE, UNDERGROUND TELEPHONE LINE, GAS LINE, UNDERGROUND ELECTRICAL LINE.

THE AMENDED AND RESTATED DECLARATION OF CONDOMINIUM FOR BUCKHEAD PLACE, A MASTER CONDOMINIUM, IS RECORDED IN THE SUPERIOR COURT OF FULTON COUNTY, GEORGIA RECORDS.

REVISION DATE: 10/13/21

THIS CONDO PLAT SUPERSEDES THE CONDO PLAT RECORDED IN CONDO BOOK 21, PAGE 19

THE PURPOSE OF THE REVISION IS TO:

- 1) UPDATE NEW RIGHT OF WAY TAKE PER GOOT PROJECT NO. GSNLS-0006-00(884) ON PEACHTREE RD AND REVISE MASTER UNIT 5 AND MASTER COMMON ELEMENTS.
2) CREATE MASTER COMMON ELEMENTS PARCEL BY REMOVING MAPLE ROAD FROM MASTER UNIT 2.
3) REMOVE MASTER ADDITIONAL PROPERTY PARCELS.
4) ADD MASTER UNIT 1 TO 1.2 ACRE PARCEL AND REMOVE PAVO NOTE.

THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.G.G.A. SECTION 15-6-67.

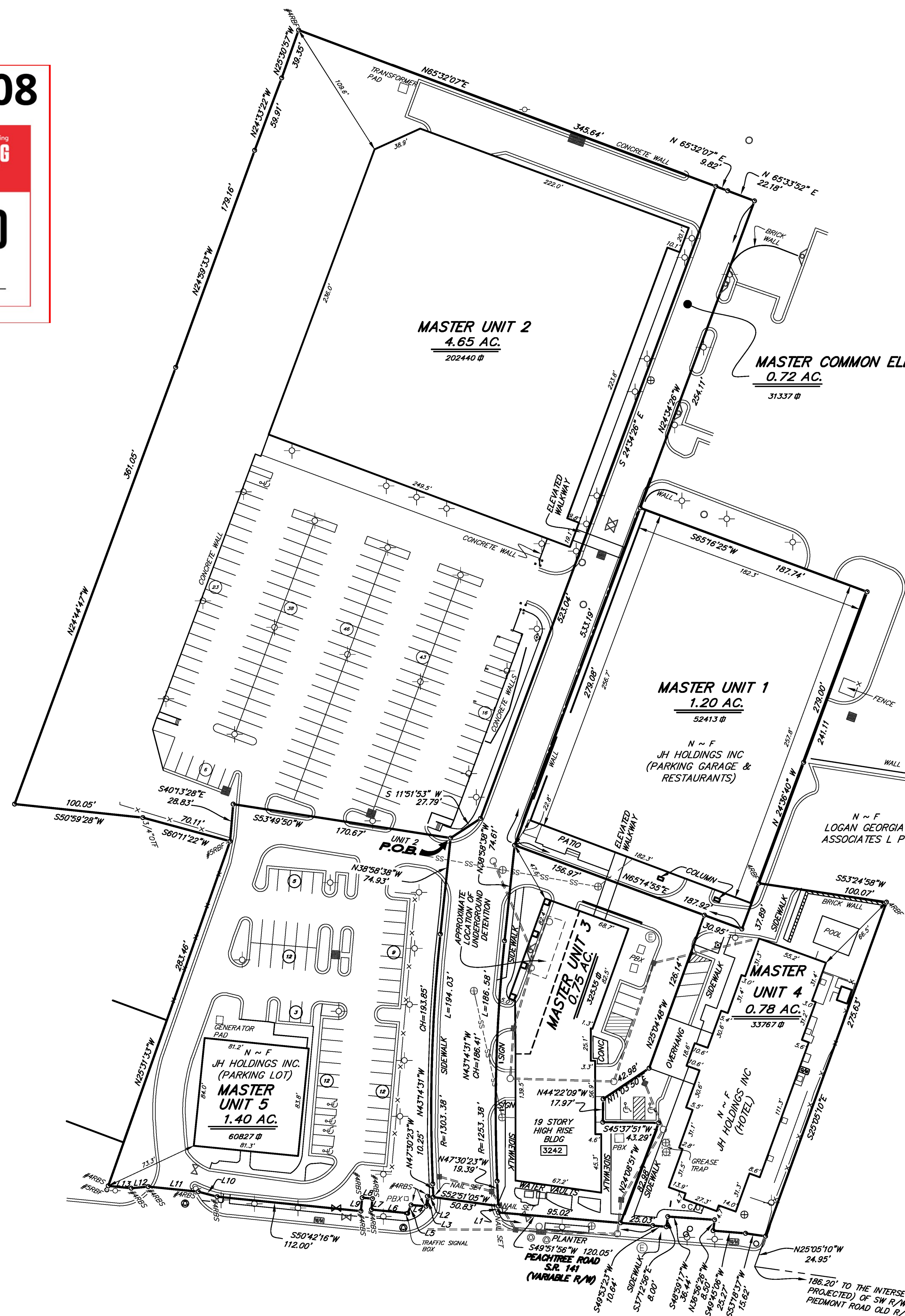
FOR ORIGINAL SEE CONDO PLAT BOOK 21, PG. 19

NAME: CHRISTOPHER A. EVANS

CHRISTOPHER A. EVANS, A REGISTERED LAND SURVEYOR DO HERBY CERTIFY THAT THIS PLAT IS ACCURATE AND COMPLIES WITH THE PROVISIONS OF SECTION 44-3-83(G) OF THE GEORGIA CONDOMINIUM ACT

FOR ORIGINAL SEE CONDO PLAT BOOK 21, PG. 19

NAME: CHRISTOPHER A. EVANS



LINE TABLE with columns: LINE#, BEARING, DISTANCE. Lists lines L1 through L13 with their respective bearings and distances.



10/13/21 FOR REVISION ONLY

SEE REV NOTE 10/13/2021

Table with columns: DATE, SCALE, DRAWN BY, CHECKED BY, FIELD BOOK, REVISIONS, and CONDOMINIUM PLAT. Includes revision details and project information.



CONDOMINIUM PLAT
BUCKHEAD PLACE,
A MASTER CONDOMINIUM
LOCATED IN L.L. 61 & 62
17th DISTRICT
CITY OF ATLANTA
FULTON COUNTY, GA.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED, THUS DEEMING THEM UNDETERMINED AND NOT SHOWN. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X, ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER # 135157, MAP NUMBER # 13121 C 0251 E DATED JUNE 22, 1999 # 13121 C 0253 E DATED JUNE 22, 1999.

THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER. LINEAR PRECISION OF TRAVERSE: 1/10,000; ANGULAR ERROR: 3" PER POINT. THE TRAVERSE WAS ADJUSTED USING THE COMPASS RULE. LINEAR PRECISION OF THIS PLAT: 1/102,572. MATTERS OF TITLE ARE EXCEPTED.



Vertical text on the right edge: Printed on Oct 13, 2021 - 4:58pm Drawing name: S:\buckhead\PLAT\1712_0061\3242 peachtree rd\map\as-built_survey.dwg



APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)

For SPI, Beltline, LW, MR, MRC, NC, I-Mix Zoning Districts & Unified Development Plans File No. City of Atlanta, Office of Zoning and Development (404-330-6145)



APPLICANT (name) Buckhead Place LLC c/o The Galloway Law Group, LLC

ADDRESS 4062 Peachtree Rd., Suite A330, Atlanta 30319

PHONE NO. 404-965-3669 EMAIL laurel@glawgp.com

PROPERTY LANDOWNER Buckhead Place LLC c/o Sam Wilmoth

ADDRESS 3715 Northside Parkway, NW Bldg 400-100 Atlanta, GA 30327

PHONE NO. (404) 846-4016 EMAIL swilmoth@cororealty.com

ADDRESS OF PROPERTY 3234 Peachtree Rd. (17 00610002050)

Land District 17 Land Lot 006 Council District 7 NPU B

Is property within the BeltLine Overlay District? Yes No Zoning Classification PD-OC, SPI-9 SA4

Is Inclusionary Zoning applicable to this project? Yes No Is this a Unified Development Plan? Yes No

Submittal Checklist (See detailed checklist on page 2):

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit one (1) copy. Lot consolidation, re-platting or subdivision may be required prior to approval of SAP.
- Site Plan** (released for construction and sealed) **and Building Elevations:**
 - a. **Initial Submission: One(1) site plan & One (1) set of elevations.**
 - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form (page 4).
- Notice to Applicant:** Submit attached form with signature and date (page 10).
- Development Controls Specification Form:** Provide the applicable information (pages 7 - 9).

Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.
- Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000.
- Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date 5/3/2023 Signature of Applicant [Signature]

Additional Submittal Requirements (as applicable):

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Review and complete pages 11-12 of this SAP for certification forms.
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Applicant must send a copy of the filed SAP application to the NPU contact. Afterwards, complete the Notarized Affidavit of NPU Notification form (page 6), and provide a copy of U.S. Postal Service Certificate of Mailing. The NPU has up to 21 days to review the SAP and forward comments to the City.
- **Pre-application Conference with Zoning and Development Staff (prior to SAP submittal):** Required only for SPIs: 1, 9, 12, 15, 17, 18, 20, 21, 22 and *recommended* for all other districts. To request this meeting, contact Christian Olteanu at 404-330-6961 or colteanu@atlantaga.gov.
- **Development Review Committee (DRC):** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review (See page 3).
- **Development of Regional Impact (DRI) Study:** Mixed-use developments with at least 700,000 s.f. or residential with at least 700 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
 - **Initial submission:** DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is **REQUIRED** for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: www.atlantawatershed.org/greeninfrastructure
- **Unified Development Plans:** Applicable to all zoning districts except R-1 to R-5, RLC, PD, & historic bldgs/districts (Section 16-28.030)

The City Code provides that Zoning and Development Director shall review each request for an SAP within 30 days of a filing of a **completed*** application. (Atlanta Code Chapter 16, Section 16-25). * **Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.**

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was approved or denied on _____ See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.

Signed for Director, Office of Zoning & Development

Staff Reviewer - Print Name

June 15, 2023

VIA ELECTRONIC MAIL

Ms. Keyetta Holmes, AICP
Director, Office of Zoning and Development
55 Trinity Ave, Suite 3350
Atlanta, GA 30303

Re: SAP Application for Buckhead Place



Dear Keyetta:

Please find attached a Special Administrative Permit application for Buckhead Place, located in the northwest quadrant of the intersection of Peachtree and Piedmont Roads.

Project Description

Buckhead Place LLC requests this SAP in order to begin construction in the area at the south of its Peachtree Road entrance and to update its Master Plan to include the proposed construction. The Applicant proposes the construction of an approximately 5,200 square foot restaurant building fronting Peachtree Road with utilities, and storm drainage infrastructure and associated parking (see SAP Plan and Application attached). The restaurant will not have a drive-through. Some existing landscaping is planned to remain and be protected. New landscaping is planned to be installed throughout the property as part of the redevelopment. Note that the development data regarding square footage, open space, building heights, etc. is stated in either the totals for the Master Plan update or the SAP Plan as appropriate. The Applicant also presents a variation request regarding streetscape requirements as outlined below.

Master Plan Update

In September 2008, Buckhead Place was zoned to the PD-OC zoning classification by the Atlanta City Council conditioned on a site plan dated September 24, 2008 (hereinafter "2008 Site Plan"). The City Council final action legislation and 2008 Site Plan are attached for your reference. The Master Plan has been updated over the years to reflect subsequent SAP application approvals, the most recent occurring in March 2021 (see updated Buckhead Place Master Plan dated March 4, 2021, for your reference). The proposed restaurant building that is the subject of this SAP is in substantial conformity with the updated Buckhead Place Master Plan and has several features that significantly improve the quality of the development.

The proposed new building is substantially less than the commercial square footage shown in this area on the 2008 Site Plan and subsequent amendments. As a result, the square footage totals have been adjusted to show a redistribution of that square footage elsewhere on the site for potential future development (see attached revised Master Plan signed May 8, 2023). We will of



course submit more specific SAP plans for the future development when it occurs. The Applicant respectfully requests that the Buckhead Place Master Plan be revised to reflect this SAP's proposed development should it be approved.

Variation Request

The Applicant also requests approval of a variation from the streetscape requirements in Section 16-18I.015 and Section 16-18I.016 to allow the recently constructed existing streetscape to remain.

The existing sidewalk within the Peachtree Road right of way was recently constructed late in 2022 as part of the Peachtree Road Complete Street improvement project by the Buckhead CID, GDOT and the City of Atlanta. However, the recently built sidewalk does not meet the dimensional requirements of the above listed code sections. Since this sidewalk was very recently built along with other streetscape improvements (e.g., street lighting), it is requested that this sidewalk be allowed to stay in place and not be removed and replaced for several reasons. First, there are numerous utilities in the right-of-way that would require relocation if the full sidewalk, amenity zone and supplemental zone widths listed in the above reference code sections were to be required. These utilities include street lighting poles and wiring, traffic signal cables, traffic signal pole masts, underground communication lines, water lines, electric lines, gas lines, etc. Nor is there sufficient right-of-way to fit the full sidewalk, amenity zone and supplemental zone widths listed in the above reference code sections. Second, the existing ground slopes up into the site from Peachtree Road. If the full sidewalk, amenity zone and supplemental zone widths listed in the above reference code sections were to be required, then significant grading and retaining walls would likely be required to be implemented to account for the grade difference between the site and Peachtree Road, requiring an undesired barrier between the building and the pedestrian streetscape.

The essential urban nature of this proposed project and the provision of pedestrian-friendly access support the intent of the SPI-9 District. As described above, the proposed development is designed to meld with and enhance the overall Buckhead Place mixed-use project.

If you have any questions, please do not hesitate to call me.

Sincerely,

THE GALLOWAY LAW GROUP, LLC

A handwritten signature in blue ink that reads "Laurel David".

Laurel A. David
[via electronic signature]

City Council final action legislation and 2008 Site Plan



FINAL COUNCIL ACTION
 2nd
 1st & 2nd
 3rd
 Readings
 Consent
 V Vote
 RC Vote

CERTIFIED

DEC 0 1 2008

CERTIFIED
 DEC 0 1 2008
Rachel Douglas Johnson
 MUNICIPAL CLERK

MAYOR'S ACTION

APPROPRIATE
Andy Hunt
 12/01/08
 MAYOR

Committee Date Chair Referred To ZONING Nov. 28, 2007 Christopher A.	First Reading Committee Date Chair Referred To ZONING Nov. 28, 2007 Christopher A.	Committee Date Chair Action Fav, Adv, Hold (see rev. side) Other Members Refer To	Committee Date Chair Action Fav, Adv, Hold (see rev. side) Other Members Refer To
Committee Date Chair Referred To ZONING Nov. 28, 2007 Christopher A.	Committee Date Chair Action Fav, Adv, Hold (see rev. side) Other Members Refer To	Committee Date Chair Action Fav, Adv, Hold (see rev. side) Other Members Refer To	Committee Date Chair Action Fav, Adv, Hold (see rev. side) Other Members Refer To

07-0-2526
 (Do Not Write Above This Line)

AN ORDINANCE Z-07-109
 BY: ZONING COMMITTEE

An ordinance to rezone from the C-1-C (Community Business-Conditional) District to the PD-OC (Planned Development-Office Commercial) District., property located at 3312-3316 Piedmont Road, N.E. and 3232-3242 Peachtree Road, N.E., fronting approximately 300 feet on the west side of Piedmont Road and approximately 480 feet on the north side of Peachtree Road. Depth: varies. Area: approximately 13.1139 acres. Land Lots 61 and 62, 17th District, Fulton County, Georgia. OWNER: J.H. HOLDINGS, INC. APPLICANT: J.H. HOLDINGS, INC NPU-B COUNCIL DISTRICT 7

CONSENT REFER
 REGULAR REPORT REFER
 ADVERTISE & REFER
 1st ADOPT 2nd READ & REFER
 PERSONAL PAPER REFER

Date Referred 12/03/07
 Referred To: Zoning ZFB
 Date Referred
 Referred To: ADOPTED BY
 Date Referred DEC 0 1 2008
 Referred To:

COUNCIL



City Council
Atlanta, Georgia

07-0-2526

Z-07-109

Date Filed: 11-2-07

AN ORDINANCE
BY: ZONING COMMITTEE

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF ATLANTA, GEORGIA, as follows:

SECTION 1. That the Zoning Ordinance of the City of Atlanta be amended, and the maps established in connection therewith be changed so that the following property located at **3312-3316 Piedmont Road, N.E. and 3232-3242 Peachtree Road, N.E.**, be changed from the C-1-C (Community Business-Conditional) District to the PD-OC (Planned Development-Office Commercial) District, to wit:

ALL THAT TRACT or parcel of land lying in Land Lots 61 and 62, 17th District, Fulton County, Georgia, being more particularly described by the attached legal description and/or survey.

SECTION 2. That this amendment is approved under the provisions of Chapter 19 entitled, "Planned Development District", and Chapter 19A through Chapter 19D (as applicable) of the Zoning Ordinance of the City of Atlanta, and the Director, Bureau of Buildings, shall issue a building permit for the development of the above described property only in compliance with the applicable provisions of these Chapters and with the attached conditions.

SECTION 3. That the maps referred to, now on file in the Office of the Municipal Clerk, be changed to conform with the terms of this ordinance.

SECTION 4. That all ordinances or parts of ordinances in conflict with the terms of this ordinance are hereby repealed.

A true copy,
Municipal Clerk

ADOPTED by the Council
APPROVED by the Mayor

DEC 01, 2008
DEC 09, 2008

Amended Conditions

for

Z-07-109 for 3312-3316 Piedmont Road, N.E and 3232-3242 Peachtree Road, N.E.

1. Site plan - Level P3 entitled "Buckhead Place Master Site Plan for PD-OC Zoning" (Site Plan) dated September 24, 2008 and stamped received by the Bureau of Planning September 25, 2008.
2. The Property shall be developed as depicted on the Site Plan dated September 24, 2008 entitled "Buckhead Place Master Site Plan for PD-OC Zoning", prepared for Coro Realty Advisers, LLC by MSTSD, received by the Bureau of Planning on September 26, 2008, and attached hereto as Exhibit "B-1", which shows development of a total of 740,795 gross square feet of nonresidential uses and development of 499,205 gross square feet of residential uses in multiple buildings (hereinafter the "Site Plan").
3. J. H. Holdings shall provide adequate parking for construction workers. At no time shall construction related vehicles park on West Shadowlawn Avenue or within the Buckhead Forest subdivision, or use the subdivision's streets for delivery of construction materials. Construction staging shall not take place within the Buckhead Forest neighborhood. Instead, construction staging for the project (including all equipment, vehicles, materials storage and construction parking) shall occur entirely on the site or on commercially zoned property with the written permission of the property owner. J.H. Holdings shall prepare a Transportation Management Plan (TMP) to be approved by the City of Atlanta prior to and land disturbing activities and shall cause its contractors and subcontractors to follow such TMP. J.H. Holdings shall provide a copy of the TMP to the Buckhead Forest neighborhood association and NPU-B and shall confirm its compliance with this requirement in writing to the City. For construction activities that generate noise as defined in the City of Atlanta Noise Control Ordinance #74-137.4, working hours on the Property shall be restricted to the following:

Weekdays:	7:30 a.m. – 7:00 p.m.
Saturdays:	9:00 a.m. – 6:00 p.m.
Sundays:	Noon – 6:00 p.m.
4. During construction, J.H. Holdings shall ensure that there are adequate construction dumpsters and provide that such dumpsters will be emptied on a regular basis. Such dumpsters shall be placed a minimum of 200 feet from any single-family zoned property as to minimize any construction debris from landing on the adjacent single-family property.
5. During the period of construction, the developer will notify the presidents of Buckhead Forest neighborhood and the Chair of the Zoning Committee of NPU-B of a contact name and that contact person's cell phone number which will be answered 24 hours a day, 7 days a week regarding problems with the construction.
6. In its sale and lease documentation for the Property, J.H. Holdings agrees to prohibit use of any portion of the Property west of Driveway #1 (Maple Drive Extension) as shown on the Site Plan for a nightclub as such term is defined by the City of Atlanta Code of Ordinances.

7. The text of these Conditions of Zoning shall be printed on or contained within the notes of any set of construction and building permit site plans approved for the development.
8. The dumpster area for Building A as shown on the Site Plan: (i) shall be screened to the west by an extension of Building A or a solid wall; or (ii) shall be located under cover (i.e., within the parking deck or under the building).
9. J.H. Holdings, or its successors, shall design the storm water detention structure(s) so that the rate of runoff of storm water from the site for up to a 100-year storm shall not exceed seventy percent (70%) of the rate of flow for runoff in a predeveloped state. During construction, storm water runoff shall be limited to a rate not greater than pre-construction rate of runoff. In addition, J.H. Holdings, or its successors, agrees to install a storm water treatment system designed to screen or filter oil and other impurities from the storm water. J.H. Holdings shall provide as-built drawings of the storm water detention structure(s) and storm water treatment system to Buckhead Forest within ninety (90) days of the completion of construction. J.H. Holdings, or its successors, shall make commercially reasonable efforts to reuse storm water for at least a portion of the irrigation needs for the development. J.H. Holdings, or its successors, shall be responsible for annual inspection and maintenance of the storm water treatment system, detention structure(s) and related treatment equipment and shall provide a copy of said report to the City of Atlanta Bureau of Planning and to Buckhead Forest.
10. The proposed parking deck located adjacent to the seventy-five (75) foot natural undisturbed buffer shall be constructed substantially in accordance with the plans and elevations (the "Parking Deck Drawings") attached hereto as Exhibit "B-2". Any open spaces on the western side of the proposed parking deck located immediately adjacent to the seventy-five foot (75') undisturbed buffer as shown on the Site Plan ("Buffer Area") shall be screened from view, utilizing decorative metal grids or louvers. Lighting within the above-referenced parking deck shall not use fluorescent or high pressure sodium light fixtures. Lighting within the above-referenced parking deck shall be positioned so that the light sources are screened and not directly visible from the western property line of the Property adjacent to the single-family detached houses along West Shadowlawn Avenue.
11. There shall be no pole lighting located on any portion of the proposed parking deck located adjacent to the Buffer Area.
12. The height of any proposed building with the exception of Building A as depicted on the Site Plan located west of Driveway #1 on the Site Plan (the Maple Drive extension) and adjacent to the Buffer Area shall not exceed fifty (50) feet in height as measured from the average elevation of the ground adjacent to metal sound fence located within the Buffer Area.
13. There shall be no curb cut from the development onto West Shadowlawn Avenue.
14. No dry cleaning plants shall be allowed west of Driveway #1 on the Site Plan (the Maple Drive Extension). Dry cleaning facilities for the dropping off and picking up of clothes are permitted.

SAP-23-108

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 06/23/2023

15. The use of the 75-foot Buffer Area shown along the western property line on the Site Plan shall be undisturbed.
16. J.H. Holdings shall provide the maximum of either: (a) fifty (50) bicycle parking spaces; or (b) the number of bicycle parking spaces required by the City of Atlanta, whichever is greater. These spaces shall be located as close as practicable to the buildings while, in the developer's sole discretion, maintaining the architectural integrity of the buildings and their landscaping and hardscaping schemes.
17. J.H. Holdings shall attempt to utilize pervious paving materials with pervious joints where such materials are economically practicable.
18. Buffer areas and protected trees within 100 feet of active construction areas on the site shall be marked using temporary tree save fencing no less than four feet in height prior to and maintained during the period of construction. All erosion control measures shall be installed outside any undisturbed buffer. J.H. Holdings shall provide adequate irrigation for all landscape modules.
19. No building permit (other than a permit limited to grubbing, grading, the installation of new or changes in modifications to existing site infrastructure, including alteration of existing interior roadways) shall be issued permitting the construction of any buildings without written assurance from the City of Atlanta's Commissioner of Public Works that sewer capacity is available and reserved for the site, or will be available to and reserved for the site prior to the completion of construction.
20. Principal uses shall be as specified on the Site Plan and all applicable conditions. Development permission for each use shall not exceed the intensities and maximum heights shown on the Site Plan.
21. The combined residential/non-residential FAR of the development shall not exceed 2.1.
22. J.H. Holdings agrees that during and after construction, no devices used for landscape maintenance or the cleaning of drives or parking structures shall be allowed to operate past 8:00 p.m., or before 7:30 a.m. on weekdays and before 10:00 a.m. on Saturdays and Sundays.
23. All dumpsters will be screened from public rights-of-way.
24. Exterior lighting on buildings and the parking deck shall be designed, shielded and constructed so as to minimize light spill over into single-family areas.
25. J.H. Holdings shall request that the City re-time and coordinate the traffic signals in the vicinity of the Property to optimize traffic progression and that transportation impact fees from this development be used for such work. Evidence of compliance with this condition shall be provided in writing to the Bureau of Planning prior to issuance of a Certificate of Occupancy.



26. Walkways and other connective measures will be designed to connect and unify the development with existing and planned walkways as well as within the development.
27. These Conditions of Zoning shall be binding upon all successors and assigns of J.H. Holdings. The subdivision, sale, or partition of all or any part of this Property shall not alter the obligation of all owners of the Property to comply with these Conditions of Zoning. J.H. Holdings will not request any administrative amendment without providing evidence that notice of such request has been given to the Chair of the Zoning Committee of NPU-B which seeks to:
 - (a) increase the square footage of any building or the number and/or location of parking spaces; except as provided in Paragraph 1;
 - (b) change any of the uses or location of said uses specified except as provided in Paragraph 1;
 - (c) decrease any exterior setback or the amount of landscaped area;
 - (d) materially reduce public access or public spaces; or
 - (e) otherwise materially alter these conditions.
28. J.H. Holdings will have the right to request administrative changes without such notification so long as such changes are required to comply with technical permitting requirements of the City of Atlanta or to address site conditions.
29. J.H. Holdings shall receive Park Impact Fee credit against the payment of impact fees equivalent to the cost of the Alberta Terrace Cul-de-Sac improvements and Mathieson Drive Cul-de-Sac improvements as generally shown on the conceptual plans attached hereto as Exhibit "B-4" but which are subject to final approval by the Department of Parks, Recreation & Cultural Affairs and the Department of Public Works. J. H. Holdings shall submit construction cost information in writing to the Bureau of Buildings for costs actually incurred to receive credit for such expenses. In the event that the cost of the improvements exceed the amount of the impact fee, credits to be used in the future will be issued. In no event shall the City be obligated to pay any costs associated with any improvement.

30. J.H. Holdings shall receive Transportation Impact Fee credit against the payment of impact fees equivalent to the cost of : (a) the installation of a raised median on Piedmont Road from Peachtree Road to Site Driveway #4 (Tower Place) as shown on the median concept drawing submitted on July 23, 2008 to GRTA and GDOT and included in the revised Notice of Decision for DRI # 1652 Buckhead Place; (b) the required turn lanes and widening of Peachtree Road pursuant to the revised Notice of Decision for DRI #1652 Buckhead Place; (c) traffic calming measures at the intersection of West Shadowlawn Avenue, N.E. and Mathieson Drive as depicted on the conceptual plans attached hereto as Exhibit "B-5" but which are subject to final approval by the Department of Public Works; and (d) the redesign and installation of improvements for the intersection of Tower Place Drive and Piedmont Road. J. H. Holdings shall submit construction cost information in writing to the Bureau of Buildings for costs actually incurred to receive credit for such expenses. In the event that the cost of the improvements exceed the amount of the impact fee, credits to be used in the future will be issued. In no event shall the City be obligated to pay any costs associated with any improvement.

SAP-23-108





EXHIBIT "B-4"

Conceptual Plan:

for Mathieson Drive/Alberta Terrace
Cul-de-sac Improvements

Prepared for: Coro Development, LLC.
Prepared by: Roy Ashley and Associates, Inc.
September 22, 2008
N.T.S.
RAAF27038

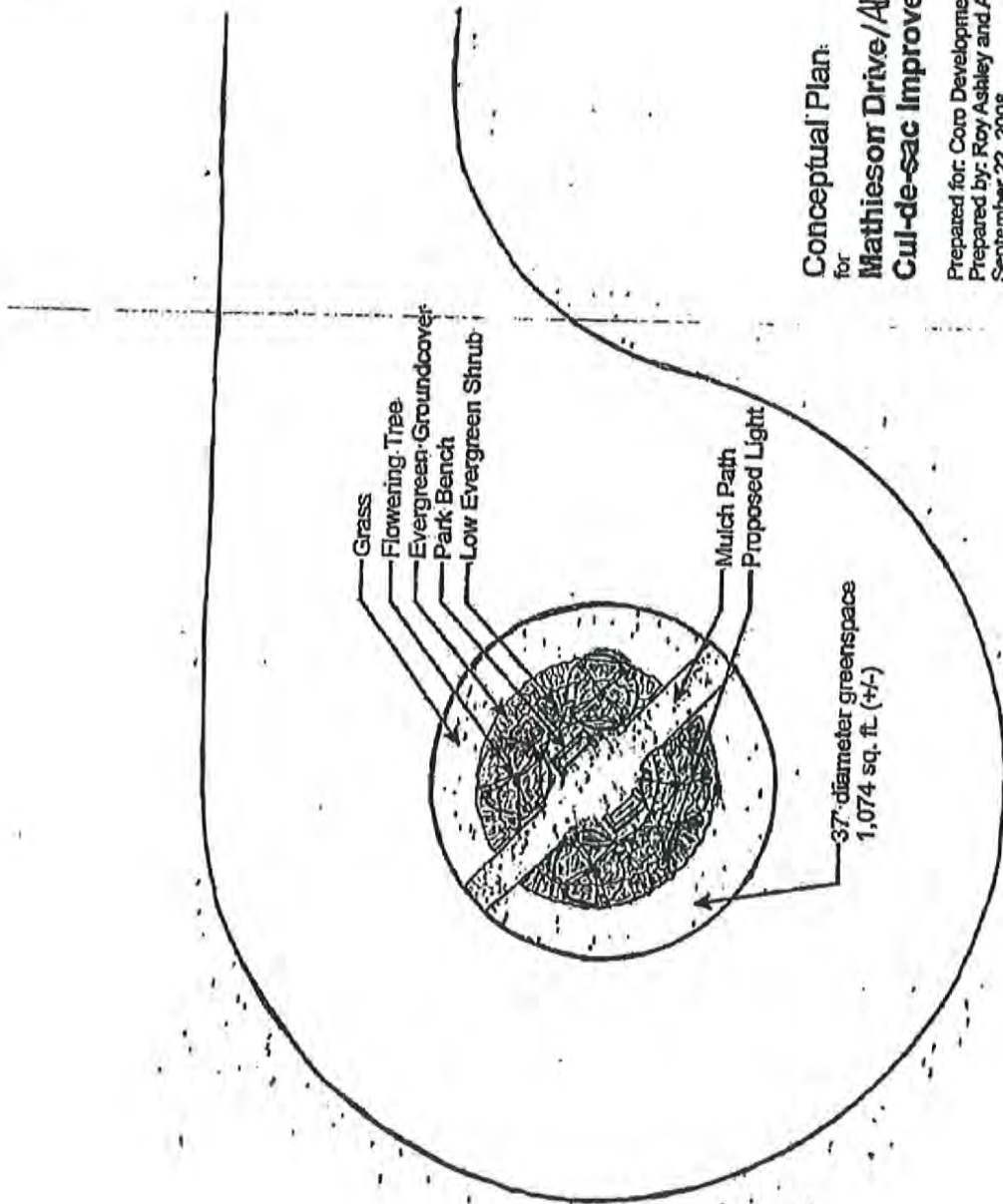


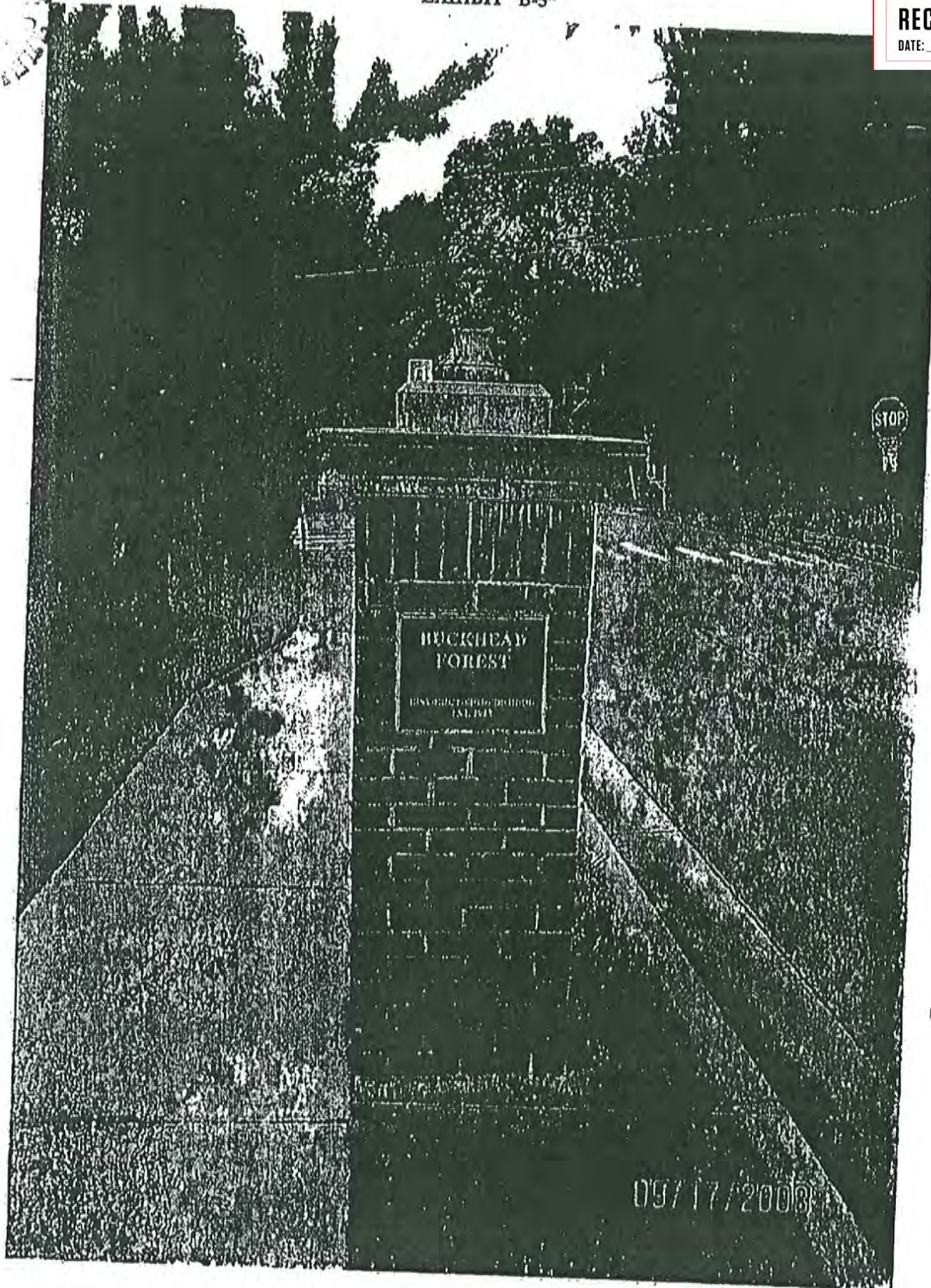
EXHIBIT "B-5"

SAP-23-108

CITY OF TAMPA
OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

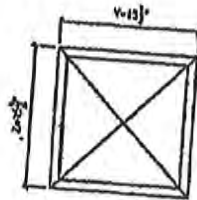
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09/17/2008



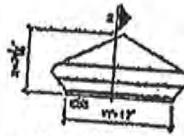
EXHIBIT "B-5"



TOP VIEW

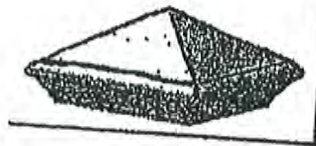


VERTICAL SECTION



FRONT VIEW

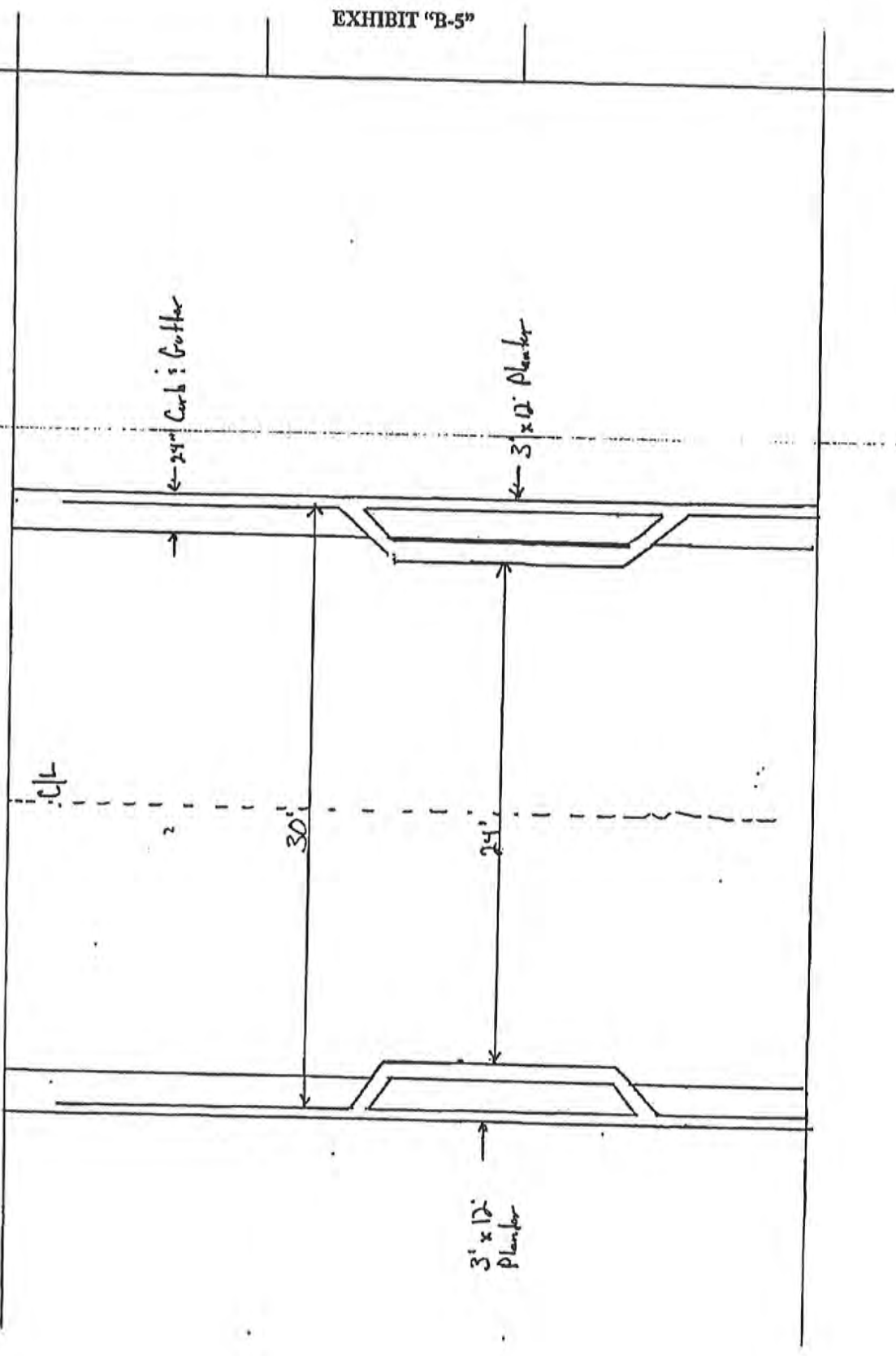
LINE 12/12



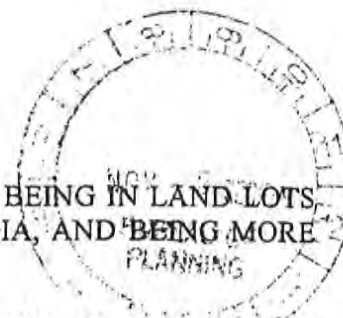
Close Window

EXHIBIT "B-5"

STAEDTLER® No. 937 811E
Engineer's Computation Pad



**LEGAL DESCRIPTION
BUCKHEAD PLACE**



ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS, 61 AND 62, 17TH DISTRICT, FULTON COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF PEACHTREE ROAD/S.R. 141 (80' RIGHT-OF-WAY), AS LOCATED 186.20' SOUTHWESTERLY OF THE INTERSECTION OF SAID RIGHT-OF-WAY LINE (IF PROJECTED) WITH THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF PIEDMONT ROAD/S.R. 237 (R.W WIDTH VARIES); THENCE, ALONG SAID PEACHTREE ROAD RIGHT-OF-WAY LINE THE FOLLOWING CALLS: SOUTH 53 DEGREES 04 MINUTES 56 SECONDS WEST A DISTANCE OF 225.21 FEET TO A POINT, SOUTH 51 DEGREES 02 MINUTES 08 SECONDS WEST A DISTANCE OF 49.79 FEET TO A POINT AND SOUTH 50 DEGREES 44 MINUTES 37 SECONDS WEST A DISTANCE OF 231.06 FEET TO A POINT; THENCE, LEAVING SAID RIGHT-OF-WAY LINE, NORTH 25 DEGREES 29 MINUTES 55 SECONDS WEST A DISTANCE OF 286.72 FEET TO A POINT; THENCE SOUTH 60 DEGREES 13 MINUTES 45 SECONDS WEST A DISTANCE OF 69.96 FEET TO A POINT; THENCE SOUTH 50 DEGREES 59 MINUTES 08 SECONDS WEST A DISTANCE OF 100.08 FEET TO A POINT; THENCE NORTH 24 DEGREES 42 MINUTES 30 SECONDS WEST A DISTANCE OF 361.19 FEET TO A POINT; THENCE NORTH 24 DEGREES 54 MINUTES 35 SECONDS WEST A DISTANCE OF 179.07 FEET TO A POINT; THENCE NORTH 24 DEGREES 27 MINUTES 30 SECONDS WEST A DISTANCE OF 59.93 FEET TO A POINT; THENCE NORTH 25 DEGREES 35 MINUTES 04 SECONDS WEST A DISTANCE OF 39.29 FEET TO A POINT; THENCE NORTH 65 DEGREES 35 MINUTES 06 SECONDS EAST A DISTANCE OF 355.46 FEET TO A POINT; THENCE NORTH 65 DEGREES 36 MINUTES 51 SECONDS EAST TO A DISTANCE OF 499.92 FEET TO A POINT ON SAID PIEDMONT ROAD RIGHT-OF-WAY; THENCE, ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING CALLS: SOUTH 22 DEGREES 24 MINUTES 58 SECONDS EAST A DISTANCE OF 207.20 FEET TO A POINT, SOUTH 23 DEGREES 11 MINUTES 50 SECONDS EAST A DISTANCE OF 25.70 FEET TO A POINT AND SOUTH 25 DEGREES 43 MINUTES 58 SECONDS EAST A DISTANCE OF 102.12 FEET TO A POINT; THENCE, LEAVING SAID RIGHT-OF-WAY LINE; SOUTH 53 DEGREES 47 MINUTES 21 SECONDS WEST A DISTANCE OF 289.93 FEET TO A POINT; THENCE SOUTH 24 DEGREES 33 MINUTES 21 SECONDS EAST A DISTANCE OF 99.94 FEET TO A POINT; THENCE NORTH 53 DEGREES 29 MINUTES 18 SECONDS EAST A DISTANCE OF 100.12 FEET TO A POINT; THENCE SOUTH 25 DEGREES 02 MINUTES 31 SECONDS EAST A DISTANCE OF 300.60 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 571,239 SQUARE FEET OR 13.1139 ACRES AS SHOWN ON BOUNDARY SURVEY FOR BRANCH

RCS# 2615
12/01/08
3:13 PM

Atlanta City Council

SPECIAL SESSION

MULTIPLE

,08-O-1464,1465,1466,1467,1168,1766,1272
08-O-2127,1898,1468,07-O-2526

ADOPT AS AMEND

YEAS: 14
NAYS: 0
ABSTENTIONS: 0
NOT VOTING: 1
EXCUSED: 1
ABSENT 0

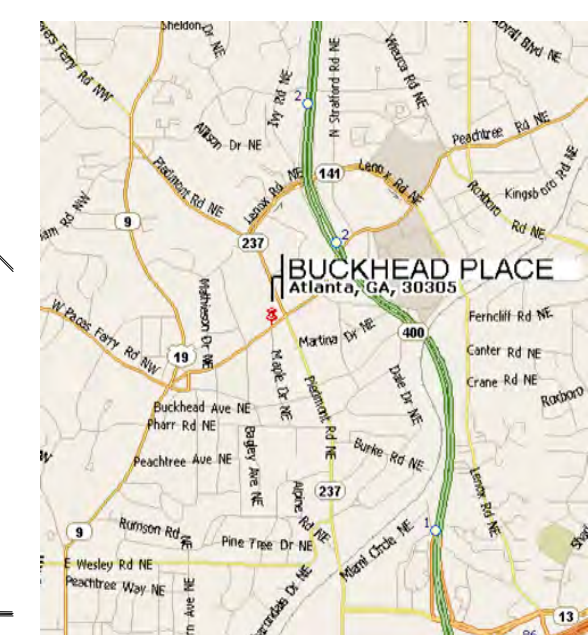
Y Smith	Y Archibong	Y Moore	Y Mitchell
Y Hall	Y Fauver	Y Martin	Y Norwood
Y Young	Y Shook	Y Maddox	Y Willis
Y Winslow	Y Muller	E Sheperd	NV Borders

MULTIPLE



BUCKHEAD PLACE MASTER SITE PLAN FOR PD-OC ZONING

11-2-07
9-24-08



VICINITY MAP
Scale: 1" = 2000' 0"

SITE PLAN LEGEND

- TREE
- NORTH ARROW
- SPOT ELEVATION
- BLDG ENTRANCE
- STREET BENCH
- BIKE/MOPED RACK
- TRASH CAN
- STREET LIGHT



BUCKHEAD PLACE RE-DEVELOPMENT - ZONING ANALYSIS			
A Development of CORO Realty Advisors for JH Holdings, Inc.			
September 25, 2008			
Current Zoning Classification:	C-1-C		
Proposed Zoning:	PD-OC		
Land Area (legal description):	566,097 SF	12.9558 Acres	
Gross Land Area (GLA) incl. adtl. public street:	608,854 SF	13.977 Acres	
1" Per A20 15-25.011(3)			
Floor Area Ratio	Max. or Reg'd.	Actual	Actual
F.A.R. - Residential	0.82	499,205 GSF	
F.A.R. - Commercial	1.22	740,795 GSF	
	3.25 Max.	2,040	1,243,000 GSF
Total Open Space Requirement*	Per 15-08.010	OK Above	
Square Feet	0.68	0.751	OK
Usable Open Space Requirement*	0.40	0.44	OK
Square Feet	243,542	267,035	OK

* Based on A20 15-08.010

PARKING & LOADING REQUIREMENTS	
DESCRIPTION	TOTAL
PARKING SPACES-EXISTING	1,130
PARKING SPACES-REQUIRED	2,268
PARKING SPACES-PROVIDED-TOTAL	2,343
LOADING SPACES-EXISTING	5
LOADING SPACES-REQUIRED	28*
LOADING SPACES-PROVIDED-TOTAL	17

BUILDING AREA	
DESCRIPTION	AREA
EXISTING RETAIL IN PARKING DECK	19,600 sf
BUILDING A	250,000 sf
BUILDING B	259,205 sf
BUILDING C	96,000 sf
BUILDING D	107,940 sf
BUILDING E	8,500 sf
BUILDING F	290,000 sf
BUILDING G	208,795 sf

TOTAL OPEN SPACE	
	FOOTPRINT (S.F.)
OFFICE (A)	16,000
APARTMENTS (B)	8,571
HYATT PLACE (C)	13,123
MARSHALLS/INSPIRENC (D)	49,846
RETAIL KIOSKS (E)	8,500
RESIDENTIAL (F)	18,635
HOTEL (G)	31,727
TOTAL	145,402
GROSS LAND AREA	608,854
TOTAL BUILDING FOOTPRINT	-145,402
TOSR PROVIDED	+463,452
GROSS LAND AREA	608,854
LUI FACTOR	X.44
TOSR REQUIRED	=414,021

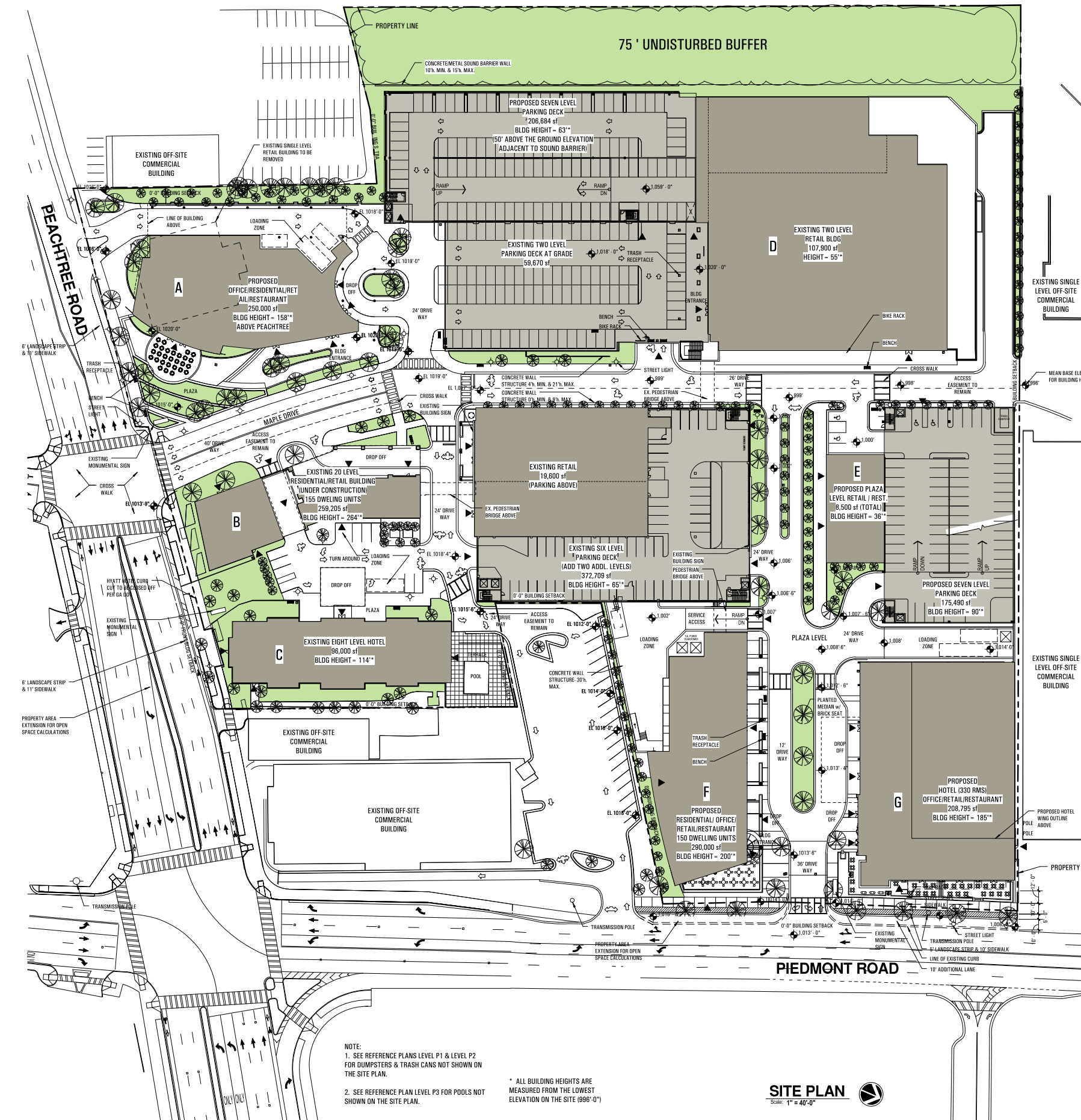
USABLE OPEN SPACE	
	TOTAL (S.F.)
BALCONIES: 16,924 (B) + 9,000 (F) =	25,924
ROOFTOP TERRACES / POOL DECK: 4,630 (B) + 6,972 (F) + 10,000 (G) =	21,602
LOBBIES: 2,200 (A) + 1,851 (B) + 3,000 (C) + 2,385 (F) + 6,928 (G) =	16,364
OTHER: 2,000 (BLDG. F RETAIL ARCADE)	2,000
TOTAL	66,090
GROSS LAND AREA	608,854
TOTAL BUILDING FOOTPRINT	-145,502
PARKING & DRIVEWAY AREA	-262,507
BALCONIES & ROOF TERRACES	=200,945
UOSR PROVIDED	=267,035
GROSS LAND AREA	608,854
LUI FACTOR	X.43
UOSR REQUIREMENT	=243,542

NOTE: OPEN SPACE AREA CALCULATED USES THE AREA WITHIN THE PROPERTY BOUNDARY LINES PLUS THE EXTENSION AREA REACHING CUT TO THE CENTER OF THE PEACHTREE ROAD AND PIEDMONT ROAD RIGHT OF WAYS AS ILLUSTRATED ON THE SITE PLAN.



SITE PLAN
LEVEL P3

ATLANTA, GA



NOTE:
1. SEE REFERENCE PLANS LEVEL P1 & LEVEL P2 FOR DUMPSTERS & TRASH CANS NOT SHOWN ON THE SITE PLAN.
2. SEE REFERENCE PLAN LEVEL P3 FOR POOLS NOT SHOWN ON THE SITE PLAN.

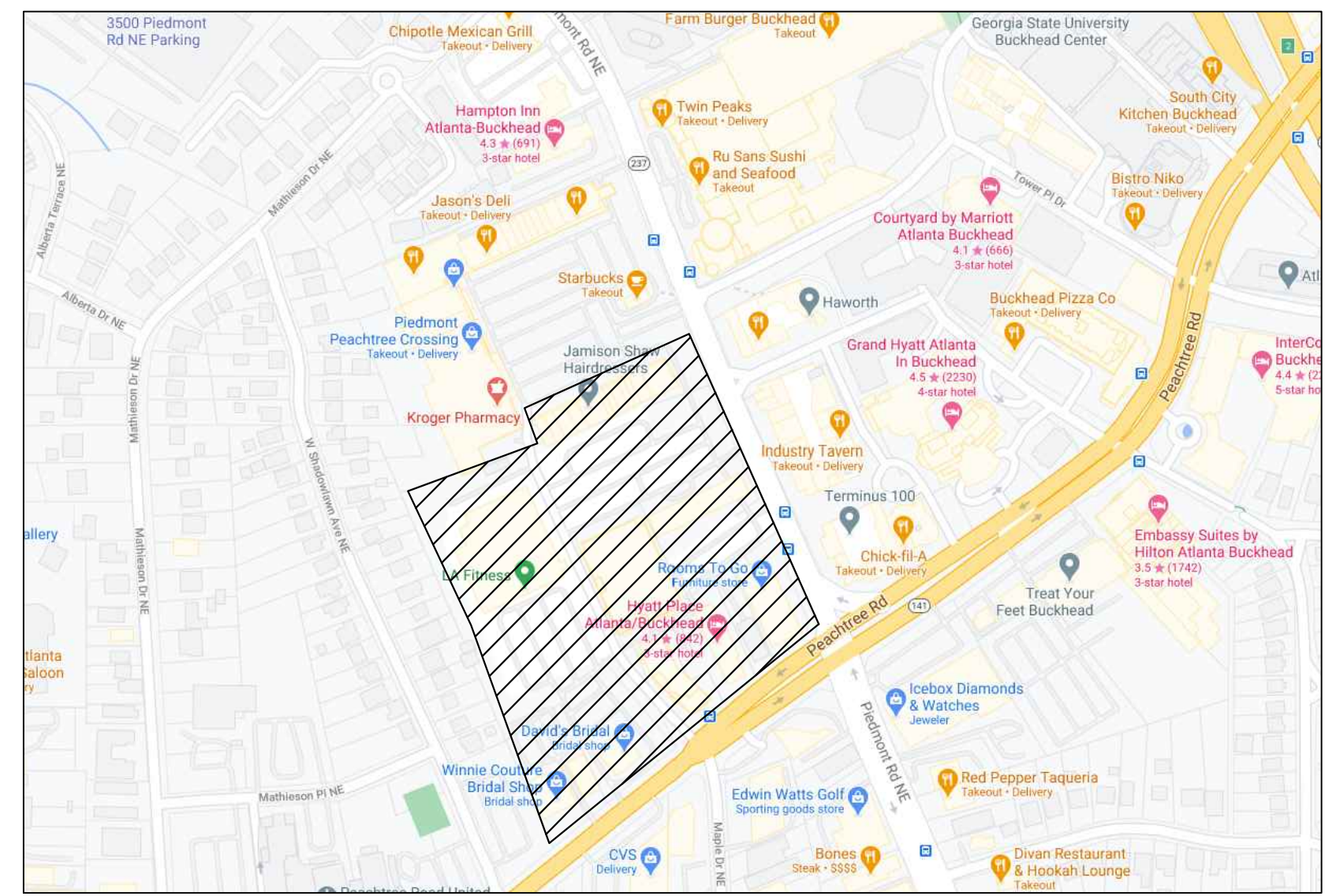
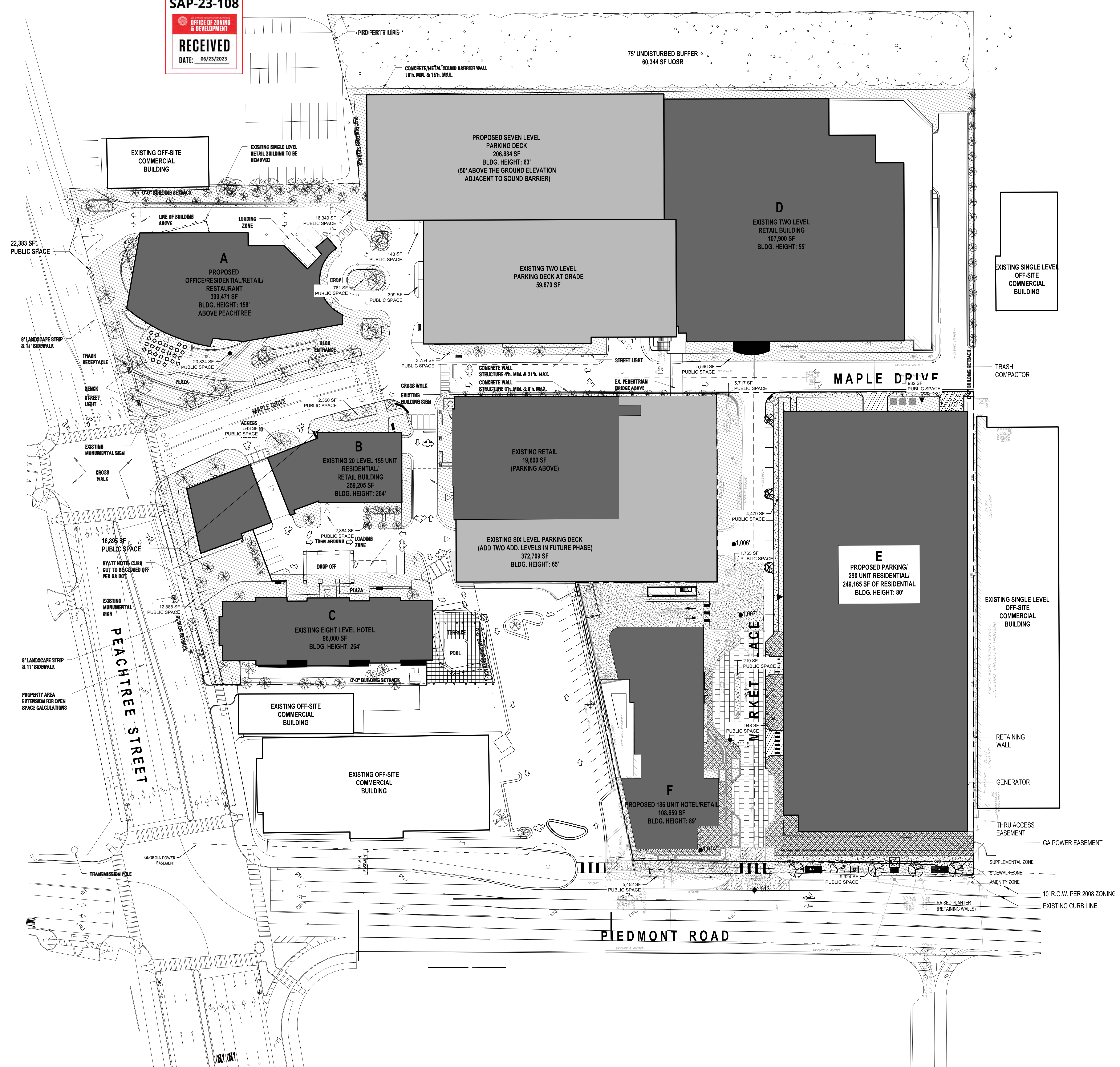
* ALL BUILDING HEIGHTS ARE MEASURED FROM THE LOWEST ELEVATION ON THE SITE (896'-0")

SITE PLAN

Scale: 1" = 40'-0"

Updated Buckhead Place Master Plan dated March 4, 2021

SAP-23-108
OFFICE OF ZONING & DEVELOPMENT
RECEIVED
 DATE: 06/23/2023



VICINITY MAP
 SCALE: N.T.S.

SITE PLAN LEGEND

	TREE		STREET BENCH
	NORTH ARROW		BIKE/MOPED RACK
	SPOT ELEVATION		TRASH CAN
	BLDG. ENTRANCE		STREET LIGHT
	BUILDING		PARKING DECK
	PUBLIC SPACE		

BUCKHEAD PLACE RE-DEVELOPMENT - ZONING ANALYSIS

A DEVELOPMENT OF CORO REALTY ADVISORS FOR JH HOLDINGS, INC.
 FEBRUARY 16, 2021

CURRENT ZONING CLASSIFICATION:	PD-OC	
PROPOSED ZONING:	SP19	
LAND AREA (LEGAL DESCRIPTION):	566,097 SF	12.996 ACRES
GROSS LAND AREA (GLA) - INCLUDING ADDITIONAL PUBLIC STREET:	608,854 SF	13.997 ACRES
*PER SP19	REQUIRED	PROVIDED
FLOOR AREA RATIO (PER SP19):	2.10	2.10
		1,240,000 NSF
USABLE OPEN SPACE REQUIREMENT:	0.20	0.30
		OK
SQUARE FEET:	113,219 SF	169,450 SF
PUBLIC SPACE REQUIREMENT:	0.50(UOSR)	0.62
		OK
SQUARE FEET:	56,610 SF	105,964 SF

BUILDING AREA

DESCRIPTION	TYPE	EXISTING	PROPOSED	FUTURE	TOTAL	
EXISTING RETAIL:	NR	19,600 SF	--	--	19,600 SF	
BUILDING A:	NR	--	--	399,471 SF	399,471 SF	
BUILDING B:	R	250,040 SF	--	--	250,040 SF	
	NR	9,165 SF	--	--	9,165 SF	
BUILDING C:	NR	96,000 SF	--	--	96,000 SF	
BUILDING D:	NR	107,900 SF	--	--	107,900 SF	
BUILDING E:	R	--	249,165 SF	--	249,165 SF	
BUILDING F:	NR	108,659 SF	--	--	108,659 SF	
TOTAL NR:		704,795 SF	TOTAL R:	499,205 SF	GRAND TOTAL:	1,240,000 SF

*NR = NON RESIDENTIAL; R = RESIDENTIAL

PARKING & LOADING REQUIREMENTS

DESCRIPTION	TOTAL
PARKING SPACES EXISTING:	1,192
MINIMUM SPACES ALLOWED:	1,777
MAXIMUM SPACES ALLOWED:	2,369
PARKING SPACES PROJECTED:	2,369
LOADING SPACES EXISTING:	13
LOADING SPACES REQUIRED:	17
LOADING SPACES PROJECTED:	17

USABLE OPEN SPACE

BREAKDOWN	EXISTING	PROPOSED	TOTAL
BALCONIES:	16,924 (B)	8,000 (E)	25,924 SF
ROOFTOP TERRACES / POOL DECK:	4,630 (B)	13,500 (E)	23,846 SF
LOBBIES:	1,254 (E)	3,000 (C)	4,851 SF
GROUND:	17,094 (F)	--	17,094 SF
TOTAL:	48,215 SF	31,493 SF	71,715 SF

PUBLIC SPACE SEC. 16-28.012

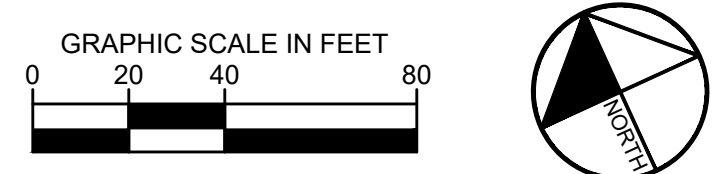
UOSR REQUIRED	113,219 SF
PUBLIC SPACE FACTOR X 0.50	56,610 SF
PUBLIC SPACE PROVIDED	106,183 SF

*SEE PLANS FOR LOCATIONS

NET LAND AREA	566,097 SF
TOTAL BUILDING FOOTPRINT	- 177,683 SF
PARKING & DRIVEWAY AREA	- 250,457 SF
BALCONIES/TERRACES/LOBBIES	+ 137,965 SF
UOSR PROVIDED	169,450 SF
NET LAND AREA	566,097 SF
UOSR FACTOR X 0.20	- 113,219 SF

TOTAL OPEN SPACE

BUILDING FOOTPRINT	TOTAL
BUILDING A:	16,000 SF
BUILDING B:	8,571 SF
BUILDING C:	13,123 SF
BUILDING D:	48,846 SF
BUILDING E:	75,494 SF
BUILDING F:	15,649 SF
TOTAL BUILDING FOOTPRINT:	177,683 SF
NET LAND AREA	566,097 SF
TOTAL BUILDING FOOTPRINT	- 177,683 SF
TOS PROVIDED	388,414 SF



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CORO REALTY ADVISORS
 5775 GLENRIDGE DRIVE, BUILDING D, SUITE 350
 ATLANTA, GA 30328
 PHONE: (770) 541-6910

CLIENT	BY	DATE

STEIN STEEL
 930 WILLOW AVENUE SE, ATLANTA, GA 30316
 LAND LOT 13, 14TH DISTRICT

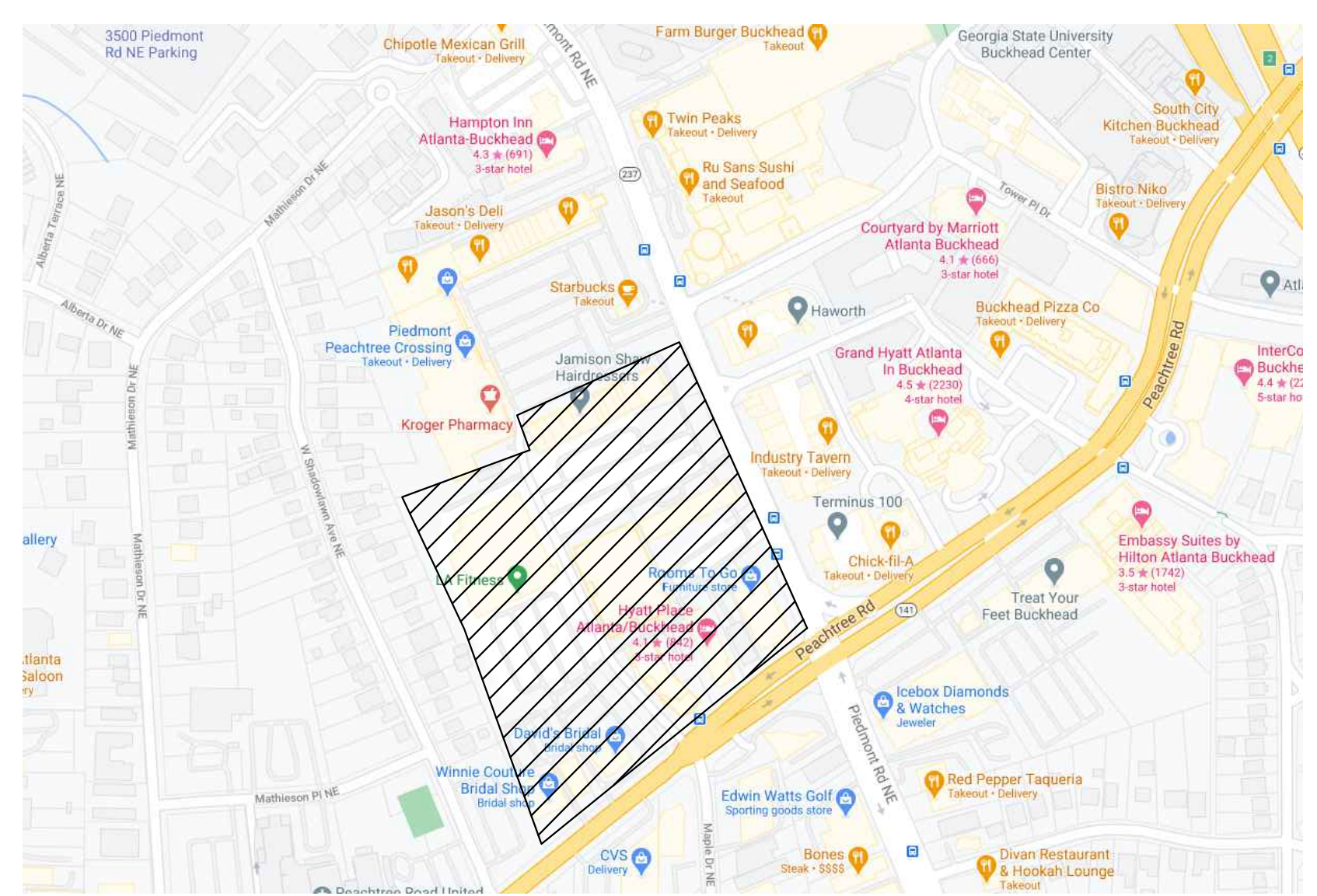
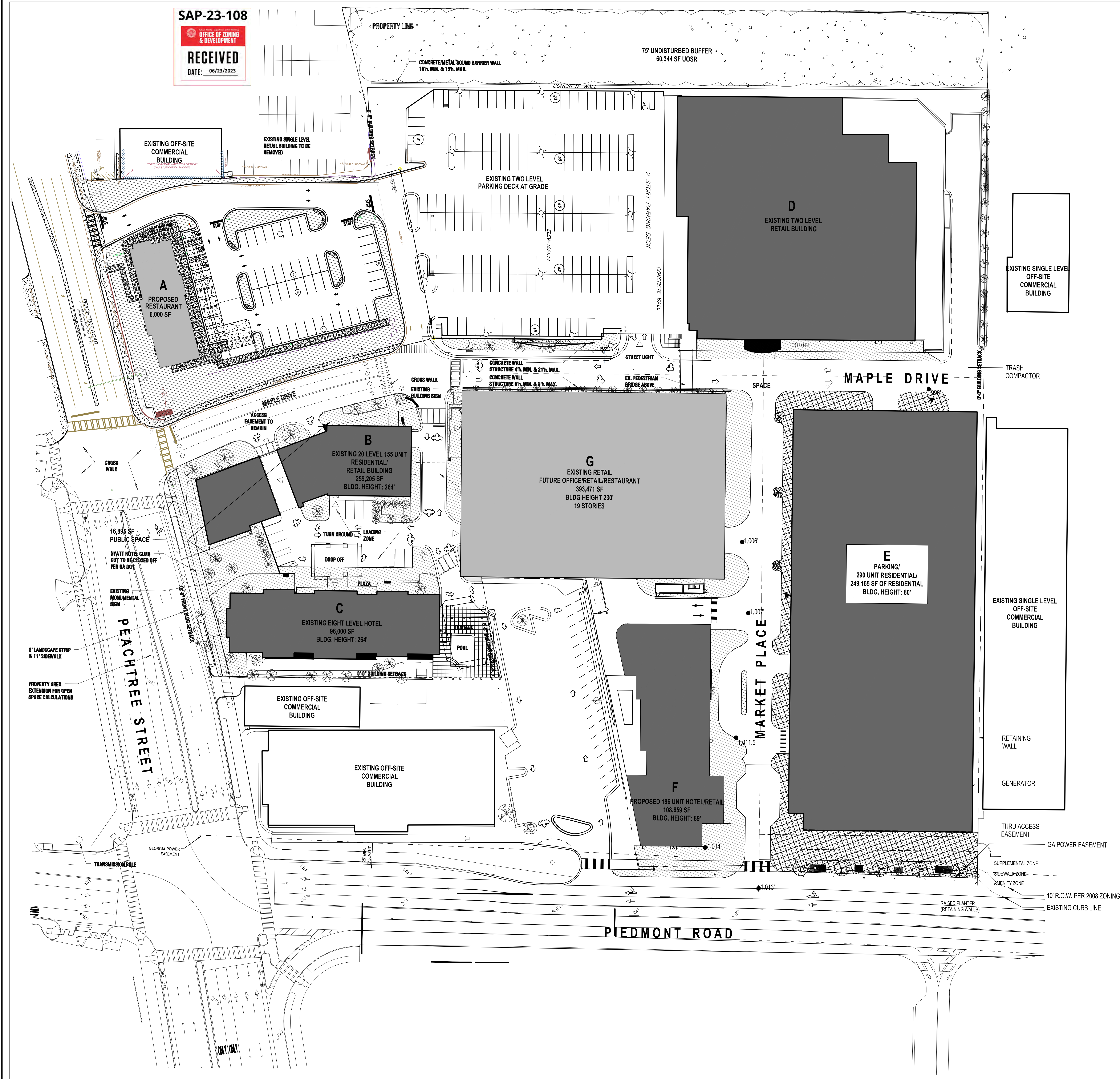
MASTER SITE PLAN
 SHEET NUMBER
Z00.01

Drawing name: K:\AMT_Civil\2023\034 - ALTA Buckhead\CADReferences\Masterplan\KRCLEAN Masterplan.dwg Master Site Plan Mar 04, 2023 9:44am by: Heather Dobisch

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Revised Master Plan signed May 8, 2023

SAP-23-108
OFFICE OF ZONING & DEVELOPMENT
RECEIVED
 DATE: 06/23/2023



VICINITY MAP
 SCALE: N.T.S.

SITE PLAN LEGEND

(Symbol)	TREE	(Symbol)	STREET BENCH
(Symbol)	NORTH ARROW	(Symbol)	BIKEMOPED RACK
(Symbol)	SPOT ELEVATION	(Symbol)	TRASH CAN
(Symbol)	BLDG. ENTRANCE	(Symbol)	STREET LIGHT
(Symbol)	BUILDING	(Symbol)	PARKING DECK
(Symbol)	PUBLIC SPACE		

BUCKHEAD PLACE RE-DEVELOPMENT - ZONING ANALYSIS

A DEVELOPMENT OF CORO REALTY ADVISORS FOR JH HOLDINGS, INC.

ZONING CLASSIFICATION:	PD-OC (2008 REZONING)		
LAND AREA (LEGAL DESCRIPTION):	566,097 SF	12.996 ACRES	
GROSS LAND AREA (GLA) - INCLUDING ADDITIONAL PUBLIC STREET:	608,854 SF	13.997 ACRES	
*PER SP#9	REQUIRED	PROVIDED	
FLOOR AREA RATIO (PER SP#9):	2.10	2.10	1,240,000 NSF
USABLE OPEN SPACE REQUIREMENT*:	0.20	0.29	OK
SQUARE FEET:	113,219 SF	163,653 SF	OK
PUBLIC SPACE REQUIREMENT*:	0.50(UOSR)	0.68	OK
SQUARE FEET:	56,610 SF	77,077 SF	

PARKING & LOADING REQUIREMENTS

DESCRIPTION	TOTAL
PARKING SPACES TOTAL:	1,525
MINIMUM SPACES ALLOWED:	1,777
MAXIMUM SPACES ALLOWED:	2,389
PARKING SPACES PROJECTED:	2,389
LOADING SPACES EXISTING:	13
LOADING SPACES REQUIRED:	17
LOADING SPACES PROJECTED:	17

PUBLIC SPACE SEC. 16-28.012

UOSR REQUIRED	113,219 SF
PUBLIC SPACE FACTOR X 0.50	56,610 SF
PUBLIC SPACE PROVIDED	77,077 SF

TOTAL OPEN SPACE

BUILDING FOOTPRINT	TOTAL
BUILDING A:	6,000 SF
BUILDING B:	8,571 SF
BUILDING C:	13,123 SF
BUILDING D:	49,846 SF
BUILDING E:	75,494 SF
BUILDING F:	15,649 SF
BUILDING G:	47,900 SF
TOTAL BUILDING FOOTPRINT:	215,583 SF
NET LAND AREA	566,097 SF
TOTAL BUILDING FOOTPRINT	215,583 SF
TOS PROVIDED	350,514 SF

BUILDING AREA

DESCRIPTION	TYPE	EXISTING	PROPOSED	FUTURE	TOTAL
EXISTING RETAIL:	NR	19,600 SF	--	--	19,600 SF
BUILDING A:	NR	--	6,000 SF	--	6,000 SF
BUILDING B:	R	250,040 SF	--	--	250,040 SF
	NR	9,165 SF	--	--	9,165 SF
BUILDING C:	NR	96,000 SF	--	--	96,000 SF
BUILDING D:	NR	107,900 SF	--	--	107,900 SF
BUILDING E:	R	249,165 SF	--	--	249,165 SF
BUILDING F:	NR	108,659 SF	--	--	108,659 SF
BUILDING G:	NR	--	393,471 SF	--	393,471 SF
TOTAL NR:		740,795 SF			740,795 SF
TOTAL R:		499,205 SF			499,205 SF
GRAND TOTAL:		1,240,000 SF			1,240,000 SF

** NR = NON RESIDENTIAL; R = RESIDENTIAL

USABLE OPEN SPACE

BREAKDOWN	EXISTING	PROPOSED	TOTAL		
BALCONIES:	16,924 (B)	8,000 (E)	25,924 SF		
ROOFTOP TERRACES / POOL DECK:	4,630 (B)	3,522 (C)	2,194 (F)	13,300 (E)	23,846 SF
LOBBIES:	1,251 (B)	3,000 (C)	8,993 (E)	13,844 SF	
GROUND:	17,094 (F)	--	17,094 SF		
TOTAL:	80,708 SF	--	80,708 SF		

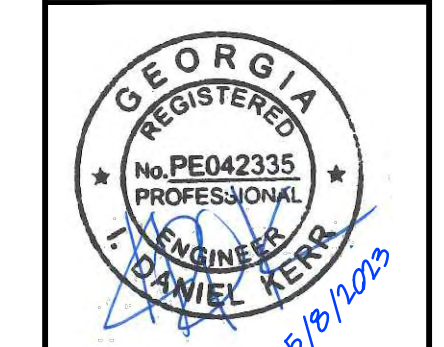
USABLE OPEN SPACE

NET LAND AREA	566,097 SF
TOTAL BUILDING FOOTPRINT	215,583 SF
PARKING & DRIVEWAY AREA	250,457 SF
BALCONIES/TERRACES/LOBBIES	83,614 SF
UOSR PROVIDED	163,653 SF
NET LAND AREA	566,097 SF
UOSR FACTOR X 0.29	163,653 SF
UOSR REQUIREMENT	113,219 SF

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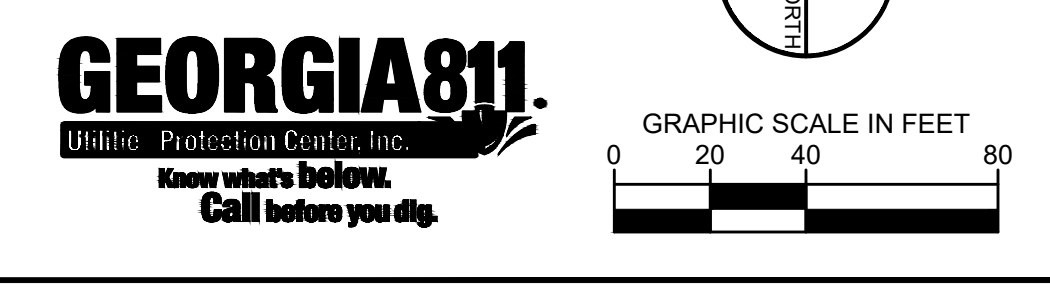
BUCKHEAD PLACE LLC
 3716 NORTHSIDE PARKWAY, SUITE 400-100
 ATLANTA, GA 30327
 PHONE: 404-946-4022

BUCKHEAD PLACE
 3242 PEACHTREE RD, ATLANTA, GA
 LAND LOT 61 & 62, 17TH DISTRICT



GSVCC CERT. (LEVEL II) 0000077807
 DRAWN BY WR
 DESIGNED BY IDK
 REVIEWED BY IDK
 DATE
 PROJECT NO. 019396010
 TITLE

SAP SITE PLAN
 SHEET NUMBER
SAP-1



Drawing name: K:\AMT_CIVIL\019396010_Buckhead Place Master Plan\CAD\Plan\sheet\C2-00 - SAP SITE PLAN.dwg C2-00 SITE PLAN May 09, 2023 3:55pm by: Daniel Kerr

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City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Submittal Checklist

The following checklist is designed to assist those in preparing required materials for SPI, Beltline Overlay, NC, LW, MRC, and MR districts. **Items omitted will delay applicant's review process.** The following items are required as part of a complete application for a Special Administrative Permit. **NPU Notification and DRC review, as applicable, are required as a part of a completed SAP application.** Please note: * FINAL APPROVED SAP PERMIT APPLICATION SUBMITTAL TO THE OFFICE OF BUILDINGS.



- 1. **SAP Application Form and Property Landowner Authorization Form:** complete
- 2. **Notice to Applicant Form:** with signature and date.
- 3. **Project Summary:** Provide cover letter clearly describing all new construction changes to the exterior appearance of existing structures or site. **Any administrative variations to be accompanied by a written justification for each variation requested.**
- 4. **Property Survey:** One (1) copy of survey (for new single-family and duplex construction) of principal structures on adjoining lots fronting the same street).
- 5. **Site Plan** (drawn to scale, released and sealed for construction) of proposed construction below*. **Initial Submission:** One (1) copy for initial staff review.
Final Submission (after staff review): One (1) copy.
 - a) Date, north arrow, and graphic scale.
 - b) Adjacent streets, with street names, property lines and dimensions, and easements.
 - c) Existing conditions to remain: identify all overhead utility poles, transformers, above ground storm water detention areas and inlets.
 - d) Proposed new installations: Identify the number, type and location of new street lights, transformers, AC units and other similar mechanical/accessory equipment at or above grade. Identify such items in the public right-of-way which final approval by Department of Public Works or GDOT is required.
 - e) Specify location and widths for all Sidewalks (street furniture and clear zones) and Supplemental Zones.
 - f) Ground floor layout plan with building and tenant entrances also shown
 - g) Street-front ground floor façade fenestration – vertical/horizontal window dimensions and % of façade length
 - h) Outdoor dining – seating plan, dimensions, and % of business establishment floor area
 - i) Height of structures (including fences/walls)
 - j) Parking, driveway and curb cut layout and dimensions (auto, truck loading, & bicycle/moped)
 - k) Location of parking deck light fixtures. Also indicate amount of foot-candles, and type of light fixture
 - l) Landscape plan: Planting locations including street trees (with tree species and calipers indicated), parking lot and other on-site landscaped areas (with the dimensions and percentage of lot calculated).
 - m) Provide Developmental Control Specification Form (pages 6-8) information on the site plan.
 - Zoning Classification, Net Lot Area & Gross Land Area, Floor Area Ratio (FAR), square footage of structures & individual uses, etc.
- 6. **Rooftop plan** when counted towards open space requirements.
- 7. **Elevations of building facades:** One (1) copy for initial staff review. **Final Submission: One (1) copy.**
- 8. **Section drawing(s)** as needed showing required sidewalks, supplemental zones (with retaining walls), and building façade & finished floor-level dimensioned within 5 feet above the adjacent sidewalk-level.
- 9. **DRI conditions of approval, rezoning legislation, variance or special exception letters** printed on site plan.
- 10. **Transportation Management Plan/Association Membership (where applicable)** required based on the zoning district. See specific zoning regulations for confirmation.
- 11. **Beltline Overlay District, NC-2, NC-6, NC-10, NC-11, NC-12, and NC-14 properties:**
 - Mail a copy of the submitted SAP application & drawings stamped received by the Office of Zoning and Development to the NPU contact person.
 - Submit a copy of U.S. Postal Service Certificate of Mailing and Notarized Affidavit of NPU Notification (page 5) as soon as possible to complete the application submission and begin the SAP review period.
- 12. **Photographs (buildings/site):** Show existing conditions for alterations to existing building facades and/or site modifications.
- 13. **Shared Off-site Parking:** Requests for approval of off-site parking submit materials on Shared Off-site Parking checklist.
- 14. **Other information** necessary for the SAP as requested by staff.

City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
DEVELOPMENT/DESIGN REVIEW COMMITTEES (DRC)

****CHECK FOR APPLICABILITY** Beltline Overlay and Special Public Interest (SPI) Districts**

File # _____

Development / Design Review Committees (DRC) have been established as an advisory group for the purpose of providing to the Director of the Office of Zoning and Development formal recommendations/c
Permit (SAP) applications within the Beltline Overlay and particular SPI zoning districts
presentation of their project to the applicable DRC committee. DRC review is required for all SAP applications.

Each DRC shall consist of committee members representing the corresponding district owner(s), business owner(s) or resident(s), and applicable neighborhood organization(s)

The DRC convenes monthly (or as needed) to comment on SAP applications within a district and provide recommendations to the Office of Zoning and Development Staff and the applicant. The applicant is requested to return to the applicable DRC and/or present to respective members.

DRC Committees (established by City Council Resolution)

- SPI-1 Downtown (2007)
- SPI-9 Buckhead Village (2010)
- SPI-12 Buckhead/Lenox Stations (2012)
- SPI-15 Lindbergh (2001)
- SPI-16 Midtown (2001)
- SPI-17 Piedmont Avenue (2001)

Meeting Dates and Locations

Downtown SPI-1

Meetings held the 4th Thursday morning monthly
Central Atlanta Progress, 84 Walton Street NW, Suite 500
Contact Fredalyn Frasier: Ffrasier@atlantadowntown.com
(404) 307-4286

Midtown SPI-16 & Piedmont Avenue SPI-17

Meetings held the 2nd Tuesday evening monthly
Midtown Alliance, 999 Peachtree Street NE, Suite 730
Contact Karl Smith-Davids: Karl@MidtownATL.com
(404) 443-6249

Buckhead Village SPI -9 & Buckhead/Lenox SPI-12

Meeting held 1st Wednesday afternoon monthly
BATMA, 3340 Peachtree Road NE
Tower Place Bld. 100, Suite 1515
Contact Denise Starling: Denise@batma.org
(404) 842-2680

Beltline Overlay

Meeting held the 3rd Wednesday evening monthly
Atlanta Beltline Inc.
100 Peachtree Street NW, Suite 2300
Contact Lynnette Reid: LReid@atlbeltline.org
(404) 477-3551

Lindbergh SPI-15: Meetings coordinated by City of Atlanta Zoning and Development Staff: (404) 330-6145.

Application Submittal and Review Process

- 1) Pre-application meeting with Office of Zoning and Development staff. To arrange pre-application meeting, contact Christian Colteanu at 404-330-6961 or colteanu@atlantaga.gov.
- 2) Notify the applicable DRC contact (as listed above) to arrange placement on the next scheduled DRC meeting agenda.

DRC Submittal Requirements

- 1) Written summary of proposed scope of work (include applicable project information such as total square footage, # and breakout of residential units, and square footage of each commercial use, building height, parking and loading provided, etc.).
- 2) Identification of all administrative variations requested and written justification for each requested.
- 3) PDF Digital drawings (to-scale) of site plans and building elevations as applicable to the scope of work.
- 4) Photographs of the existing property.
- 5) Contact DRC representative to e-mail project information (prior to meeting) and confirm DRC meeting date and time.
- 6) At the DRC meeting:
 - a. Provide hardcopies of cover letter and drawings (in 11"x17" size) for distribution to each committee member.
 - b. Provide drawings on boards for project presentation to committee members or digital PowerPoint presentation (coordinate with DRC representative on the latter).

Committee Review Responsibilities

- 1) Make recommendations on project concerning zoning requirements and administrative variations requested.
- 2) Make other design recommendations for consideration concerning an application. Note: these other recommendations are not code requirements.





City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized Authorization by Property Land Owner

File # _____

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administrative Permit

SAP-23-108

I, Buckhead Place LLC c/o Sam Wilmoth SWEAR THAT I AM
 owner(s) name

OF THE PROPERTY LOCATED AT: 3234 Peachtree Rd., Atlanta, GA 30309

AS SHOWN IN THE RECORDS OF Fulton CO

IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Buckhead Place LLC c/o The Galloway Law Group, LLC

ADDRESS: 4062 Peachtree Rd Suite A330, Atlanta, GA 30319

TELEPHONE: 404-965-3669

EMAIL: laurel@glawgp.com



Laurel Wilmoth
 Signature of Property Landowner

Sam Wilmoth
 Print Name of Property Landowner
 for Buckhead Place LLC

Personally Appeared
 Before Me

Sam Wilmoth

Who Swears That The
 Information Contained
 In this Authorization
 Is True and Correct
 To The Best of His or Her
 Knowledge and Belief.

Julia Brown
 Signature of Notary Public

5/3/23
 Date





City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

*Developmental Controls forms are required to be completed by the applicant, and all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process (Chapters 8, 19, and 28) for clarification.



Definitions and Methods of Calculation						
<ul style="list-style-type: none"> Net Lot Area (NLA) = length of property line X width of property line GLA for corner lots = (NLA) + [(street "A" right-of-way width +2) X (street "A" length of property line) + (street "B" length of property line) + [(street "A" right-of-way width +2) X (street "B" length of property line)] GLA (with only one front yard adjacent to street) = (NLA) + [(street right-of-way width +2) X (street length of property line)] GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) GLA shall not be used for calculating FAR for properties within single-family or two-family zoning districts Building Lot Coverage provided = (net lot area minus area of building footprint) ÷ (net lot area) 						
Lot Size (in square footage)						
Gross Land Area (GLA)		608,854 sf				
Net Lot Area (NLA)		566,097 sf				
Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input type="checkbox"/> GLA, or <input type="checkbox"/> NLA						
	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage		
Base Allowed			2.1	1,188,804 sf		
Base Provided	.88	499,205 sf	1.3	740,795 sf		
Bonus Allowed	NA	Total Provided	2.1	1,240,000 sf		
Bonus Provided	NA	Square Feet Allowed by 2008 PD-OC Zoning		1,240,000 sf		
Bonus FAR Program (check bonus utilized if applicable)						
Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>		
Residential Units			Total Provided:			
Number of Units Provided (without bonus)			443 units			
Number of Bonus Units Provided (without workforce housing)						
Number of Bonus Workforce Housing Units Provided (20% required)						
Total Number of Units per Acre			34 Units per acre			
Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)						
	Percentage (%)			Square Footage		
Max. Permitted						
Provided						
Fenestration (% of each street-fronting facade calculated separately, per district regulations)						
	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)		
	Local Street	Arterial/Collector	Beltline Corridor	Local Street	Arterial/Collector	Beltline Corridor
Min. Required						
Provided (specify for each street)						



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

Residential Open Space Requirements (refer to Chapter 28 for clarification)



Definitions and Methods of Calculation	
<ul style="list-style-type: none"> • LUI = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations) • TOSR are calculated only for residential developments. TOSR includes the total space plus 1/2 of the total horizontal area of covered open space subject to the Covered total open space is the open space closed to the sky but having two clear (50% or more) sides. <ul style="list-style-type: none"> ○ TOSR required = (LUI table) X (GLA). ○ TOSR provided = (GLA) – (area of building footprint) + (combined area of b • UOSR requirements are calculated using the residential FAR (of the <u>correspondi</u> calculate FAR) for both residential and mixed-use developments. It does not include created on-street parking (outside of existing travel lanes) and new streets m calculations as specified in the district regulations. <ul style="list-style-type: none"> ○ UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR). ○ If GLA is used for USOR, than the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way). 	

TOSR: Total Open Space Requirements for Residential Only Projects
 (Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)

	Ratio	Total Square Footage
Minimum Required		
Provided		

Square Footage breakout of UNCOVERED TOSR amount provided by the following:

GLA minus building square footage	
Open exterior balconies (per Section 16-28 or district regs)	
Roof area improved as recreation space	

Square Footage breakout of COVERED TOSR amount provided by the following:

Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
--	--

UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments
 (These are areas not counted towards Public Space Requirements)

	Ratio	Total Square Footage
Minimum Required	.2	113,291 sf
Provided	.29	163,635 sf

Square Footage Breakdown of UOSR amounts provided by the following:

Balconies	25,925 sf (Existing)
Rooftop Terraces	23,846 sf (Existing)
Landscaped Areas and Plazas	108,454 sf (Including interior UOS)
Portions of Sidewalks on Private Property	5,410 sf
Portions of Landscaped Areas in Right-of-way adjacent to Property	NA



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

PSR: Public Space Requirements for Non-residential & Mixed-use Development (These are areas not counted towards UOSR)			<div style="border: 2px solid red; padding: 5px;"> <h2 style="margin: 0;">SAP-23-108</h2> <div style="background-color: red; color: white; padding: 2px; text-align: center; font-weight: bold;">OFFICE OF ZONING & DEVELOPMENT</div> <h1 style="margin: 5px 0 0 0;">RECEIVED</h1> <p style="margin: 0;">DATE: <u>06/23/2023</u></p> </div>
Public Space provided = (square footage area of exterior space) + (square footage area of interior space)			
	Percentage (%)		
Minimum Required	50%	56,610 sf	
Provided	68%	77,077 sf	
Square Footage Breakdown of PSR amounts provided by the following:			
EXTERIOR (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)		67,098 sf	
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		9,979 sf (Hotel)	

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
44	253	135	11	0
On-site Parking Spaces	Residential		Non-residential Uses	
Minimum Required	NA		NA	
Provided	560 spaces		1,809 spaces	
Maximum Allowed	MAX COMBINED ALLOWED PER ZONING 2,369 SPACES			
Bicycle Parking Spaces	Residential		Non-residential Uses	
Minimum Required	50		22	
Provided	50		22	
On-site Loading Spaces (see applicable zoning district requirements or Section 16-028.015)				
	Residential/Hotel		Non-residential Uses (break out by use)	
Minimum Required (specify for each use)	4 (Residential) 2 (Hotel)		6 (Retail) 3 (Office)	
Provided (specify for each use)	4 (Residential) 2 (Hotel)		6 (Retail) 3 (Hotel)	



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notice to Applicant

File # _____

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) is deemed necessary for the approval of a project concept in compliance with the district zoning code. Such documents may include, without limitation, the elevations of the structure, the arrangement of such structures and other features of the project, but generally will not include construction drawings. This level of review is for the purpose of determining compliance with those sections of the zoning code that apply to the district where the project is located or to be located and to allow the applicant the flexibility to modify the project concept without the requirement that a full set of construction drawings, that would otherwise be required, be prepared, presented and reviewed.

SAP-23-108



It is the applicant's duty to ensure that all drawings or plans, that may be required for construction of the project, will result in a finished project that complies with the elevations which the SAP was granted. The applicant is further notified that neither the Office of Zoning & Development nor any other City agency has the authority to approve any changes to the exterior appearance of structures or site plans in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD.

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Samuel T. Wilmoth

5/3/2023

Applicant Printed Name

Applicant Signature

Date

SAP-23-108
OFFICE OF ZONING & DEVELOPMENT
RECEIVED
 DATE: 06/23/2023

CLERK OF THE SUPERIOR COURT
 RECORDING INFORMATION

Plat Book 28 Page 26
 Filed and Recorded 11/30/2021 03:49:00 PM
 2021-0356791
 CATHELENE ROBINSON
 Clerk of Superior Court
 Fulton County, GA
 Participant IDs: 2979894615
 7067927936

LEGEND	
	P.P. - POWER POLE
	L.P. - LIGHT POLE
	F.H. - FIRE HYDRANT
	M.H. - SANITARY SEWER MANHOLE
	W.M. - WATER METER
	G.M. - GAS METER
	RBS - REINFORCING BAR SET
	RBF - REINFORCING BAR FOUND
	C.T.F. - CRIMP TOP PIPE FOUND
	O.T.F. - OPEN TOP PIPE FOUND
	R/W MON. - RIGHT-OF-WAY MONUMENT
	-X- TYPE OF FENCE
	J.B. - JUNCTION BOX
	D.I. - DROP INLET / YARD INLET
	C.B. - CATCH BASIN
	== R.C.P. - REINFORCED CONCRETE PIPE
	== C.M.P. - CORRUGATED METAL PIPE
	F.F.E. - FINISHED FLOOR ELEVATION
	⊗ WATER VALVE
	○ C.O. SEWER CLEAN OUT
	⊙ TELEPHONE MANHOLE
	— OVERHEAD POWER LINES
	△ HW - HEADWALL
	⊠ POWERBOX
	7234 STREET ADDRESS
	--W-- WATER LINE
	---T--- UNDERGROUND TELEPHONE LINE
	---G--- GAS LINE
	---E--- UNDERGROUND ELECTRICAL LINE

THE AMENDED AND RESTATED DECLARATION OF CONDOMINIUM FOR BUCKHEAD PLACE, A MASTER CONDOMINIUM, IS RECORDED IN THE SUPERIOR COURT OF FULTON COUNTY, GEORGIA RECORDS.

REVISION DATE: 10/13/21

THIS CONDO PLAT SUPERSEDES THE CONDO PLAT RECORDED IN CONDO BOOK 21, PAGE 19

THE PURPOSE OF THE REVISION IS TO:

- 1) UPDATE NEW RIGHT OF WAY TAKE PER GOOT PROJECT NO. GSNLS-0006-00(884) ON PEACHTREE RD AND REVISE MASTER UNIT 5 AND MASTER COMMON ELEMENTS.
- 2) CREATE MASTER COMMON ELEMENTS PARCEL BY REMOVING MAPLE ROAD FROM MASTER UNIT 2.
- 3) REMOVE MASTER ADDITIONAL PROPERTY PARCELS.
- 4) ADD MASTER UNIT 1 TO 1.2 ACRE PARCEL AND REMOVE PAVO NOTE.

THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.G.G.A. SECTION 15-6-67.

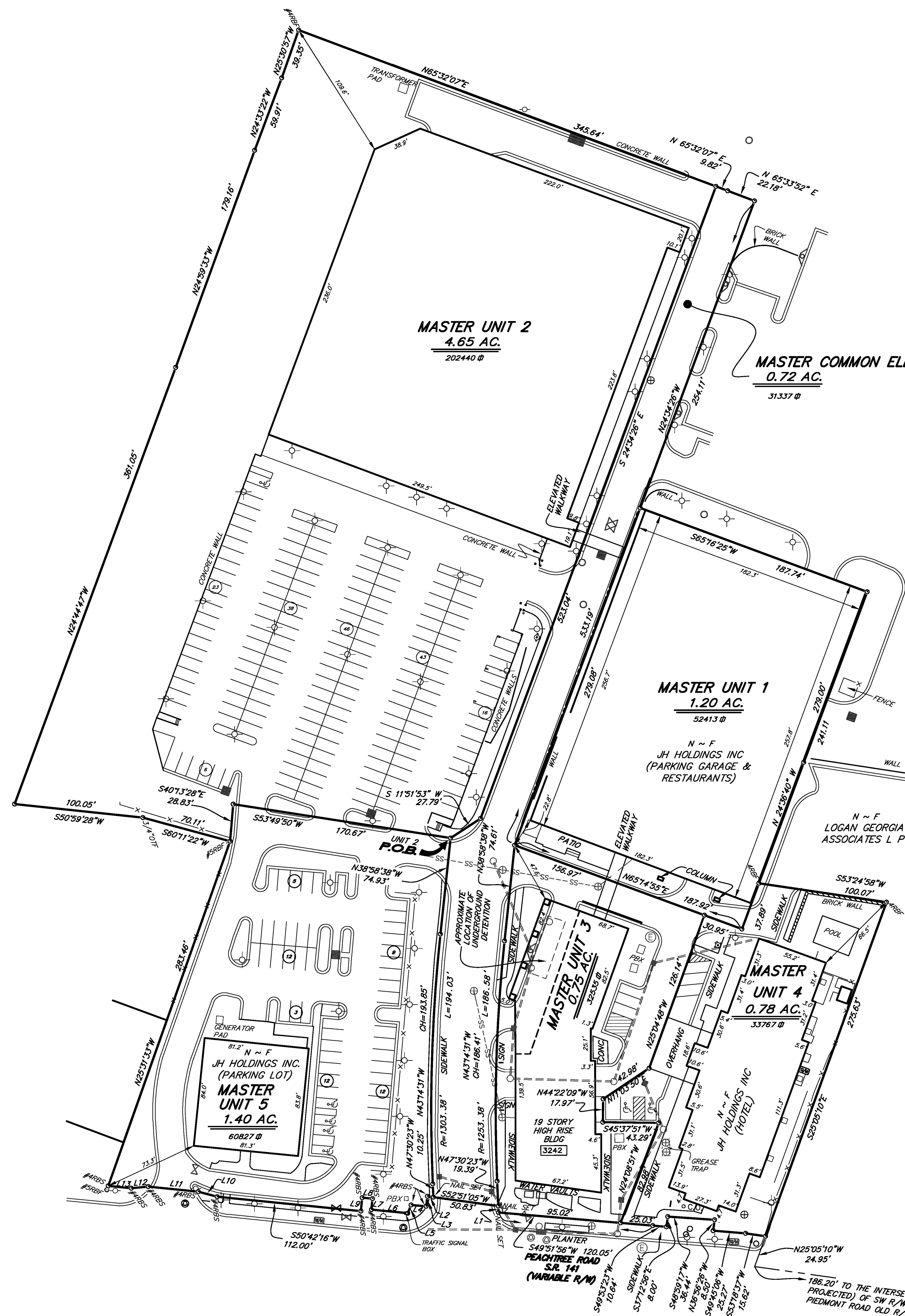
FOR ORIGINAL SEE CONDO PLAT BOOK 21, PG. 19

NAME: CHRISTOPHER A. EVANS

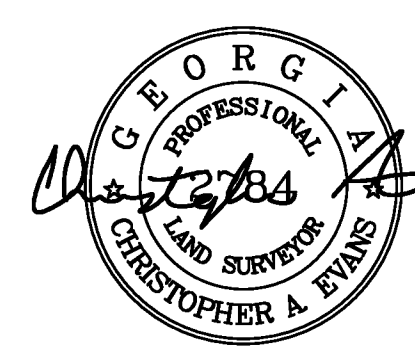
I, CHRISTOPHER A. EVANS, A REGISTERED LAND SURVEYOR DO HERBY CERTIFY THAT THIS PLAT IS ACCURATE AND COMPLIES WITH THE PROVISIONS OF SECTION 44-3-83(G) OF THE GEORGIA CONDOMINIUM ACT

FOR ORIGINAL SEE CONDO PLAT BOOK 21, PG. 19

NAME: CHRISTOPHER A. EVANS



LINE#	BEARING	DISTANCE
L1	N47°30'23"W	4.96'
L2	S52°51'05"W	4.61'
L3	S37°08'52"E	7.81'
L4	S49°52'25"W	11.64'
L5	S22°19'21"E	6.88'
L6	S50°42'16"W	28.36'
L7	N39°17'44"W	8.50'
L8	S50°42'16"W	8.00'
L9	S39°17'44"E	10.50'
L10	S60°10'00"W	15.21'
L11	S50°42'16"W	39.00'
L12	S39°49'08"W	13.24'
L13	S50°42'16"W	17.90'



10/13/21
 FOR REVISION ONLY

LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED, THUS DEEMING THEM UNDETERMINED AND NOT SHOWN. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X, ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER # 135157, MAP NUMBER # 13121 C 0251 E DATED JUNE 22, 1999 # 13121 C 0253 E DATED JUNE 22, 1999

THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER. LINEAR PRECISION OF TRAVERSE: 1/10,000+; ANGULAR ERROR: 3" PER POINT. THE TRAVERSE WAS ADJUSTED USING THE COMPASS RULE. LINEAR PRECISION OF THIS PLAT: 1/100,000+. MATTERS OF TITLE ARE EXCEPTED.



SEE REV NOTE 10/13/2021

DATE	: 8-16-11	REVISIONS	
SCALE	: 1"=50'	09/01/11-REVISE TRACT NO. 5	
DRAWN BY	: SJJ	12/22/11 COMMENTS	
CHECKED BY	: CAE	12/28/11 COMMENTS	
FIELD BOOK	: 515	1-09-12 ADD L.L.L.	

Gaskins
 ENGINEERING • SURVEYING • LAND PLANNING • ENVIRONMENTAL
 1366 Powder Springs Rd Marietta, Georgia 30064 Phone: (770) 424-7168 Fax: (770) 424-7593

CONDOMINIUM PLAT
BUCKHEAD PLACE,
 A MASTER CONDOMINIUM
 LOCATED IN L.L. 61 & 62
 17th DISTRICT
 CITY OF ATLANTA
 FULTON COUNTY, GA.

Drawing name: S:\buckhead\1717_0061\3242 peachtree rd\map\as-built_survey.dwg
 Plotted on: Oct 13, 2021 - 4:58pm
 Plotted by: cae

RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070

Application: SAP-23-108
Application Type: Planning/SAP/SPI/NA
Address: 3234 PEACHTREE RD NE, ATLANTA, GA 00000
Owner Name: EQUITY ONE PIEDMONT LLC
Owner Address:
Application Name:



Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received
874512		\$1,500.00	06/23/2023	PUBLICUSER893256	

Owner Info.: EQUITY ONE PIEDMONT LLC

Work Description: Project Description Buckhead Place LLC requests this SAP in order to begin construction in the area south of its Peachtree Road entrance and to update its Master Plan to include the proposed construction. The Applicant proposes the construction of an approximately 5,200-square-foot restaurant building fronting Peachtree Road with utilities, storm drainage infrastructure, and associated parking (see SAP Plan and Application attached).