



359 E PACES FERRY RD.

ATLANTA, GA
DRC PRESENTATION

MAY 3, 2023
HARBOR BAY VENTURES
HARTSHORNE PLUNKARD ARCHITECTURE



HARBOR BAY VENTURES OVERVIEW

We are a vertically integrated real estate development, investment, construction, management and hospitality company. We carefully select purposeful, A+ development sites, and we follow through by engaging extensively with neighborhoods and governments to construct relevant, transformational, high-impact, community-driven projects.



COMPANY

over \$1 billion in total project value



PARTNERSHIP

focus and expertise in government relations, creating strategic partnerships across local, state and federal agencies



STAFF

200+ employees and growing across multiple business lines



DESIGN

a calculated obsession for superior design and engineering



INNOVATION

unyielding commitment to innovation in a dreadfully non-innovative industry, highlighted by our mass timber multifamily product. we are unapologetically different



BRAND DEVELOPMENT

meaningful front-end time spent on brand development in order to create long-lasting, impactful brands



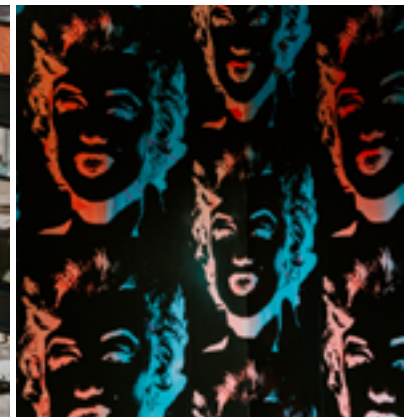
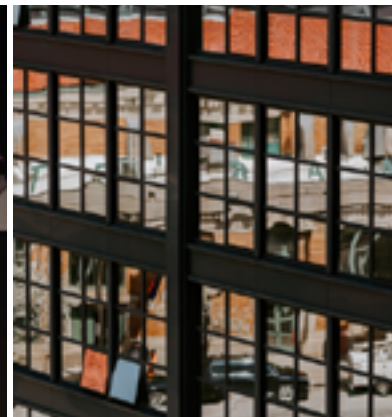
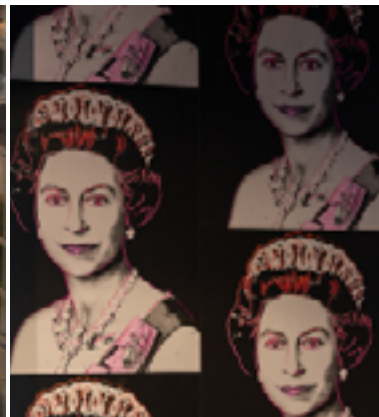
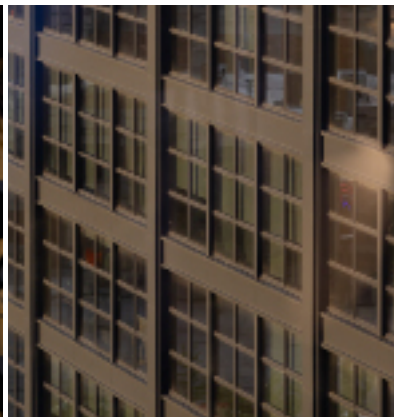
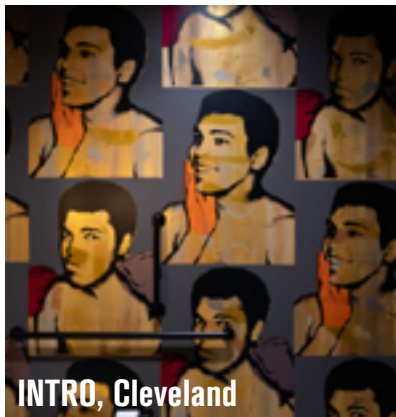
LEADERSHIP

acknowledging the importance of being leaders within our company, amongst our team members and partners, and in the cities, communities and states in which we work



REPUTATION

reputation is everything in life. we are committed to honesty, integrity and stewardship within the communities we serve.



WHAT IS MASS TIMBER?

Mass timber construction, in contrast to light-frame wood construction, is built using a category of engineered wood products typically made of large, solid wood panels, columns or beams often manufactured off-site for load-bearing wall, floor, and roof construction. Mass timber is engineered for high strength ratings like concrete and steel but is significantly lighter in weight. Mass timber products are thick, compressed layers of wood, creating strong, structural load-bearing elements that can be constructed into panelized components. They are typically formed through lamination, fasteners, or adhesives. Mass timber can outperform nearly every other building type as an environmentally friendly substitute for carbon-intensive materials and building systems.

source: forestry innovation investment, british columbia

The 'why' for us is pretty easy. do some light reading on mass timber and you'll quickly see the script writes itself. the benefits of the material are many and the relative challenges to us are worth overcoming. combating climate change by building structures that are renewable, sustainable, have better thermal properties while being aesthetically beautiful and evoking a calmness and sense of well being...that's just scratching the surface. get into the details of how engineered wood buildings perform during fire and seismic events, and it becomes clear that there is no peer group. mass timber is the answer to those problems. the speed at which mass timber buildings can be erected is also unmatched, creating better predictability, control and less disruption over the course of construction - which is hugely beneficial when dealing with projects of scale. we are on the leading edge here in the united states, and we plan on pushing our own learnings and innovation further with each new project that we pursue.

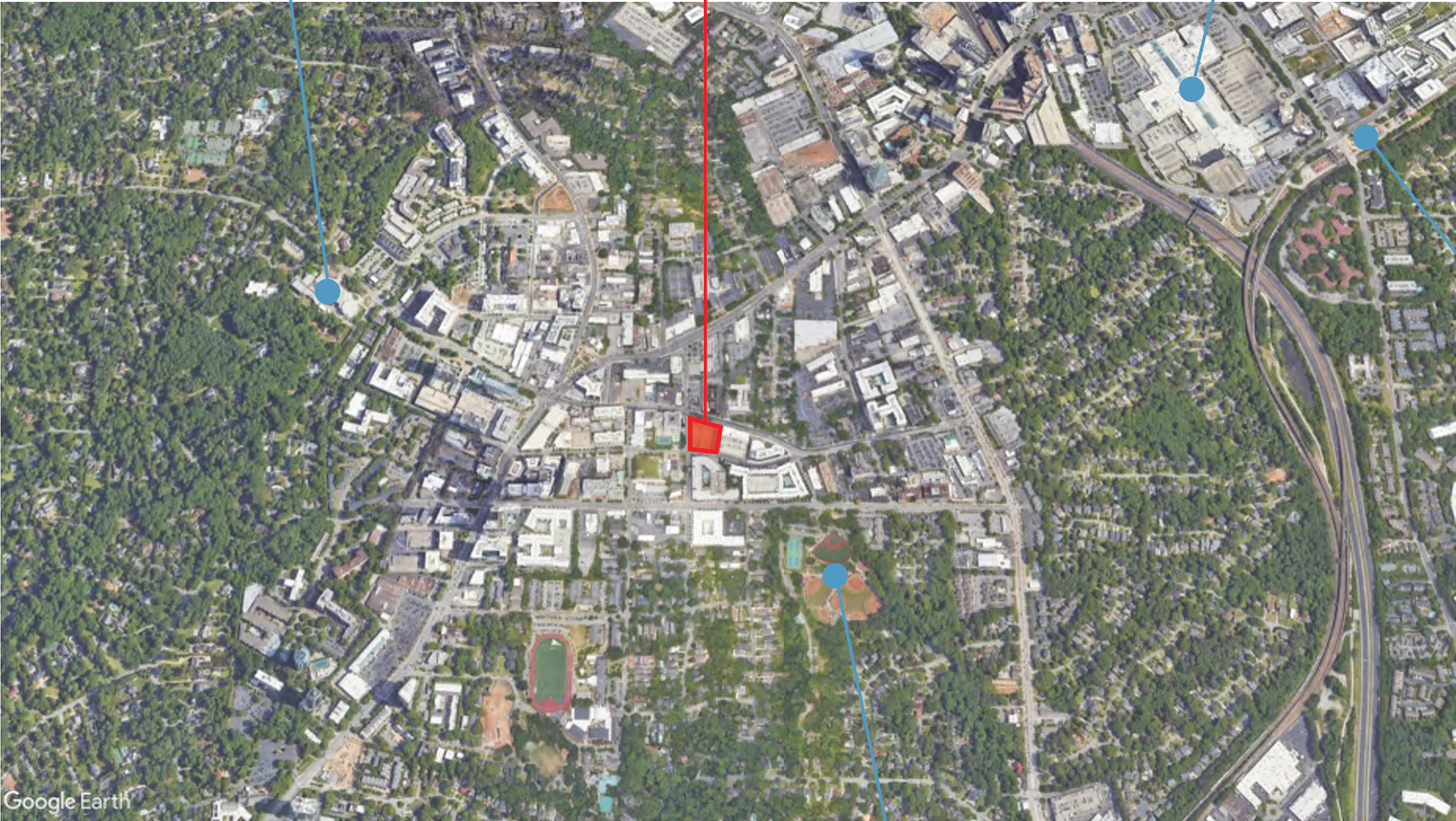
WHY ARE WE DOING IT?



ATLANTA HISTORY CENTER

PROJECT LOCATION

LENOX SQUARE



LENOX STATION

FRANKIE ALLEN PARK



HARBOR BAY
VENTURES

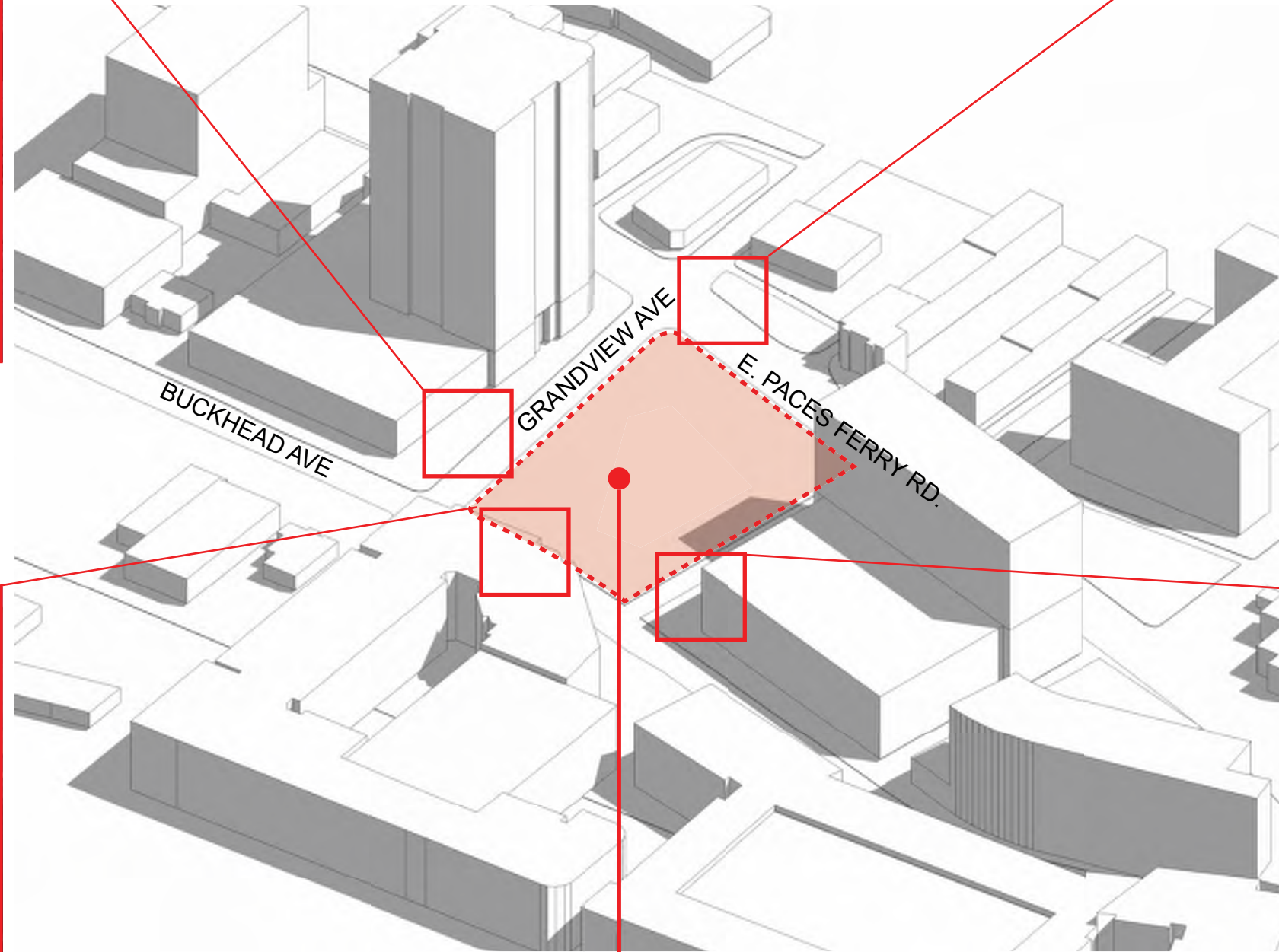
LOCATION



VIEW ON GRANDVIEW LOOKING NORTH



VIEW LOOKING EAST ON E. PACES FERRY



PROJECT SITE



VIEW ON BUCKHEAD LOOKING WEST



VIEW FROM BUCKHEAD LOOKING NORTH

ZONING SUMMARY

CLASSIFICATION: SPI-9
SUBAREA: SA1 - BUCKHEAD VILLAGE DISTRICT
PERMITTED USES: RESIDENTIAL, RETAIL, OFFICE
EATING/DRINKING ESTABLISHMENTS
HEIGHT LIMITS: 225'-0"

BULK & DENSITY:
PROJECT HEIGHT 20 STORIES / 225'
SITE AREA 41,646 S.F.
PROJECT GROSS AREA 516,160 S.F.
DWELLING UNITS 314

FLOOR AREA RATIO:
ALLOWABLE FAR PER Z-08-53 366,328 S.F.
TOTAL PROVIDED FAR: 335,427 S.F.

SIDEWALKS:
MIN. AMENITY ZONE 5'
MIN. CLEAR ZONE 10'
MIN. SUPPLEMENTAL ZONE 5'
MAX. SETBACK FROM CURB 20' (VARIATION REQUEST)

OPEN SPACE: 0 S.F. REQUIRED
57,763 S.F. PROVIDED

PARKING:
RES MIN/MAX: 0/736
RETAIL MIN/MAX: 7/9
RES PROVIDED: 301 SPACES
RETAIL PROVIDED 7 SPACES
TOTAL PROVIDED 308 SPACES
(ADDITIONAL 25 RES. TANDEM SPACES NOT INCLUDED IN TOTAL)

BIKE PARKING:
RES MIN: 32
NON-RES MIN: 2
TOTAL PROVIDED: 36

LOADING:
RESIDENTIAL MIN. 2
ALL OTHER USES 0
TOTAL PROVIDED: 2

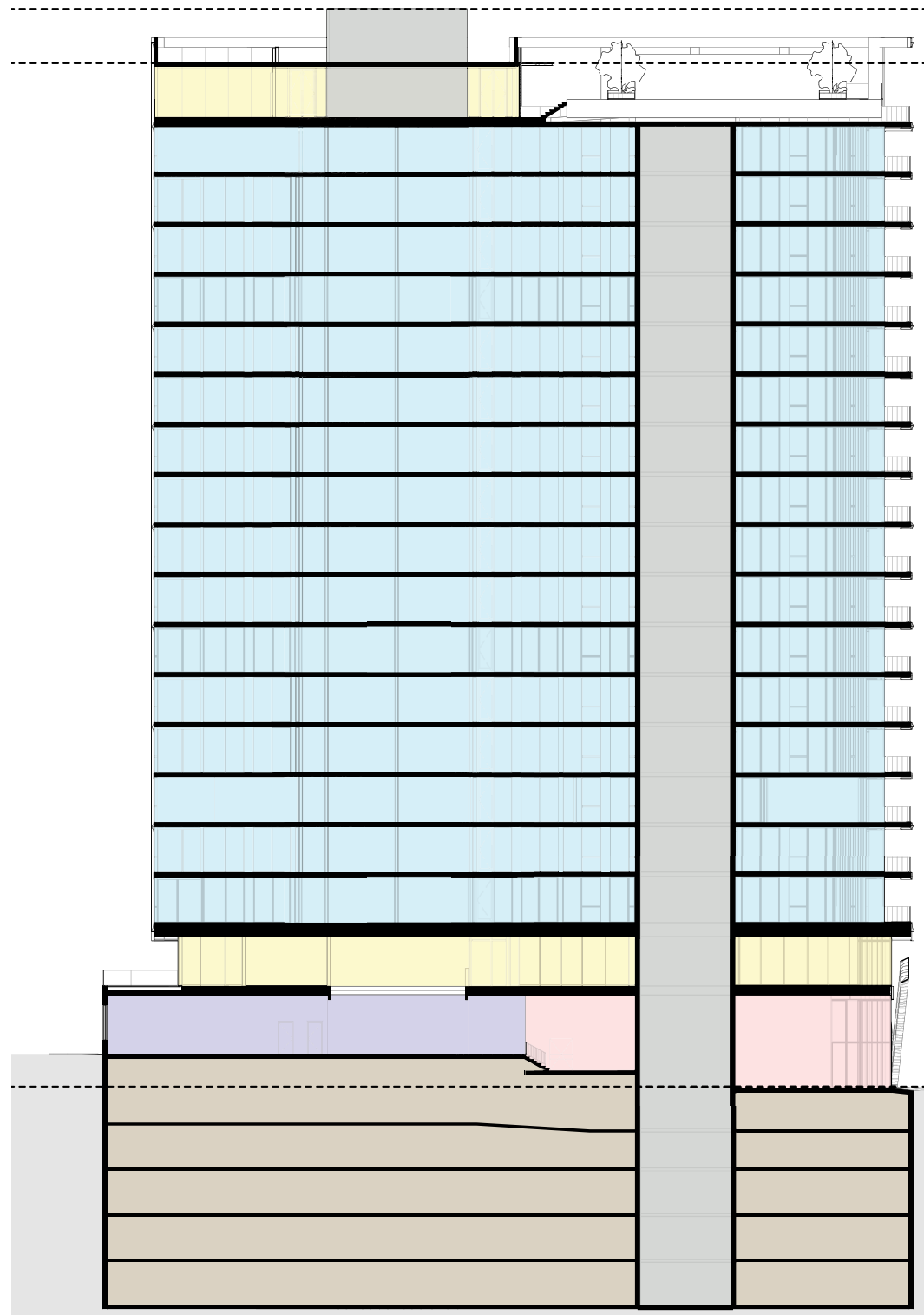
STREET TYPOLOGY:
E PACES FERRY RD. TYPE 3
GRANDVIEW AVE. TYPE 3
BUCKHEAD AVE. TYPE 3

CURB CUTS: EAST PACES FERRY ROAD
BUCKHEAD AVE. (VARIATION REQUEST)

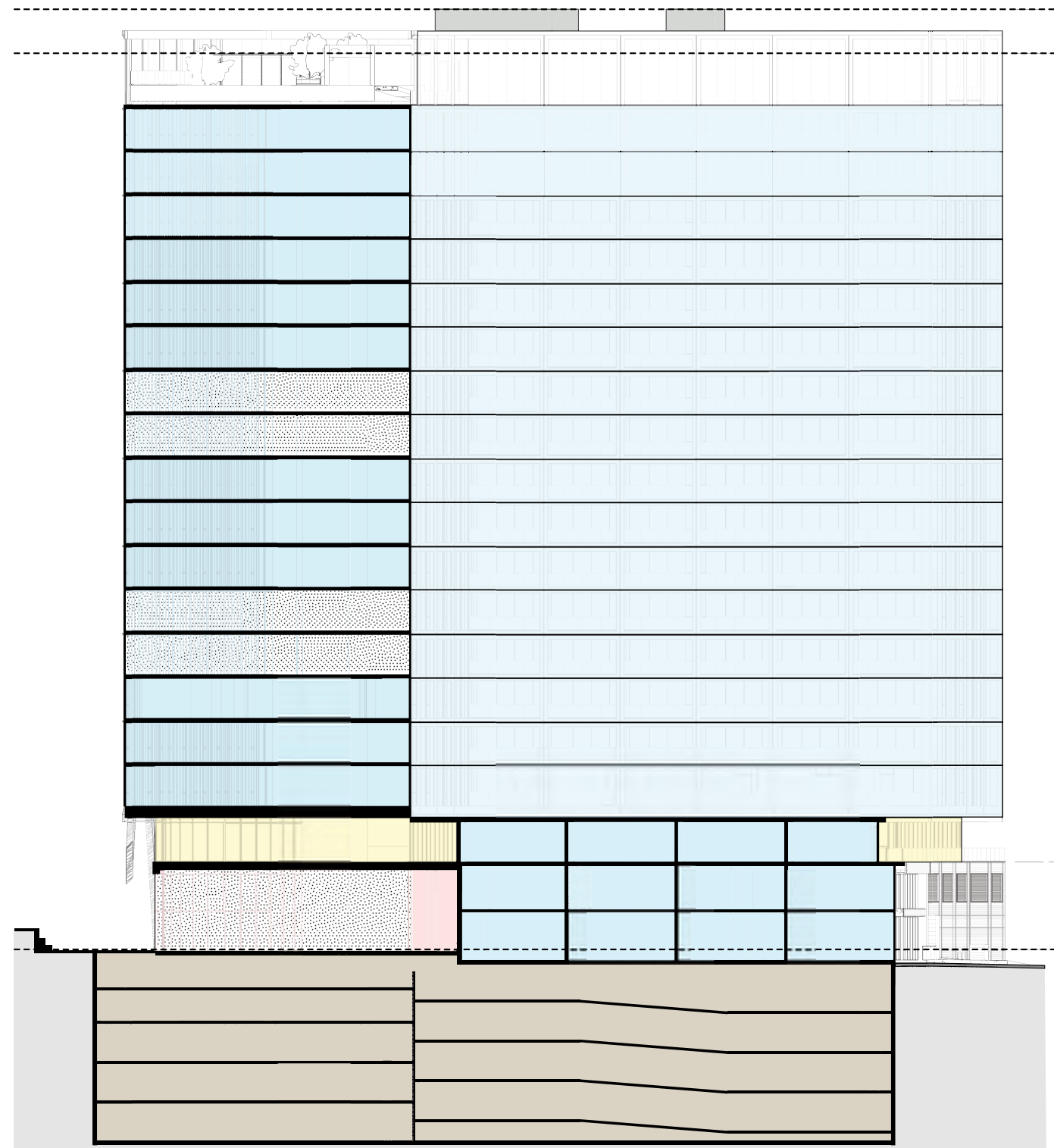
PROGRAM DIAGRAMS

PROGRAM TYPE

- LOBBY
- RETAIL
- RESIDENTIAL
- AMENITY
- PARKING
- OUTDOOR



EAST-WEST SECTION



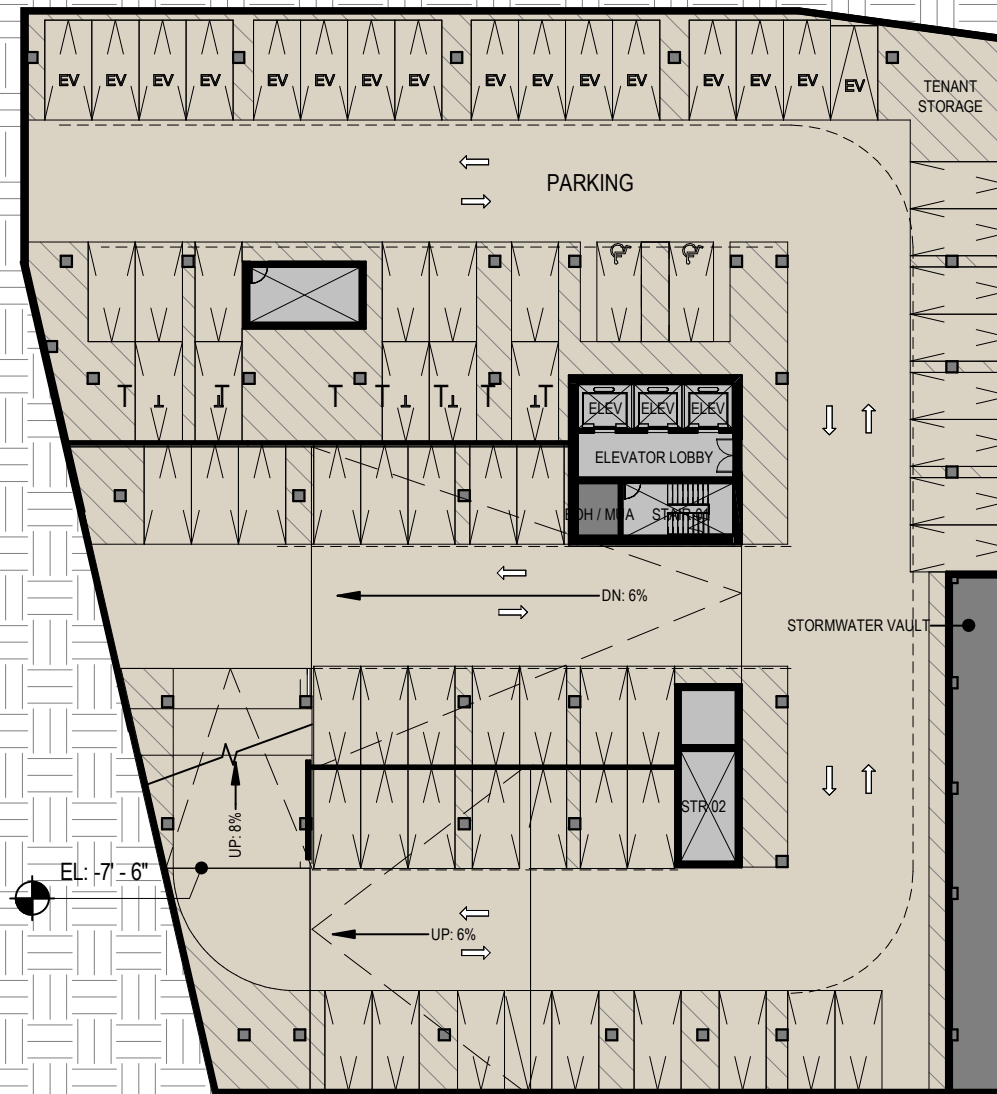
NORTH - SOUTH SECTION

T/PARAPET
EL: +244' - 0"
MAX HEIGHT
EL: +233' - 0"

225' - 0"

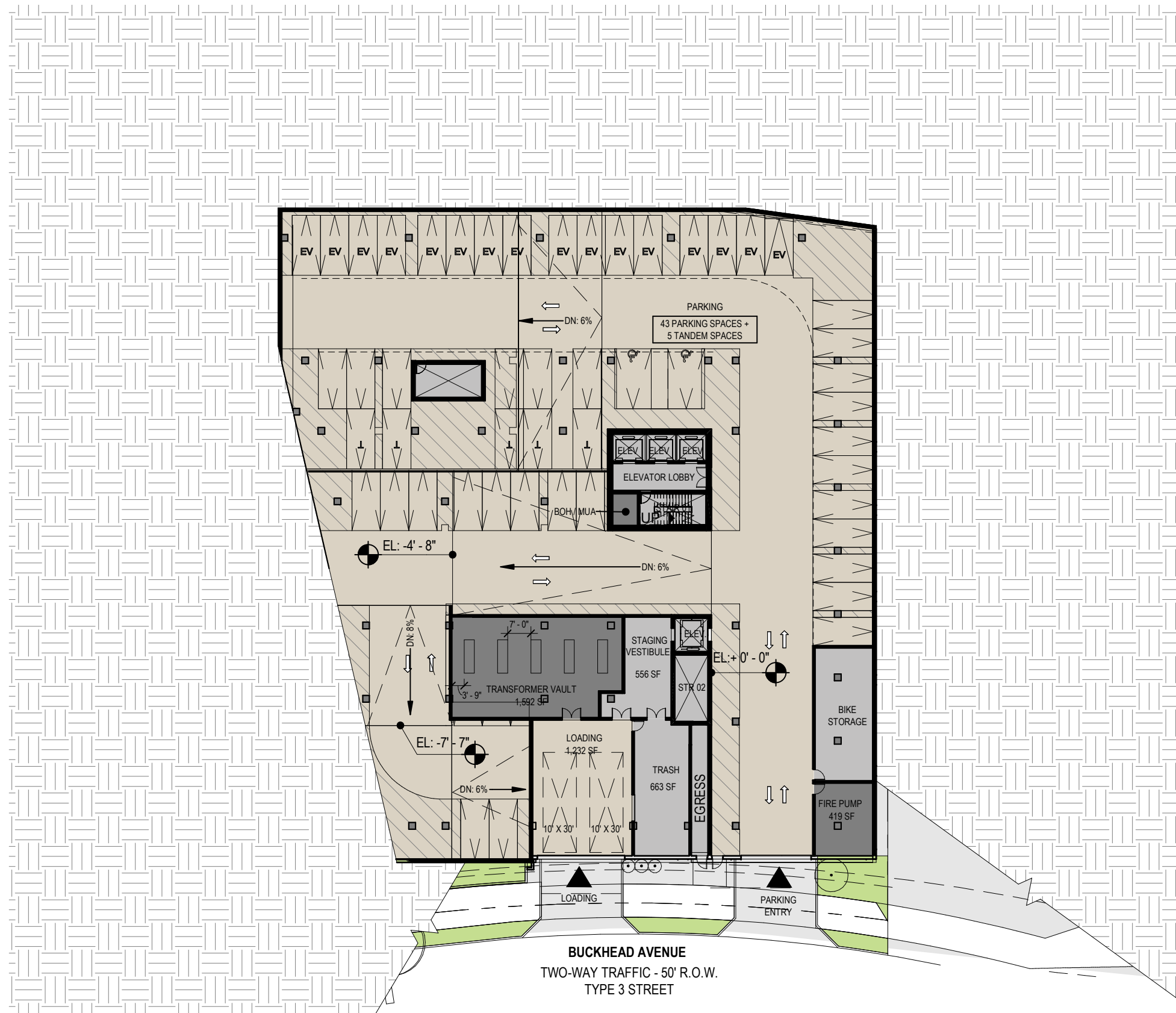
AVG. GRADE
EL: +8' - 0"

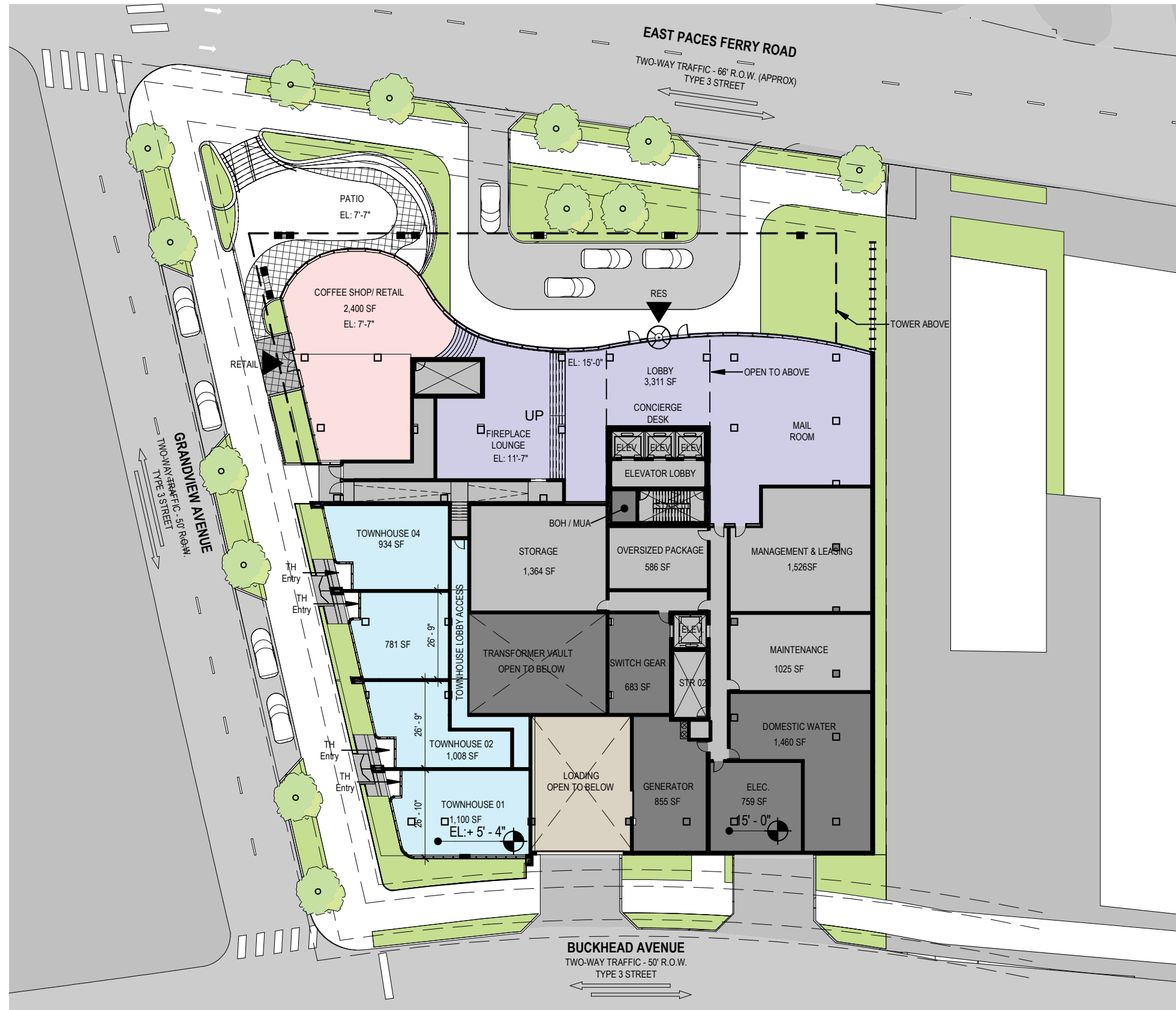
- PROGRAM KEY**
- COMMON
 - MECHANICAL
 - PARKING/LOADING



PROGRAM KEY

- COMMON
- MECHANICAL
- PARKING/LOADING





PROGRAM KEY

- COMMON
- LOADING
- LOBBY
- MECHANICAL
- RESIDENTIAL
- RETAIL





- PROGRAM KEY**
- COMMON
 - MECHANICAL
 - RESIDENTIAL
 - RESIDENTIAL AMENITY

FENESTRATION AT GRADE

EAST PACES FERRY ROAD

OVERALL FACADE LENGTH: 178'-6"
GLAZING LENGTH: 177'-6"

GRANDVIEW AVENUE

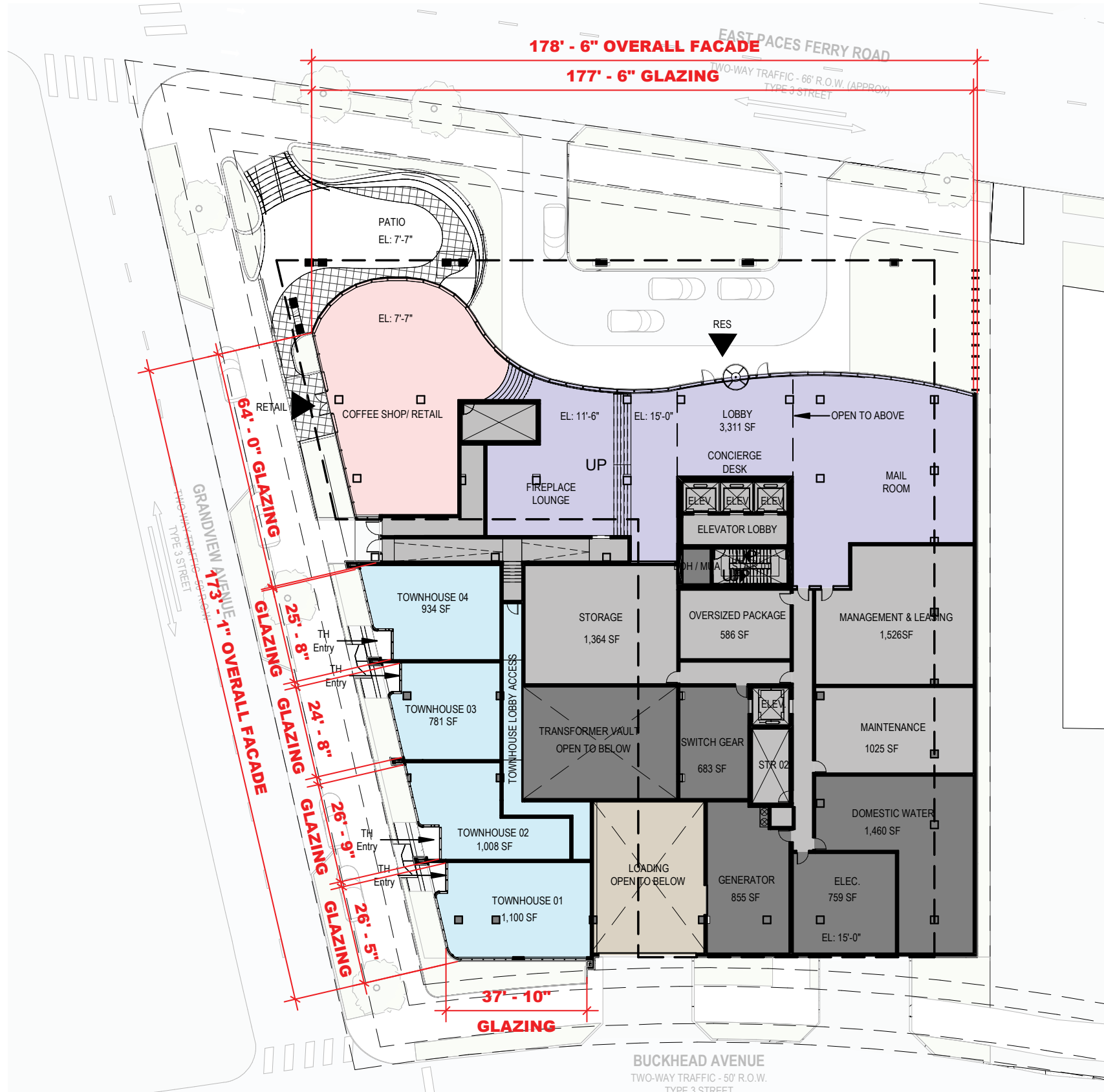
OVERALL FACADE LENGTH: 173'-1"
GLAZING LENGTH: 167'-6"

BUCKHEAD AVENUE

OVERALL FACADE LENGTH: 142'-6"
GLAZING LENGTH: 37'-10"

TOTAL FENESTRATION

TOTAL FACADE LENGTH: 494'-1"
TOTAL GLAZING LENGTH: 382'-9"
GLAZING % REQUIRED: 65%
GLAZING % PROVIDED: 77%



PROGRAM KEY

- COMMON
- LOADING
- LOBBY
- MECHANICAL
- RESIDENTIAL
- RETAIL

ACTIVE USES AT GRADE

EAST PACES FERRY ROAD

TYPICAL RETAIL DEPTH: 40'

GRANDVIEW AVENUE

TYPICAL RETAIL DEPTH: 40'

RESIDENTIAL LOBBY DEPTH: 20'



PROGRAM KEY

- COMMON
- LOADING
- LOBBY
- MECHANICAL
- RESIDENTIAL
- RETAIL

MAX SETBACK FROM SIDEWALK

EAST PACES FERRY ROAD

MAX ALLOWED SETBACK 20'

SETBACK OVER ALLOWED @ RETAIL 13'-4" (VARIATION)

SETBACK OVER ALLOWED @ LOBBY 35'-10" (VARIATION)

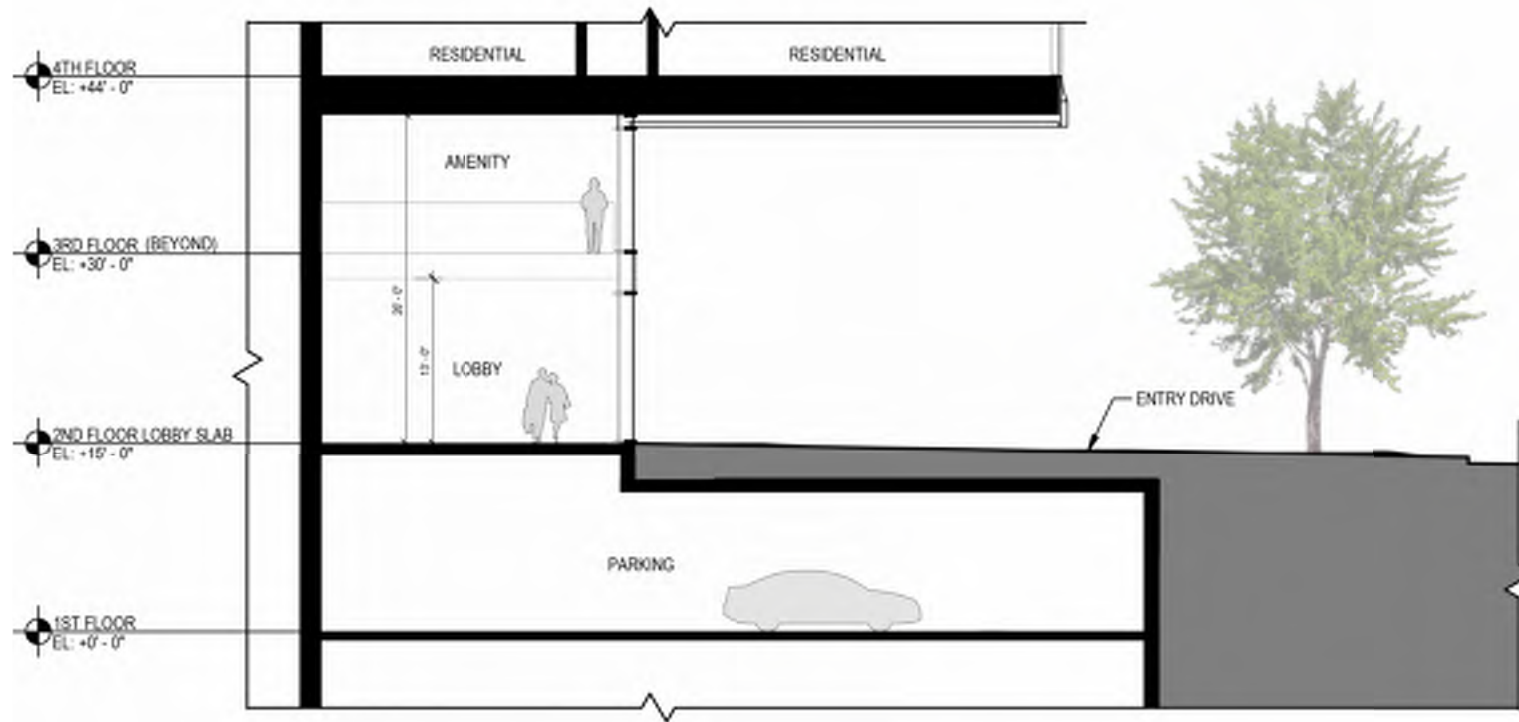


PROGRAM KEY

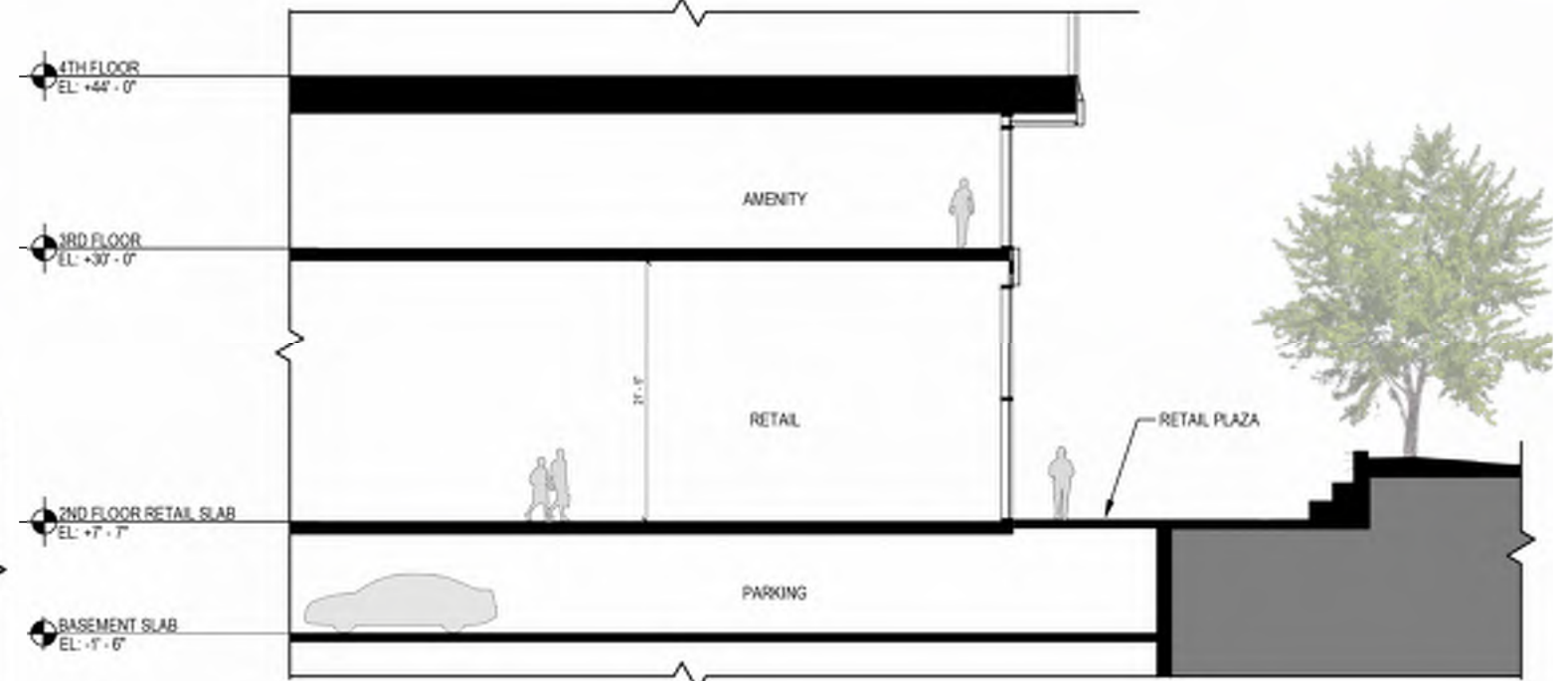
- COMMON
- LOADING
- LOBBY
- MECHANICAL
- RESIDENTIAL
- RETAIL



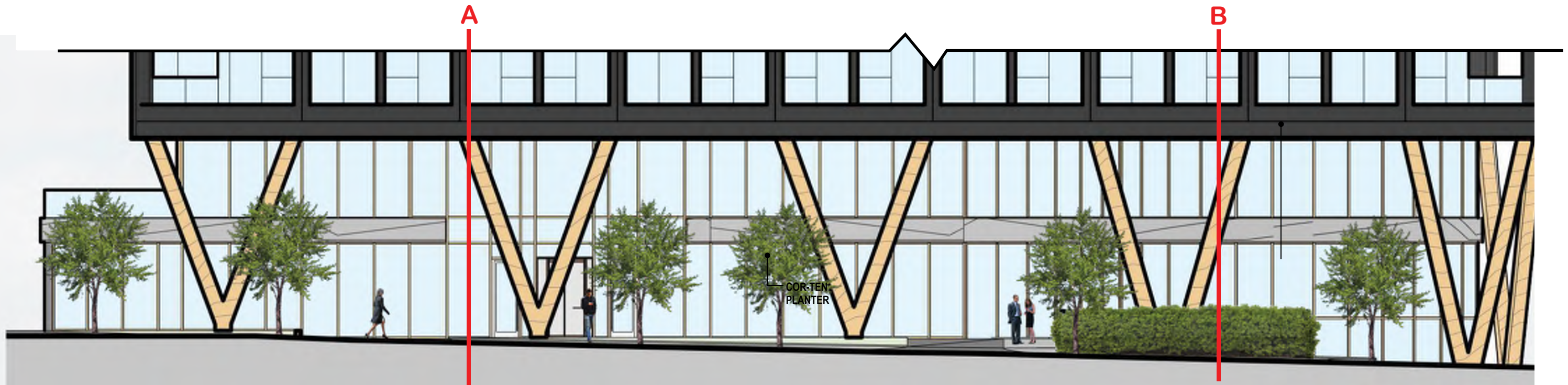
PODIUM PLAN- MAX SETBACKS

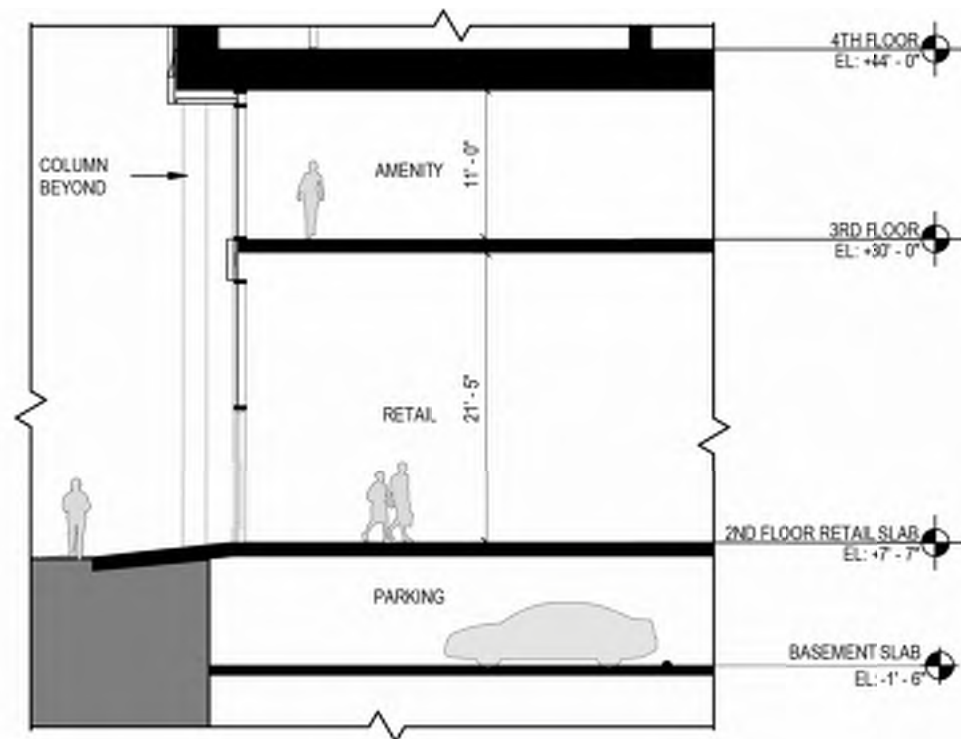


SECTION A
LOBBY

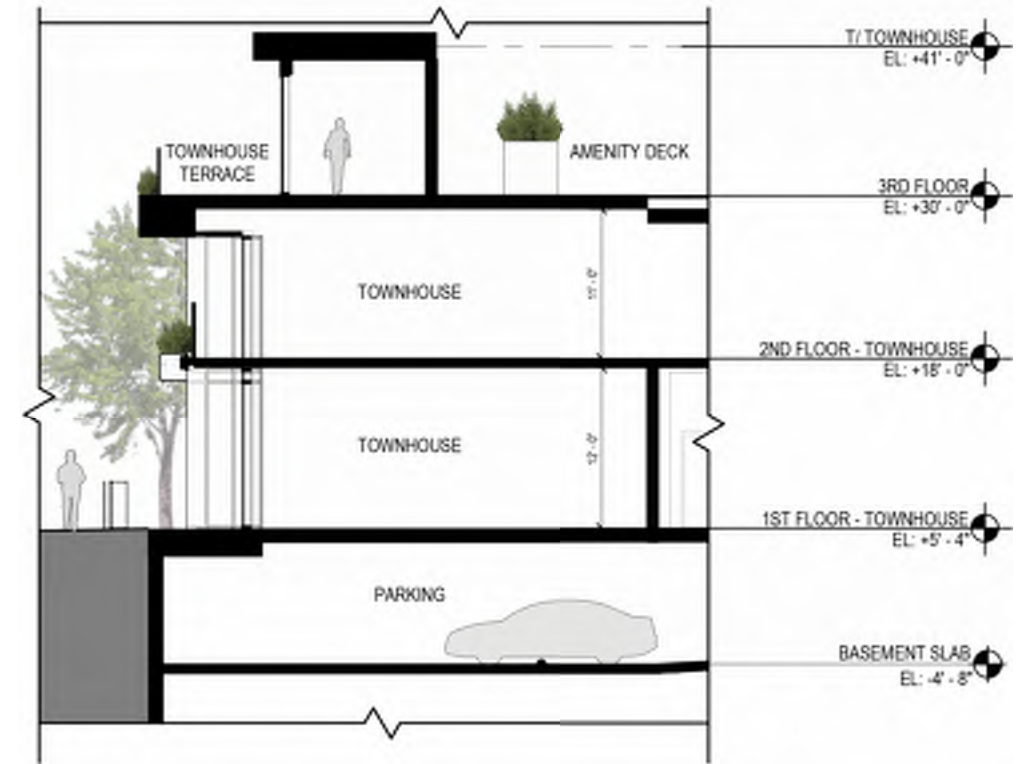


SECTION B
RETAIL

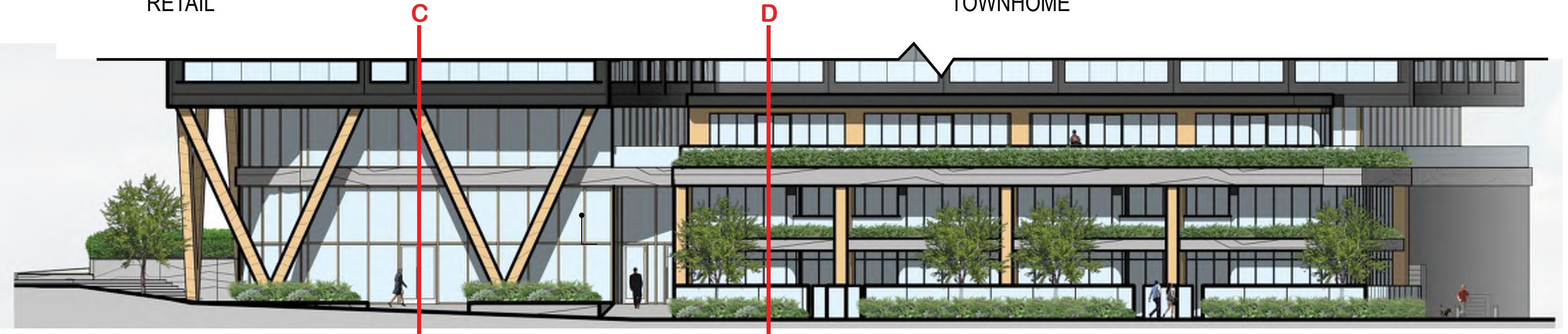




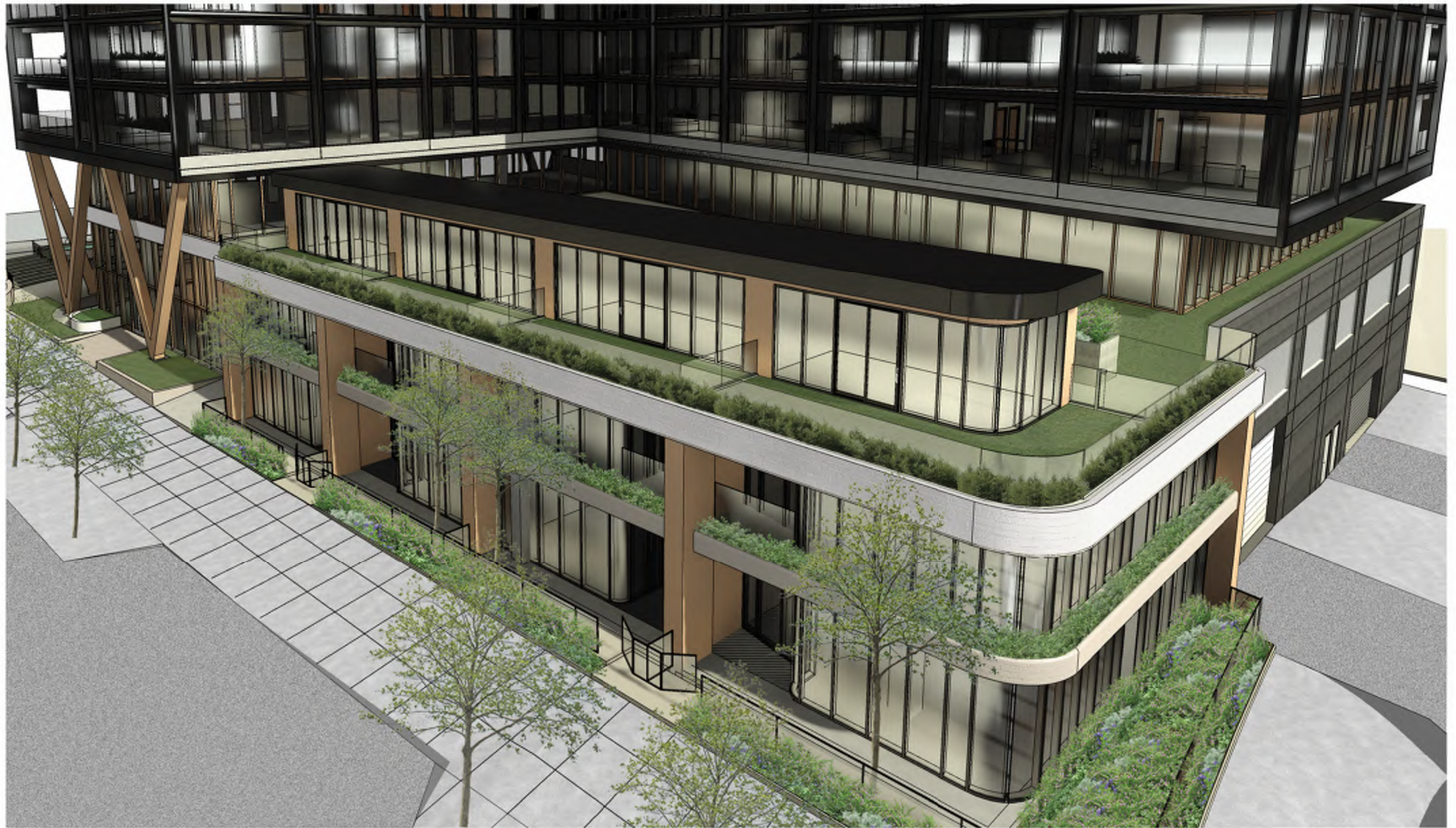
SECTION C
RETAIL



SECTION D
TOWNHOME







HARBOR BAY
VENTURES

PODIUM VIGNETTE - TOWNHOMES ON GRANDVIEW

DRC PRESENTATION || 359 E PACES FERRY RD, ATLANTA || 05.03.23





HARBOR BAY
VENTURES

PODIUM VIGNETTE - ENTRY ON PACES FERRY

DRC PRESENTATION || 359 E PACES FERRY RD, ATLANTA || 05.03.23



PROGRAM KEY

- COMMON
- MECHANICAL
- RESIDENTIAL
- TERRACE

20 UNITS PER FLOOR



PROGRAM KEY

- COMMON
- MECHANICAL
- RESIDENTIAL
- TERRACE

10 UNITS PER FLOOR



HARBOR BAY
VENTURES

PODIUM PLAN- LEVEL 19



PROGRAM KEY

- COMMON
- MECHANICAL
- RESIDENTIAL AMENITY

MTL-02

MTL-01

WD-01

CONC-01



NORTH ELEVATION
EAST PACES FERRY ROAD



WEST ELEVATION
GRANDVIEW AVENUE



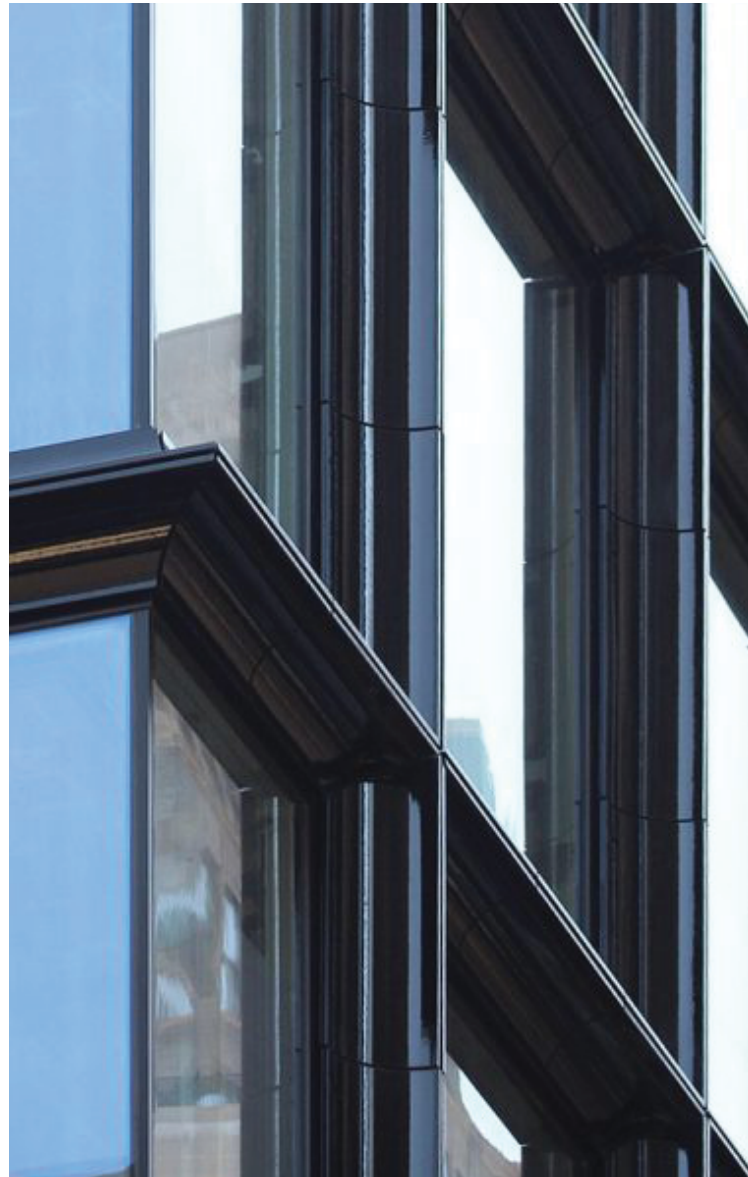
BUILDING ELEVATIONS



SOUTH ELEVATION
BUCKHEAD AVENUE



EAST ELEVATION



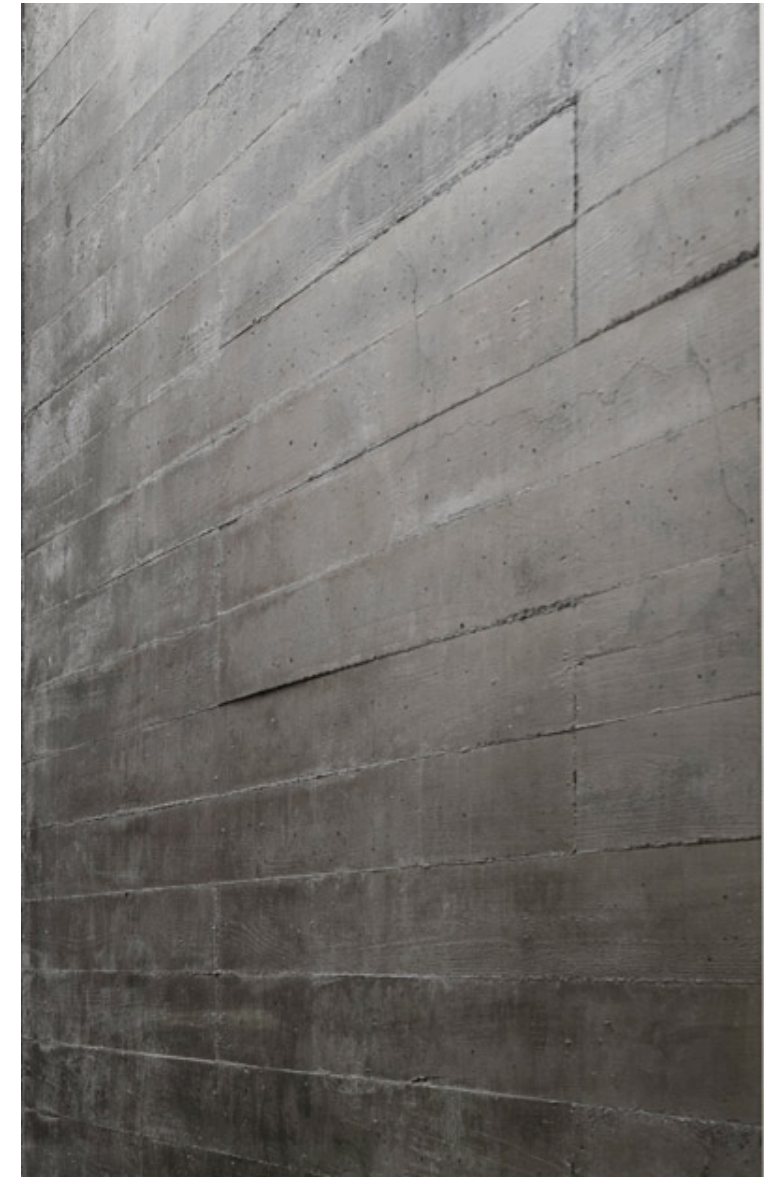
MTL-01



MTL-02



WD-01



CONC-01



FACADE MATERIALITY



CULTURE OF SUSTAINABILITY

MASS TIMBER CONSTRUCTION HAS MAJOR SUSTAINABILITY BENEFITS. IN ADDITION, THE PROJECT IS CONSIDERING A GREEN BUILDING CERTIFICATION TO PROMOTE CULTURE



ENERGY

THE PROJECT IS CONSIDERING INSTALLATION OF SOLAR PANELS TO CATALYZE THE DEPLOYMENT OF SOLAR ENERGY IN BUCKHEAD. ADDITIONALLY, 100% OF LIGHTING IN THE PROJECT WILL BE HIGH EFFICIENCY LED.



WATER

THE PROJECT WILL PURSUE A REDUCTION IN POTABLE WATER DEMANDS BY EMPLOYING STRATEGIES SUCH AS LOW-FLOW TOILETS, SINK AERATORS, AND RAIN SENSORS.



WASTE

THE PROJECT WILL PROVIDE WASTE RECYCLING ALONG WITH COMPOSTING PROGRAM.



HEALTH AND WELLNESS

THE PROJECT WILL PROMOTE HEALTH AND WELLNESS BY PROVIDING ACTIVATED GREEN ROOFS, PERMANENT ART INSTALLATIONS, WALKING PATHS, AND FITNESS ROOMS.



MOBILITY

THE PROJECT WILL PROMOTE MOBILITY BY PROVIDING LAST MILE CONNECTIVITY OPTIONS SUCH AS DESIGNATED PICK-UP/DROP-OFF FOR CARSHARE SERVICES, ALONG WITH SECURED BIKE STORAGE.



GREEN SPACE

THE PROJECT WILL PROVIDE DEDICATED GREEN SPACE FOR OCCUPANTS AND COMMUNITY IN EXCESS OF ZONING CODE REQUIREMENTS.



ARTS AND CULTURE

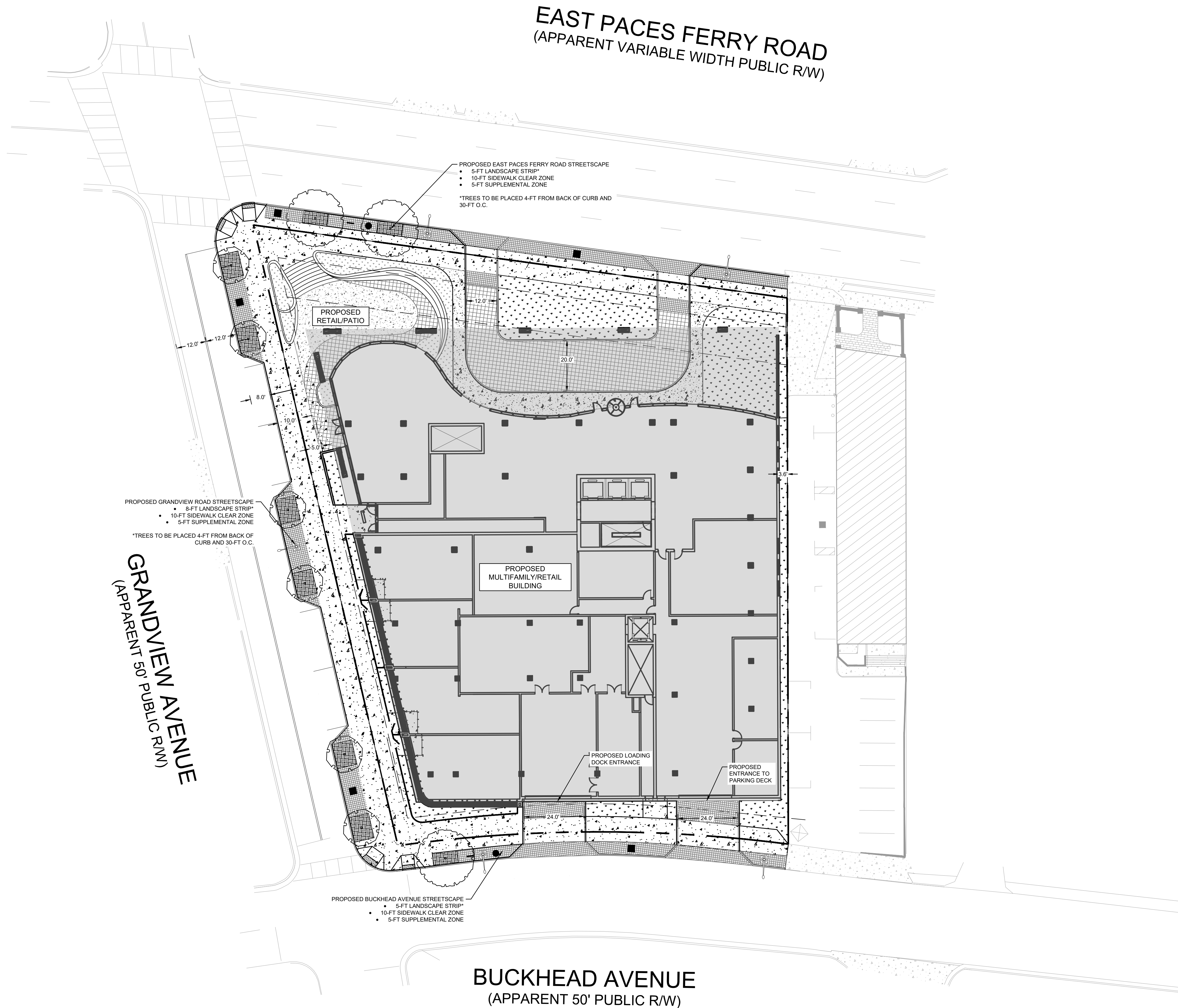
THE PROJECT WILL PROMOTE ART AND CULTURE BY INCORPORATING PERMANENT ART INSTALLATIONS ON THE EXTERIOR AND INTERIOR. THE PLAZA ALSO PROVIDES OPPORTUNITIES TO ENGAGE THE SURROUNDING COMMUNITY.



HARBOR BAY
VENTURES

RENDERING

Drawing name: K:\A\T_CIVIL\017791000_359_East Paces Ferry\CAD\Plansheets\CD-10 - SAP SITE PLAN.dwg CO-10 SAP SITE PLAN Apr 26, 2023 11:52am by: Jordan M Walker



SITE PLAN LEGEND:

	PROPERTY LINE
	BUILDING SETBACK
	STANDARD DUTY CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	LANDSCAPED AREA
	DECORATIVE PAVERS

DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING: SPI-9, SA1, BUCKHEAD PARKING OVERLAY DISTRICT

SITE AREA:	0.956 ACRES
MAXIMUM BUILDING SETBACK:	20 FT

LAND USES & DENSITIES:

MAXIMUM DEVELOPMENT ALLOWED PER CONDITIONS OF Z-08-053	366,328 SF
PROPOSED DEVELOPMENT	
PROPOSED RESIDENTIAL/RETAIL:	335,427 SF

PARKING SUMMARY:

NO MINIMUM PARKING PER BUCKHEAD PARKING OVERLAY DISTRICT

PROPOSED PARKING	
STREET PARKING:	4 SPACES
PARKING DECK:	329 SPACES
TOTAL PROVIDED:	333 SPACES

ALLOWED RESIDENTIAL/RETAIL PARKING

RESIDENTIAL	736 SPACES
RETAIL	9 SPACES
MAXIMUM ALLOWED:	745 SPACES

BICYCLE PARKING

REQUIRED:	34 SPACES
PROVIDED:	36 SPACES

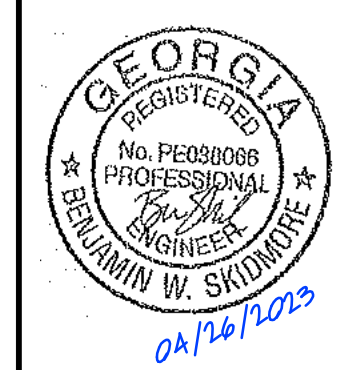
- VARIATIONS LIST:**
- 2 PROPOSED CURB CUTS ALONG BUCKHEAD AVENUE.
 - EXCEED 20' MAXIMUM BUILDING SETBACK REQUIREMENT ALONG EAST PACES FERRY.
 - INCREASE TREE SPACING ALONG GRANDVIEW TO 70' OC
 - INCREASE LIGHT SPACING ALONG GRANDVIEW TO 100' OC

Kimley»Horn
©2017 KIMLEY-HORN AND ASSOCIATES, INC.
1200 PEACHTREE STREET, NE SUITE 800
ATLANTA, GEORGIA 30309
PHONE: (404) 418-8700
WWW.KIMLEY-HORN.COM

HARBOR BAY
2021 W 25TH ST
CLEVELAND, OH 44113

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY
1	SAP SUBMITTAL		

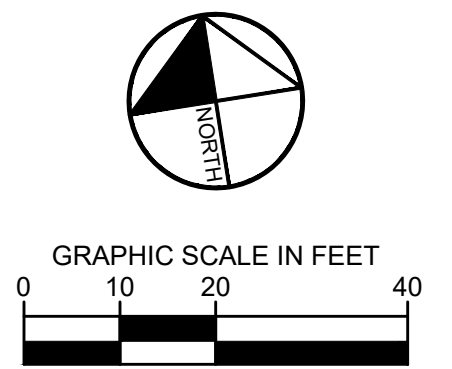
INTRO BUCKHEAD
359 EAST PACES FERRY RD NE, ATLANTA, GA 30305



GSWCC NO. (LEVEL II)	
DRAWN BY	JMW
DESIGNED BY	JMW
REVIEWED BY	BWS
DATE	04/26/2023
PROJECT NO.	017791000
TITLE	

SAP SITE PLAN

SHEET NUMBER
C2-10



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Drawing name: K:\A\T_CIVIL\017791000_359 East Paces Ferry\CAD\Plans\sheet\LD-00 - CONCEPT LANDSCAPE PLAN.dwg LO-00 CONCEPT LANDSCAPE PLAN 36x48 Apr 24, 2023 5:00pm by: Kerry Leung

EAST PACES FERRY ROAD
(APPARENT VARIABLE WIDTH PUBLIC R/W)



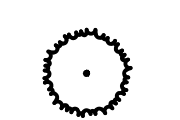



OVERSTORY TREE, TYP.
GROUND COVER AREA, TYP.
MIDSTORY TREE, TYP.
UNDERSTORY TREE, TYP.
SHURB AREA, TYP.

GRANDVIEW AVENUE
(APPARENT 50' PUBLIC R/W)

EVERGREEN TREE, TYP.

BUCKHEAD AVENUE
(APPARENT 50' PUBLIC R/W)

CONCEPT PLANT SCHEDULE

	MIDSTORY TREE B&B, 3' CAL.	1		
	OVERSTORY TREE B&B, 3.5' CAL.	3		
	EVERGREEN TREE B&B, 2.5' CAL.	3		
	UNDERSTORY TREE B&B, 2.5' CAL.	12		
	ORNAMENTAL SHRUB AREA ----- / SHRUBS/HERBACIOUS	4,391 SF 1,141	3 GAL.	24" oc
	GROUND COVER ----- / GROUND COVERS	630 SF 655	1 GAL.	12" oc

Kimley-Horn
©2013 KIMLEY-HORN AND ASSOCIATES, INC.
1200 PEACHTREE STREET, NE SUITE 800
ATLANTA, GEORGIA 30309
PHONE: (404) 419-8700
WWW.KIMLEY-HORN.COM

HARBOR BAY
2021 W 25TH ST
CLEVELAND, OH 44113

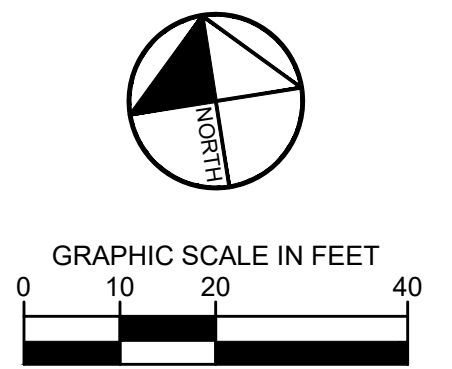
No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY
1	SAP SUBMITTAL SET	04/25/2023	CLZ

INTRO BUCKHEAD
359 EAST PACES FERRY RD NE, ATLANTA, GA 30305

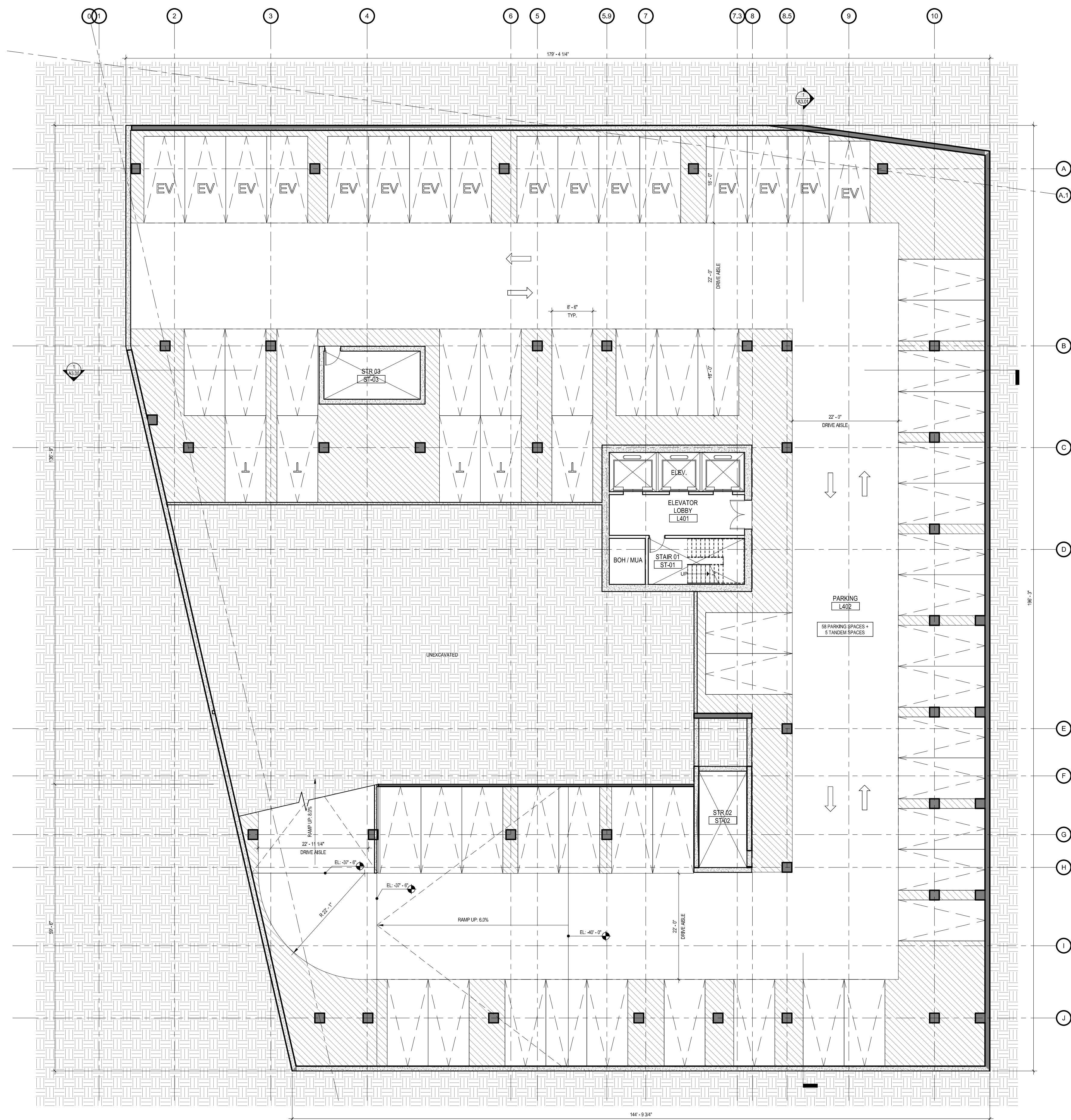


GSWCC NO. (LEVEL II)	
DRAWN BY	KL
DESIGNED BY	CLZ
REVIEWED BY	CLZ
DATE	
PROJECT NO.	017791000

TITLE
CONCEPT LANDSCAPE PLAN
SHEET NUMBER
L0-00



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



1 LOWER LEVEL 4 FLOOR PLAN

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- 1 WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A0.1 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
- 2 SEE WALL TYPE SCHEDULE ON SHEET A0.1 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
- 3 SEE DOOR SCHEDULE ON SHEET A0.0 FOR DOOR FIRE RATINGS AND SIZES.
- 4 SEE WINDOW SCHEDULE ON SHEETS A0.2A AND A0.2B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- 1 CIP CONCRETE WALL
- 2 CMU BLOCK WALL
- 3 NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all applicable codes and standards, and ensuring that the work complies with all applicable building codes, and all applicable codes, standards, and specifications. Contractor shall coordinate the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and located systems. Submit shop drawings to architect for approval in conformity with applicable building codes.

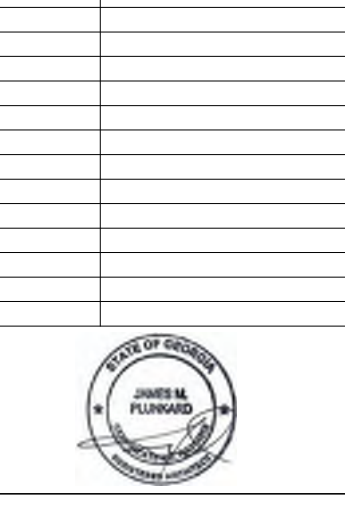
A written Architectural Specification was issued for this project and along with these plans. Contractor shall adhere to the Contract Documents for this project. Work shall conform to all applicable codes throughout the project. Documents by reference shall be the work of the Contractor and all subcontractors shall be held responsible for the work. Additional Architectural Specification copies are available upon request.

Hartshorne Plunkard Architecture, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or alteration to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

355 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

DATE	ISSUED FOR
1 04/25/2023	SAP SUBMITTAL

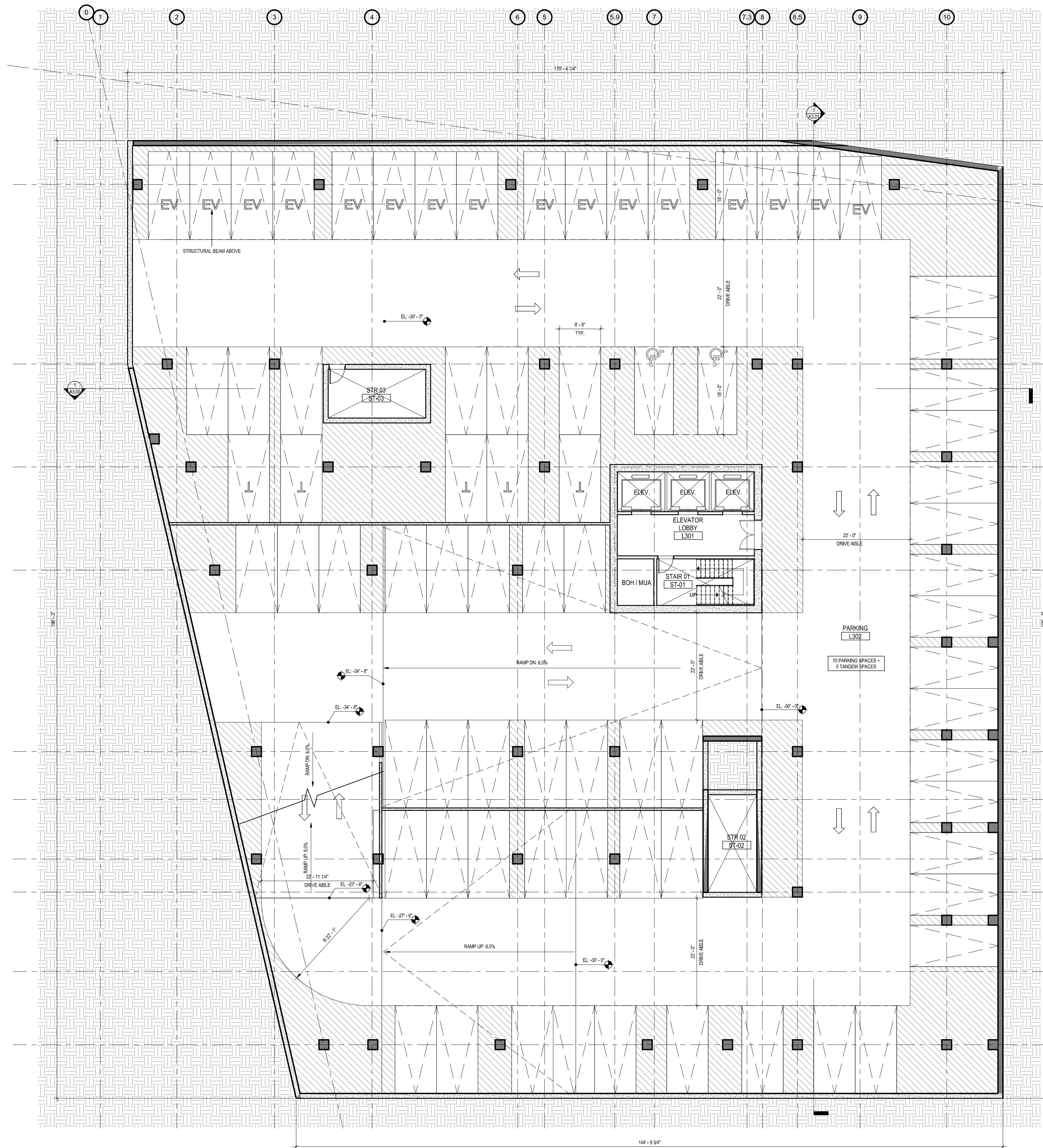


HARTSHORNE PLUNKARD ARCHITECTURE
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

PROJ. # PROJECT: 22-039
 SCALE: As indicated

LOWER LEVEL 4 FLOOR PLAN

A1.0A-LL4



1 LOWER LEVEL 3 FLOOR PLAN

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- ◆ WALL TAGS AS SHOWN PER PLAN ARE REFERENCES IN WALL TYPE SCHEDULE ON SHEET A1.1
- SEE WALL TYPE SCHEDULE ON SHEET A1.1 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
- ① SEE DOOR SCHEDULE ON SHEET A1.2 FOR DOOR FIRE RATINGS AND SIZES.
- ② SEE WINDOW SCHEDULE ON SHEETS A1.2A AND A1.2B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- CIP CONCRETE WALL
- ▨ CMU BLOCK WALL
- NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all associated conditions prior to providing and Constructing, complying with all applicable building codes, and all applicable Architectural, Mechanical, Electrical, and Plumbing (MEP) Codes. Contractor shall construct the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity with Mechanical specifications.

A written Architectural Specification was issued for this project and along with these plans documents constitute the Contract Documents for this project. Work scope pertains to all drawings issued throughout the Contract Documents. By submitting bid for this work the Contractor and all subcontractors agree that they have reviewed the contract documents and all work conditions and have accepted all applicable work. Additional Architectural Specification copies are available upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

356 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

DATE	ISSUANCES FOR
1 04/25/2023	SAP SUBMITTAL

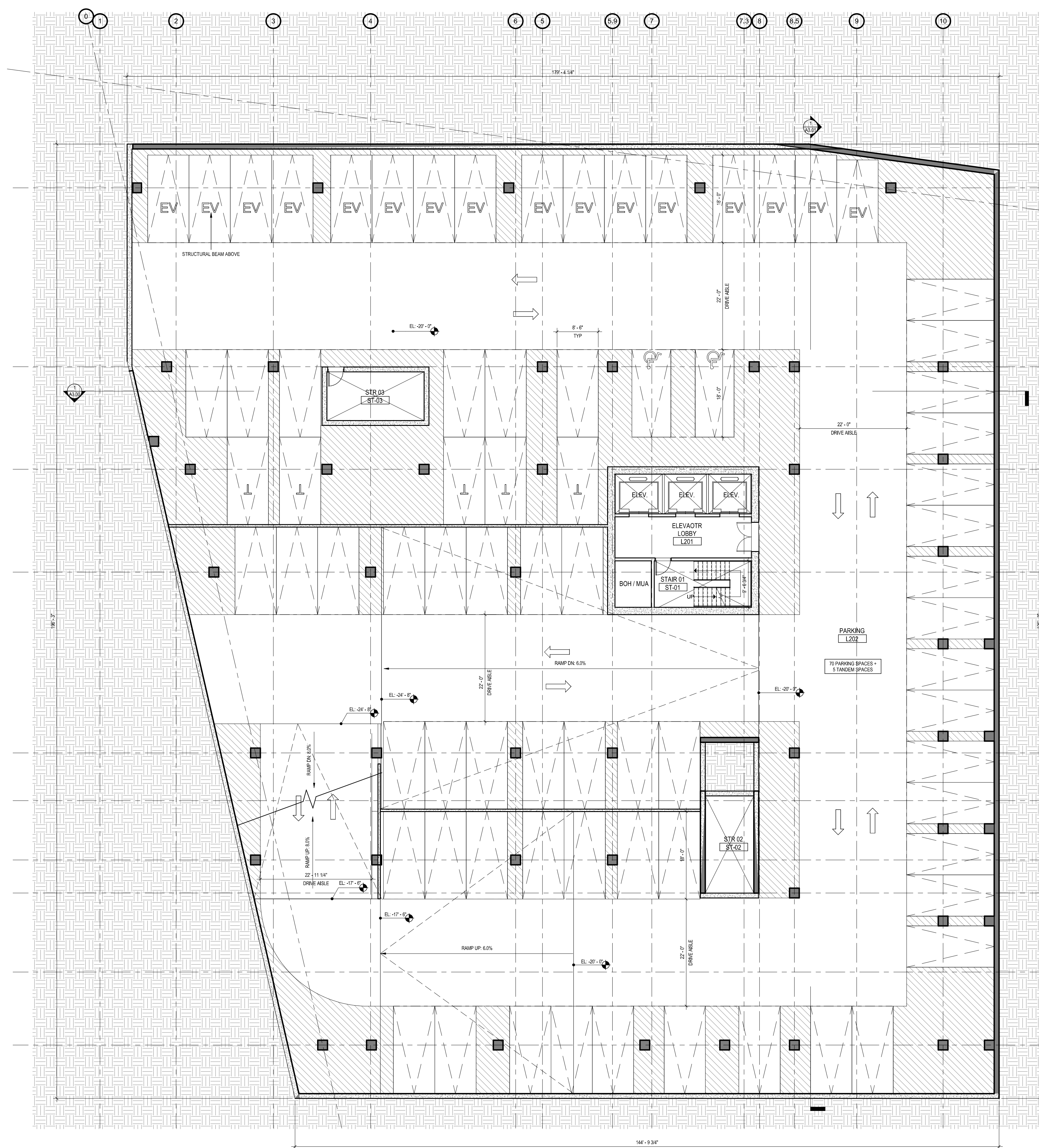


HARTSHORNE PLUNKARD ARCHITECTURE
 LPA
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

PROJ. # PROJECT: 22-639
 SCALE: As indicated

LOWER LEVEL 3 FLOOR PLAN

A1.0B-LL3



1 LOWER LEVEL 2 FLOOR PLAN

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- 1 WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A1.
- 2 SEE WALL TYPE SCHEDULE ON SHEET A1 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
- 3 SEE DOOR SCHEDULE ON SHEET A1.3 FOR DOOR FIRE RATINGS AND SIZES.
- 4 SEE WINDOW SCHEDULE ON SHEETS A1.2A AND A1.2B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- 1 GIP CONCRETE WALL
- 2 CMU BLOCK WALL
- 3 NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all applicable codes and standards, to ensure that the work complies with all applicable building codes, rules, and all applicable laws, ordinances, and regulations. Contractor shall construct the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings for approval in conformity with applicable building codes.

A written Architectural Specification was issued for this project and along with these plans documents constitute the Contract Documents for this project. Work shall conform to all applicable codes throughout the Contract Documents. By submitting bid for this work, the Contractor and all subcontractors agree that they have reviewed the contract documents and all applicable codes and laws and have accepted all applicable work. Additional Architectural Specification copies are available upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

350 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

DATE	ISSUANCES FOR
1 04/25/2023	SAP SUBMITTAL

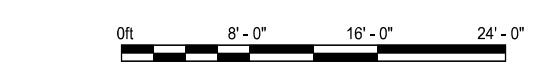
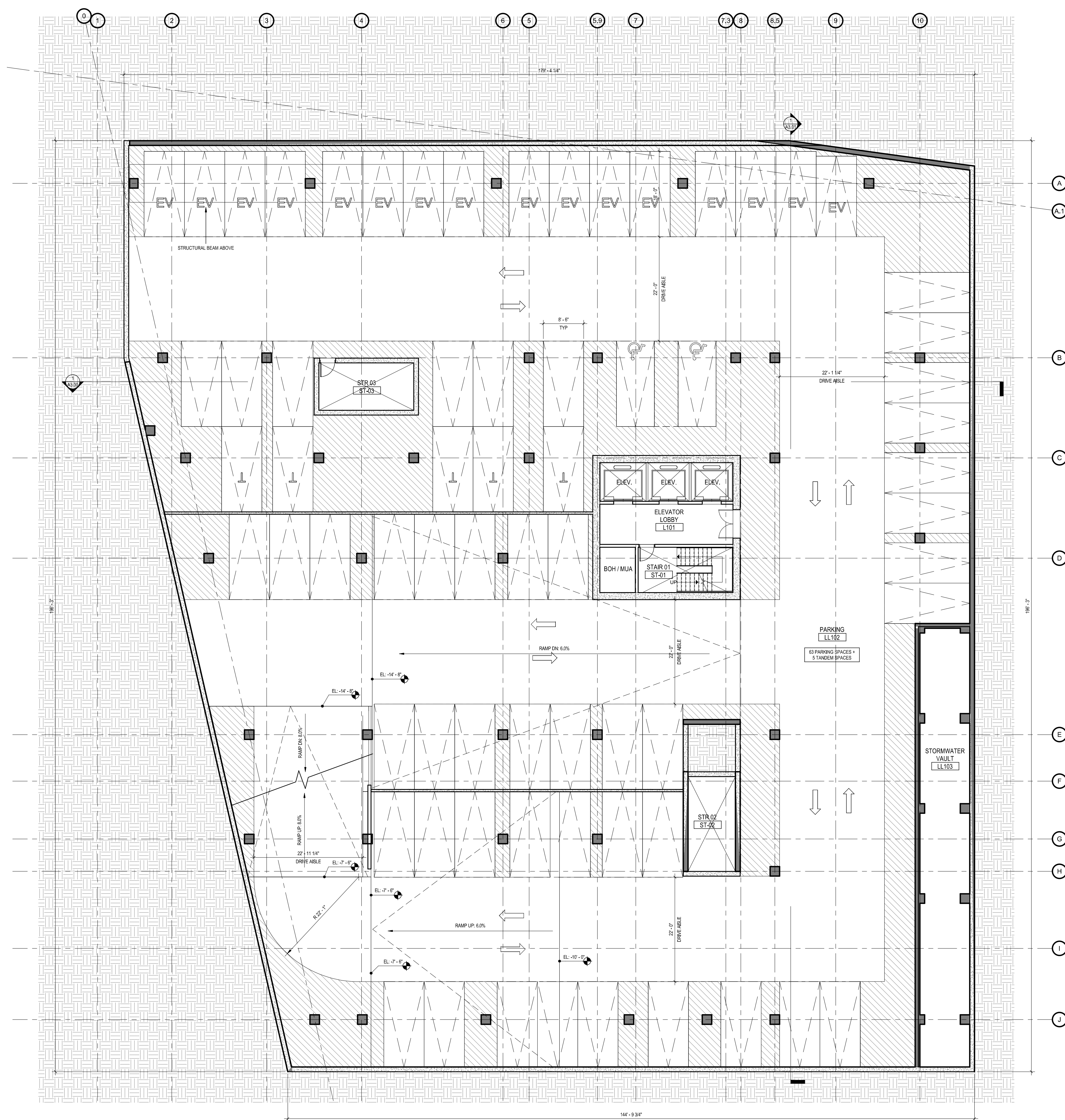


HARTSHORNE PLUNKARD ARCHITECTURE
 LPA
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

PROJ. # PROJECT: 22-039
 SCALE: As indicated

LOWER LEVEL 2 FLOOR PLAN

A1.0C-LL2



1 LOWER LEVEL 1 FLOOR PLAN

- AREA FOR CITY APPROVAL STAMP**
- PLAN NOTES**
- ◆ WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A-1
 - SEE WALL TYPE SCHEDULE ON SHEET A-1 FOR FIRE RATINGS, LININGS AND ASSEMBLIES.
 - Ⓛ SEE DOOR SCHEDULE ON SHEET A-2 FOR DOOR FIRE RATINGS AND SIZES.
 - Ⓜ SEE WINDOW SCHEDULE ON SHEETS A-2A AND A-2B FOR WINDOW ASSEMBLIES.

- PLAN MATERIAL KEY**
- OP CONCRETE WALL
 - CMU BLOCK WALL
 - NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all drawings and conditions prior to providing and performing work in accordance with all applicable building codes, and all applicable Architectural documents. Contractor shall coordinate the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity with referenced building codes.

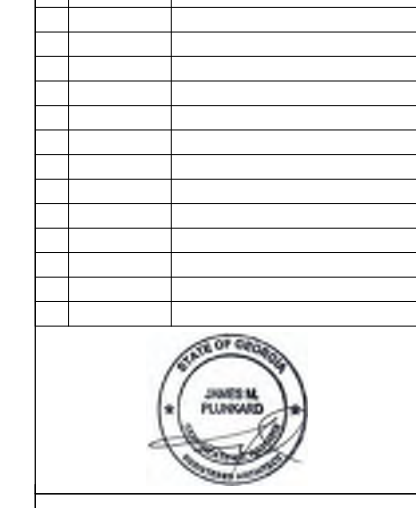
A written Architectural Specification was issued for this project and along with these plans documents constitute the Contract Documents for this project. Work shall conform to all drawings issued throughout the Contract Documents. By submitting bid for this work the Contractor and all subcontractors agree that they have reviewed the Contract Documents and all submittals and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

356 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

ISSUANCES	DATE	ISSUED FOR
1	04/25/2023	SAP SUBMITTAL

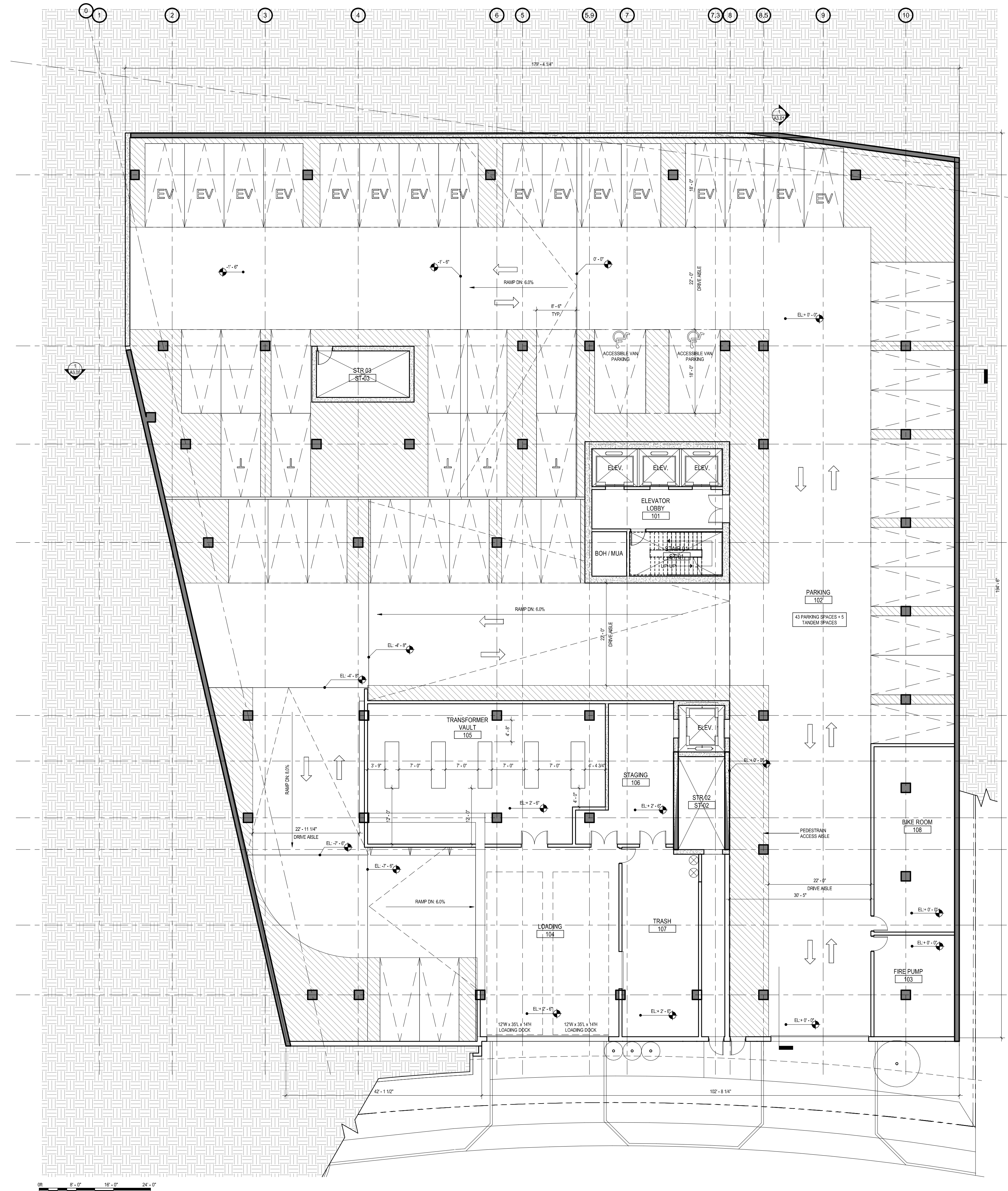


HARTSHORNE PLUNKARD ARCHITECTURE
LPA
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

PROJ. # PROJECT: 22-039
 SCALE: As indicated

LOWER LEVEL 1 FLOOR PLAN

A1.0D-LL1



31 1ST FLOOR PLAN

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A0.1 FOR FIRE RATINGS, LISTINGS AND ASSEMBLIES.
- SEE WALL TYPE SCHEDULE ON SHEET A0.1 FOR FIRE RATINGS, LISTINGS AND ASSEMBLIES.
- SEE DOOR SCHEDULE ON SHEET A0.1 FOR DOOR FIRE RATINGS AND SIZES.
- SEE WINDOW SCHEDULE ON SHEETS A0.2A AND A0.2B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- OP CONCRETE WALL
- CMU BLOCK WALL
- NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all drawings and specifications to determine and confirm compliance with all applicable building codes, and all applicable local, state and federal codes. Contractor shall not proceed with construction until all applicable codes and regulations are confirmed.

Contractor is responsible for design and installation of proper sized and located systems. Submit any drawings to architect for approval in conformity to referenced codes.

All written Architectural Specifications are issued for the project and along with these general instructions constitute the Contract Documents for this project. Work shop prepared by the contractor shall be in accordance with the Contract Documents. By submitting bid for this work the Contractor and all subcontractors agree that they have reviewed the contract documents and will be bound by the terms and conditions and shall be held responsible for the work. Additional Architectural Specifications copies are available upon request.

Hartshore Plunkard, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshore Plunkard, LLC.

INTRO BUCKHEAD

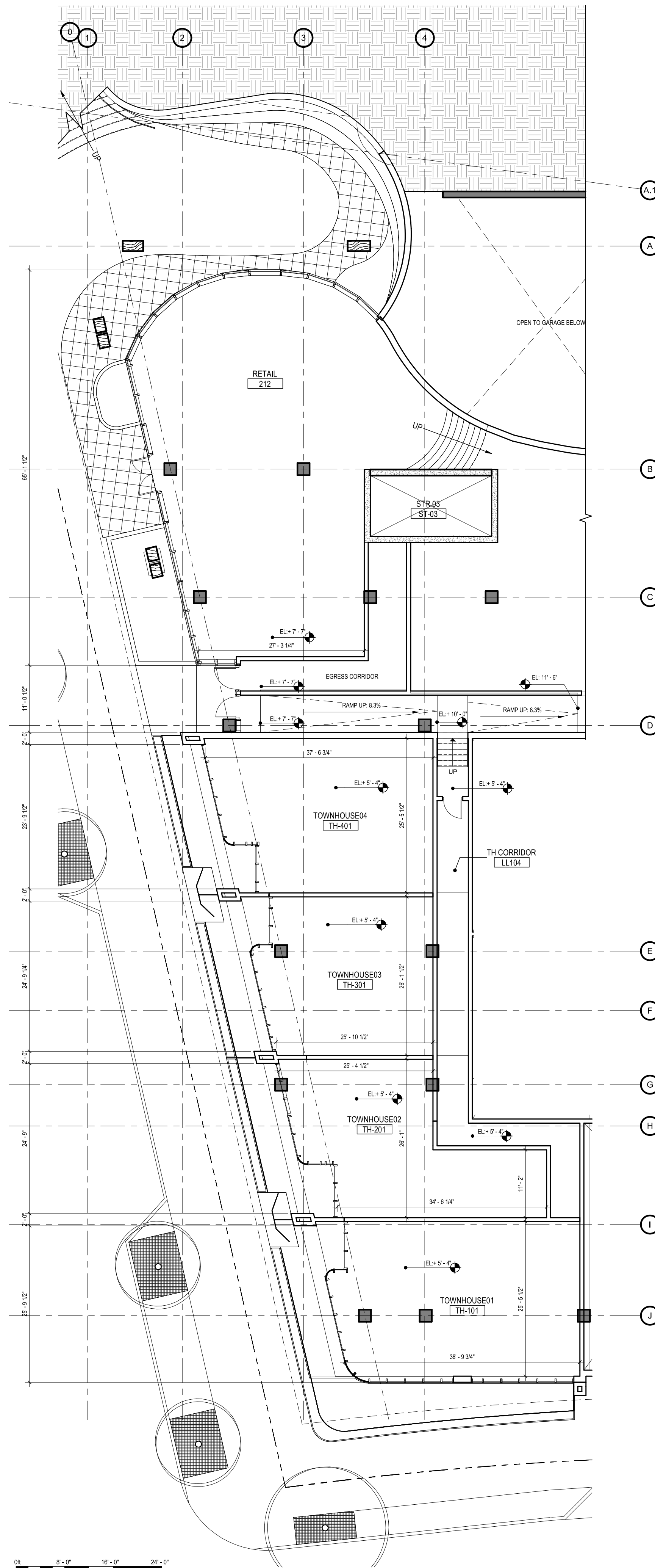
356 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

ISSUANCES:

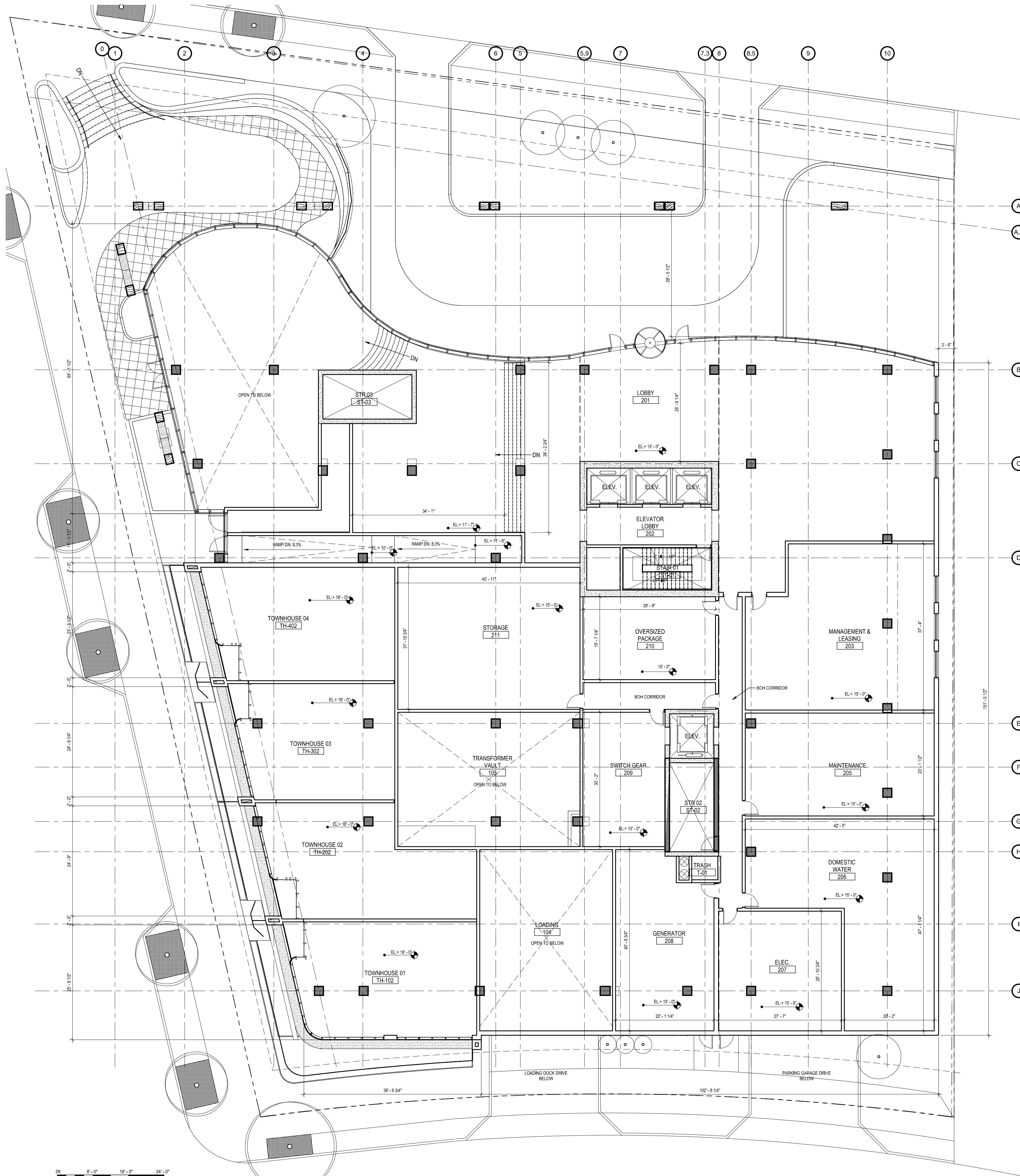
DATE	ISSUED FOR
1 04/25/2023	SAP SUBMITTAL

HARTSHORE PLUNKARD ARCHITECTURE
 LPA
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

PROJ. # PROJECT: 22-039
 SCALE: As indicated



1 1ST FLOOR TOWNHOUSE & RETAIL FLOOR PLAN



2 2ND FLOOR TOWNHOUSE & LOBBY FLOOR PLAN

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- 1 WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A.1
- 2 SEE WALL TYPE SCHEDULE ON SHEET A.1 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
- 3 SEE DOOR SCHEDULE ON SHEET A.2 FOR DOOR FIRE RATINGS AND SIZES.
- 4 SEE WINDOW SCHEDULE ON SHEETS A.3A AND A.3B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- 1 CP CONCRETE WALL
- 2 CMU BLOCK WALL
- 3 NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all applicable codes and standards, and ensuring that the work complies with all applicable building codes, rules, and all applicable laws, ordinances, and regulations. Contractor shall ensure that the work is performed in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity with applicable building codes.

A written Architectural Specification was issued for this project and along with these general instructions constitute the Contract Documents for this project. Work shall conform to all drawings issued through the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors agree that they have reviewed the entire contract documents and all site conditions and have accepted all applicable work. Additional Architectural Specifications copies are available upon request.

Hartshorne Plunkard Architecture, LLC shall retain all copyrights, and shall have the right to use the drawings and building design. No reproduction, change or alteration of any kind shall be made without obtaining written permission and consent of Hartshorne Plunkard Architecture, LLC.

INTRO BUCKHEAD

358 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

ISSUANCES

DATE ISSUED FOR

NO.	DATE	ISSUED FOR
1	04/28/2023	SAP SUBMITTAL

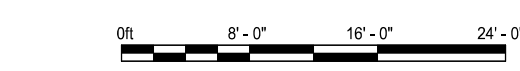
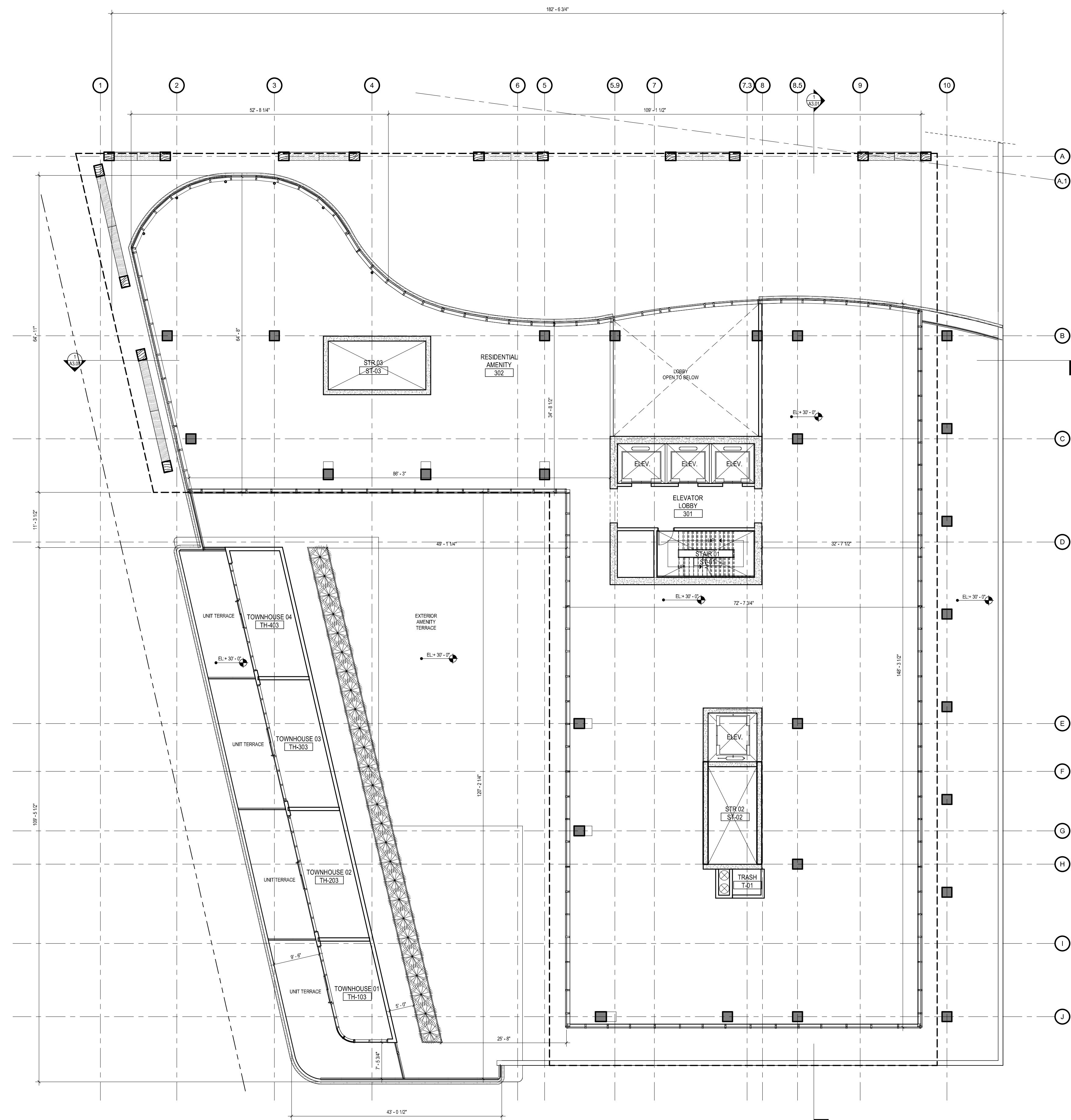


HARTSHORNE PLUNKARD ARCHITECTURE
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

PROJ. # PROJECT: 22-039
 SCALE: As Indicated

2ND FLOOR PLAN

A1.02



1 3RD FLOOR PLAN

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- 1 WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A-1.
- 2 SEE WALL TYPE SCHEDULE ON SHEET A-1 FOR FIRE RATINGS, LL LISTINGS AND ASSEMBLIES.
- 3 SEE DOOR SCHEDULE ON SHEET A-2 FOR DOOR FIRE RATINGS AND SIZES.
- 4 SEE WINDOW SCHEDULE ON SHEETS A-3A AND A-3B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- OP CONCRETE WALL
- CMU BLOCK WALL
- NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all referenced documents to determine if the Contractor is complying with all applicable building codes, and all applicable laws, ordinances, rules and regulations. Contractor shall conduct the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit any drawings to architect for approval in conformity with referenced building codes.

A written Architectural Specification was issued for this project and along with these plans documents constitute the Contract Documents for this project. Work shall conform to all drawings issues throughout the Contract Documents. By submitting bid for this work, the Contractor and all subcontractors agree that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

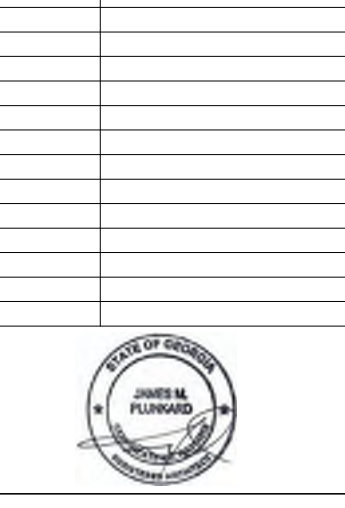
Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or alteration by third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

350 E PACES FERRY RD NE, ATLANTA, GEORGIA
30305

ISSUANCES

DATE	ISSUED FOR
1 04/25/2023	SAP SUBMITTAL

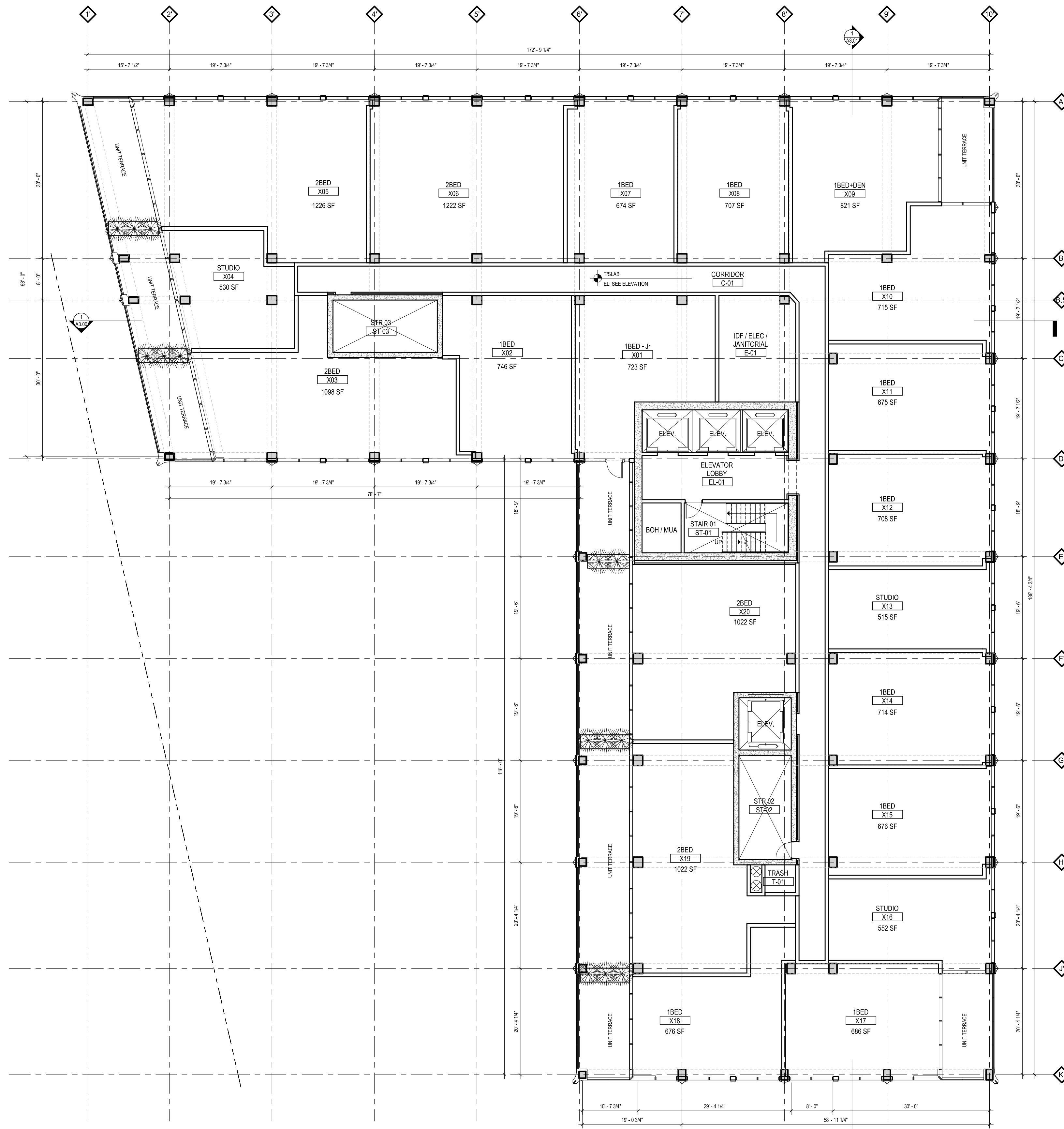


HARTSHORNE PLUNKARD ARCHITECTURE
HPA
315 WEST WALTON STREET
CHICAGO, IL 60610
312.226.4488
HPARCHITECTURE.COM

PROJ. # PROJECT: 22-030
SCALE: As indicated

3RD FLOOR PLAN

A1.03



1 TYP. TOWER FLOOR PLAN - FLOORS 4-18

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- 1 WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A0.1
- 2 SEE WALL TYPE SCHEDULE ON SHEET A0.1 FOR FIRE RATINGS, LISTINGS AND ASSEMBLIES.
- 3 SEE DOOR SCHEDULE ON SHEET A0.0 FOR DOOR FIRE RATINGS AND SIZES.
- 4 SEE WINDOW SCHEDULE ON SHEETS A0.0 AND A0.30 FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- 1 CIP CONCRETE WALL
- 2 CMU BLOCK WALL
- 3 NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all applicable codes and standards, and ensuring that the work complies with all applicable building codes, rules, and all other applicable laws, ordinances, and regulations. Contractor shall coordinate the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of proposed steel and wood framing. Submit shop drawings to architect for approval in conformity with applicable building codes.

A written Architectural Specification was issued for this project and along with these plans documents constitute the Contract Documents for this project. Work shall conform to all drawings issued through the Contract Documents. By submitting bid for this work, the Contractor and all subcontractors agree that they have reviewed the entire contract document set and site conditions and have accepted all applicable work. Additional Architectural Specification copies are available upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law rights with respect to these plans and building design. Reproduction, change or alteration by any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

358 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

ISSUANCES

ISSUED FOR

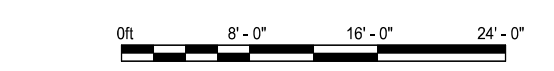
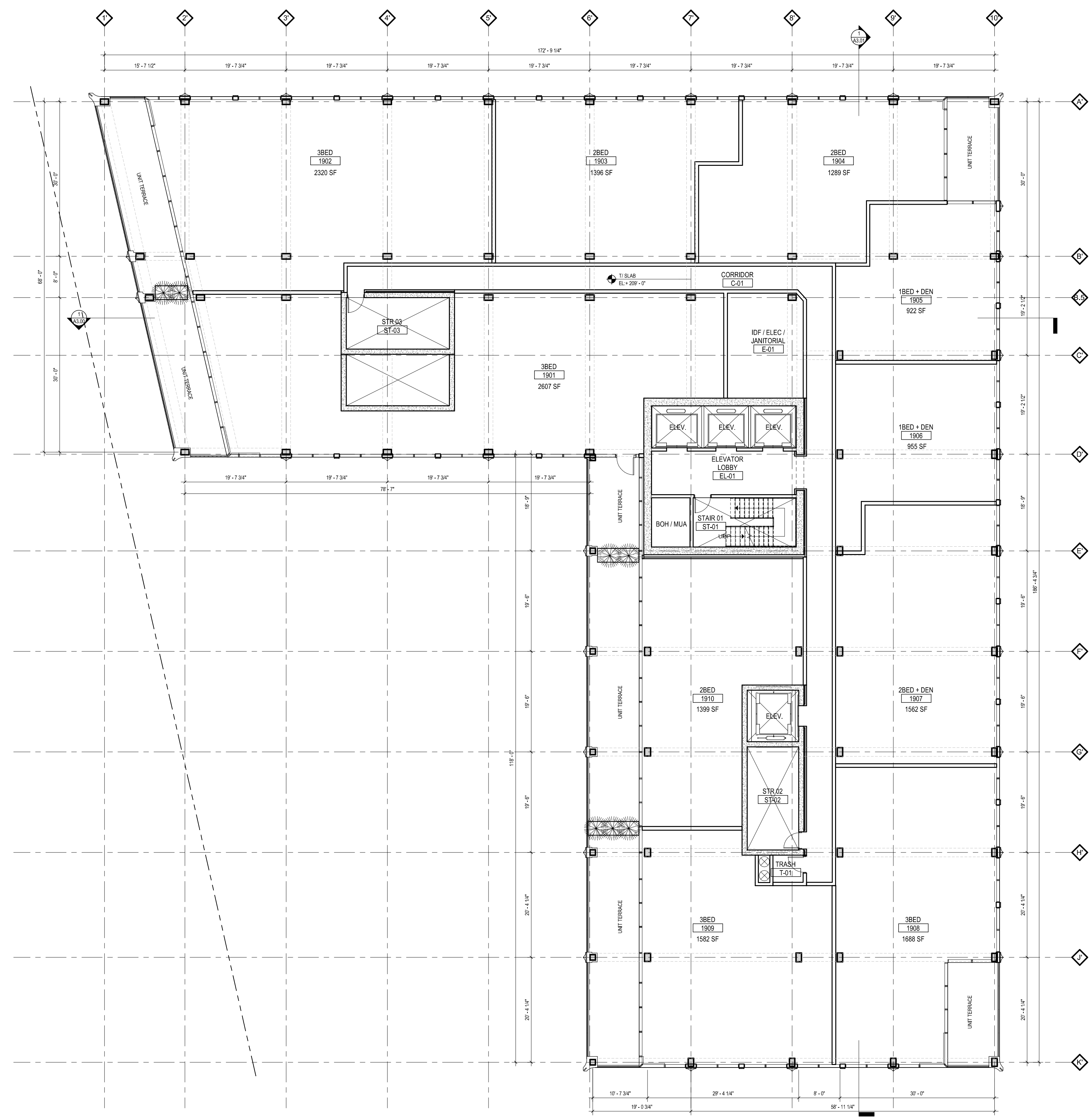
1 04/25/2023 SAF SUBMITTAL



PROJ. # PROJECT: 22-039
SCALE: As indicated

4TH - 18TH FLOOR PLAN

A1.04



1 19TH FLOOR PLAN

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- 1 WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A0.1
- 2 SEE WALL TYPE SCHEDULE ON SHEET A0.1 FOR FIRE RATINGS, GLAZING AND ASSEMBLIES.
- 3 SEE DOOR SCHEDULE ON SHEET A0.1 FOR DOOR FIRE RATINGS AND SIZES.
- 4 SEE WINDOW SCHEDULE ON SHEETS A0.2A AND A0.2B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- OP CONCRETE WALL
- CMU BLOCK WALL
- NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all electrical conditions prior to providing any Contract Documents complying with all applicable building codes, and all applicable Architectural Specifications. Contractor shall ensure that the work is performed in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and labeled systems. Submit final drawings to architect for approval in conformity with applicable building codes.

A written Architectural Specification was issued for this project and along with these plans, documents constitute the Contract Documents for this project. Work shall conform to all drawings issued throughout the Contract Documents. By submitting bid for this work, the Contractor and all subcontractors agree that they have reviewed the entire contract documents and will not claim any items or have included any applicable work. Additional Architectural Specifications copies are available anytime upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

350 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

DATE	ISSUED FOR
04/25/2023	SAP SUBMITTAL

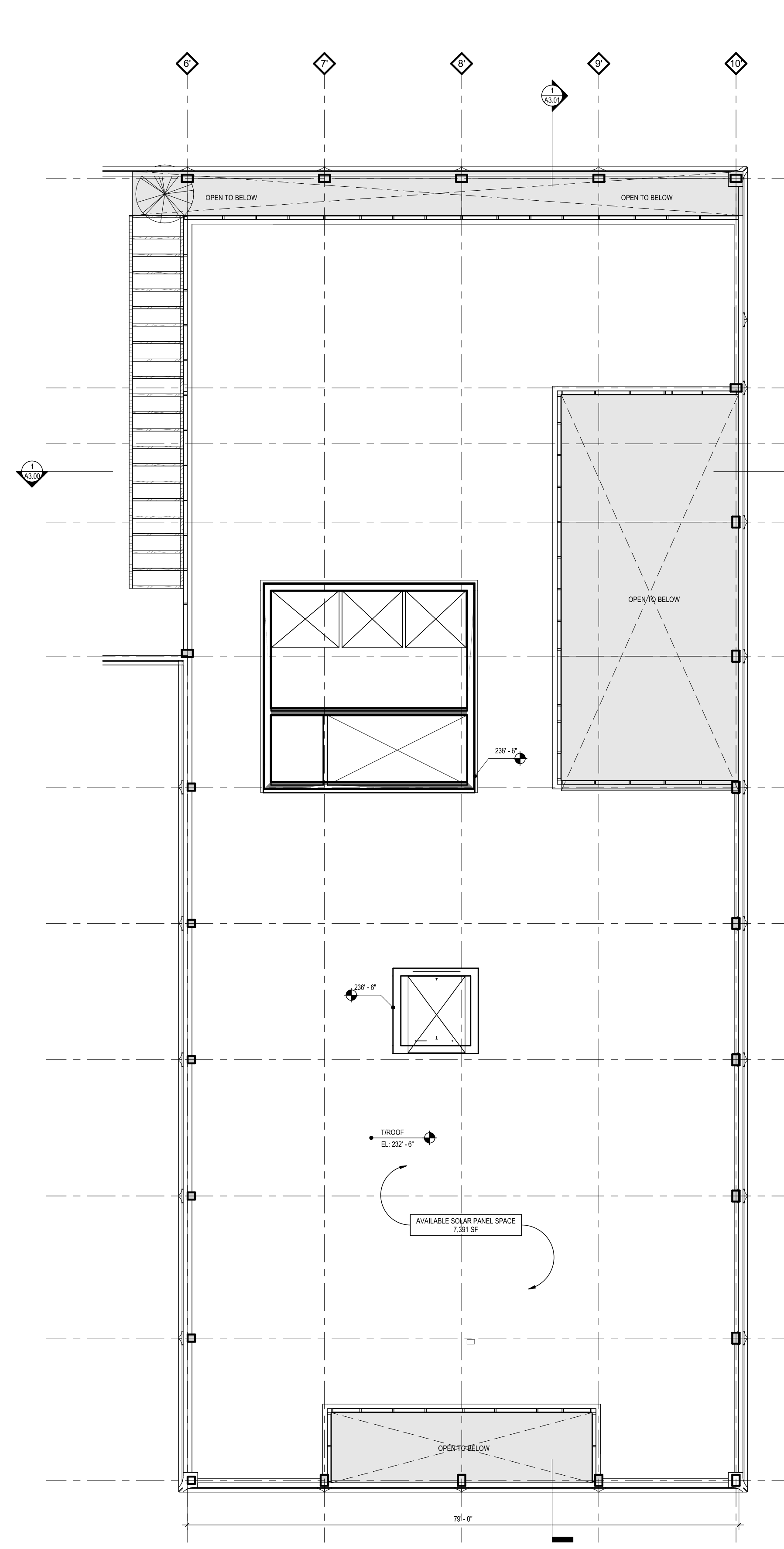


HARTSHORNE PLUNKARD ARCHITECTURE
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

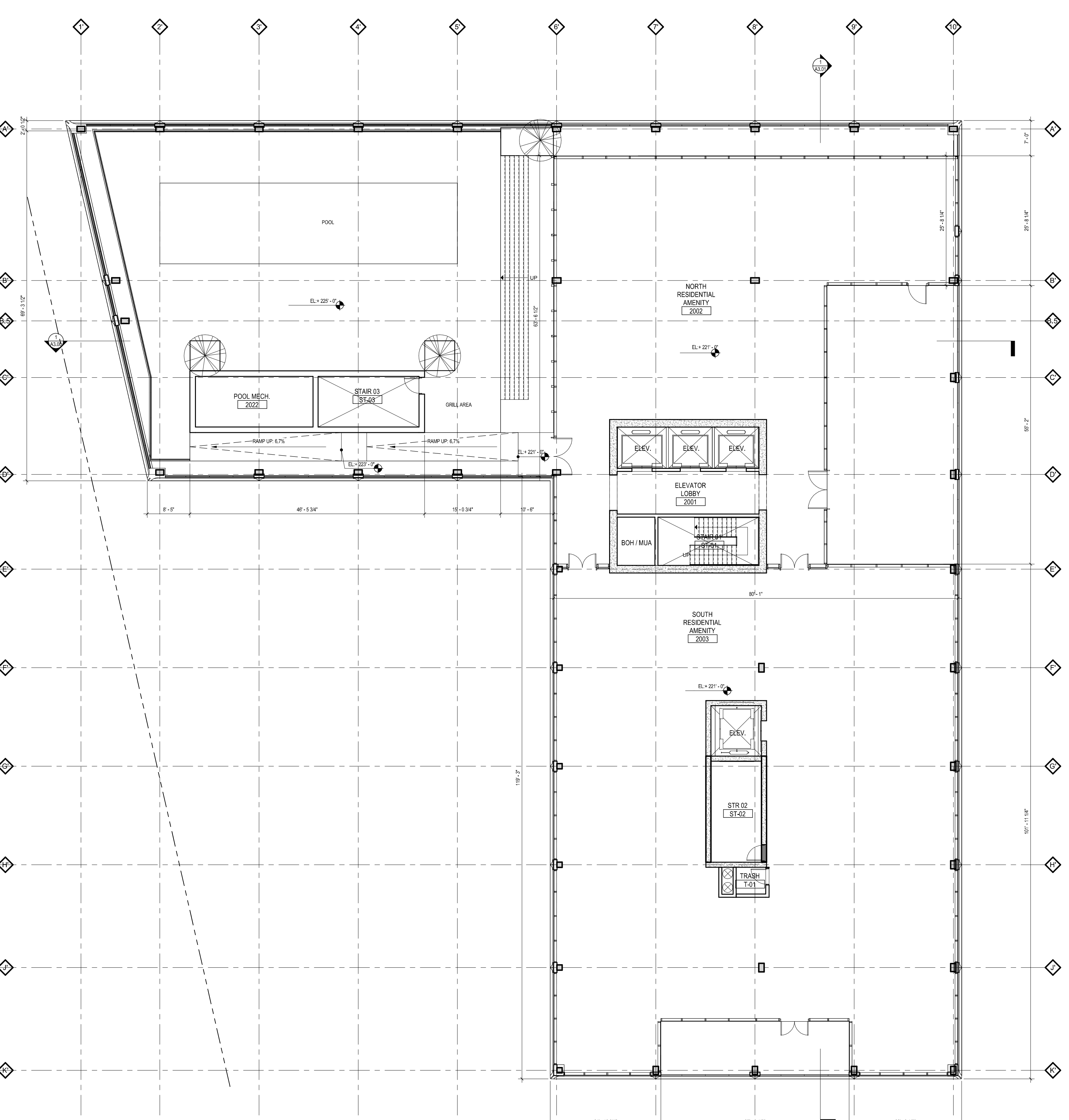
PROJ. # PROJECT: 22-039
 SCALE: As indicated

19TH FLOOR PLAN

A1.19



② ROOF PLAN



① 20TH FLOOR

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

- ① WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A0.1 FOR FIRE RATING, U.I. LISTINGS AND ASSEMBLIES.
- ② SEE DOOR SCHEDULE ON SHEET A0.0 FOR DOOR FIRE RATINGS AND SIZES.
- ③ SEE WINDOW SCHEDULE ON SHEETS A0.2A AND A0.2B FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

CP CONCRETE WALL

CMU BLOCK WALL

NEW METAL STUD & GYPSUM BOARD WALL

Contractor shall be responsible for reviewing all Plans and Specifications, including all notes and conditions prior to proceeding with construction. Compliance with all applicable building codes, rules, and all applicable local, state and federal laws shall be the responsibility of the Contractor. Contractor shall conduct the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity with manufacturer's instructions.

All written Architectural Specifications are issued for this project and along with these general documents constitute the Contract Documents for this project. Work shall proceed in accordance with the Contract Documents through the Contract Documents. Any alterations and/or changes to the Contract Documents shall be made in writing and shall be subject to the same contract terms and conditions as the original Contract Documents. Additional Architectural Specifications copies are available upon request.

Hartshorne Plunkard Architecture, LLC shall retain all copyrights, patents and other intellectual property rights in the design and construction documents prepared by it for this project. Any reproduction, distribution or use of these documents without the written consent of Hartshorne Plunkard Architecture, LLC is prohibited.

INTRO BUCKHEAD

355 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

DATE	ISSUANCE FOR
04/28/2023	SAP SUBMITTAL



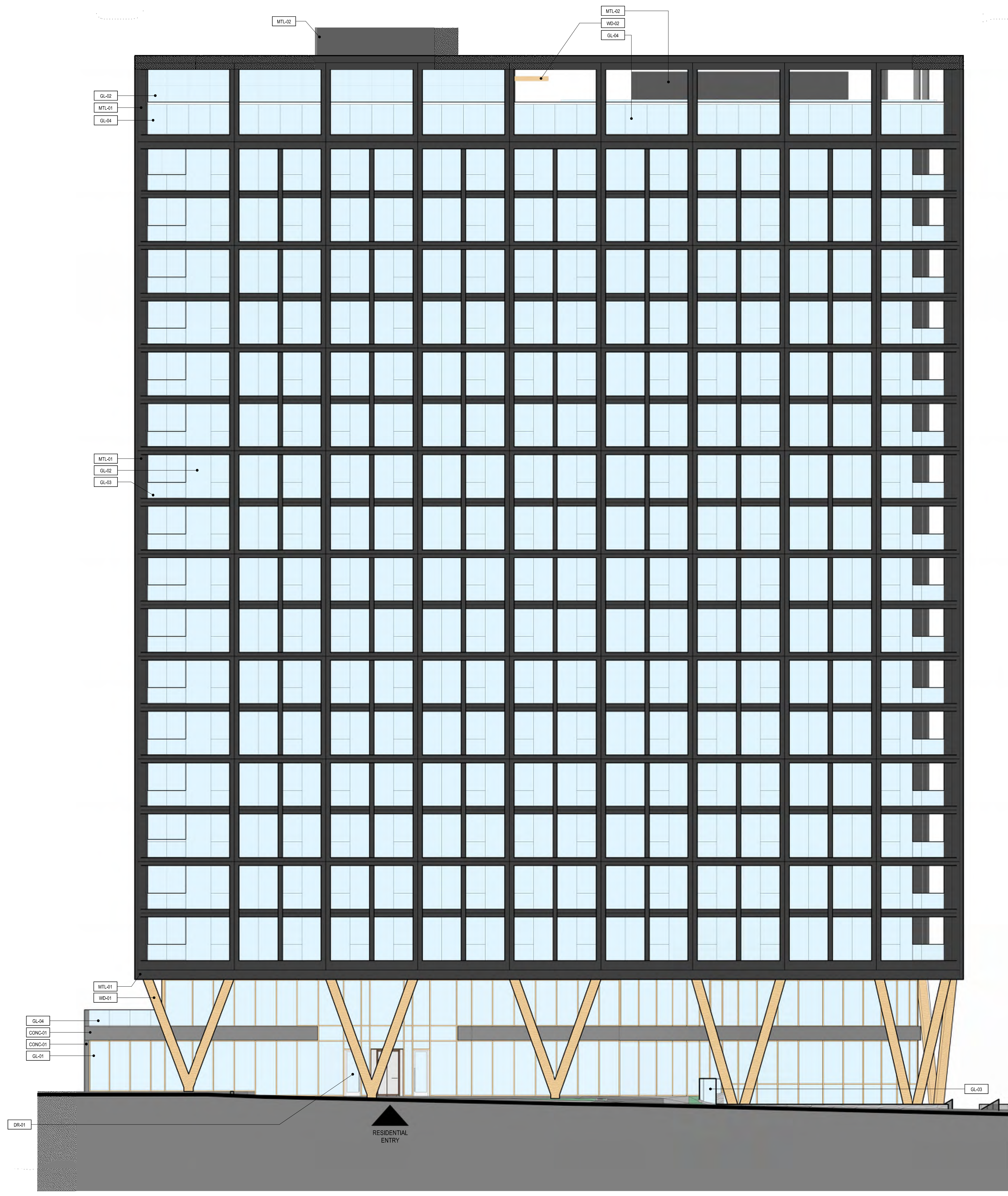
HARTSHORNE PLUNKARD ARCHITECTURE

315 WEST WALTON STREET
CHICAGO, IL 60610
312.226.4448
HPARCHITECTURE.COM

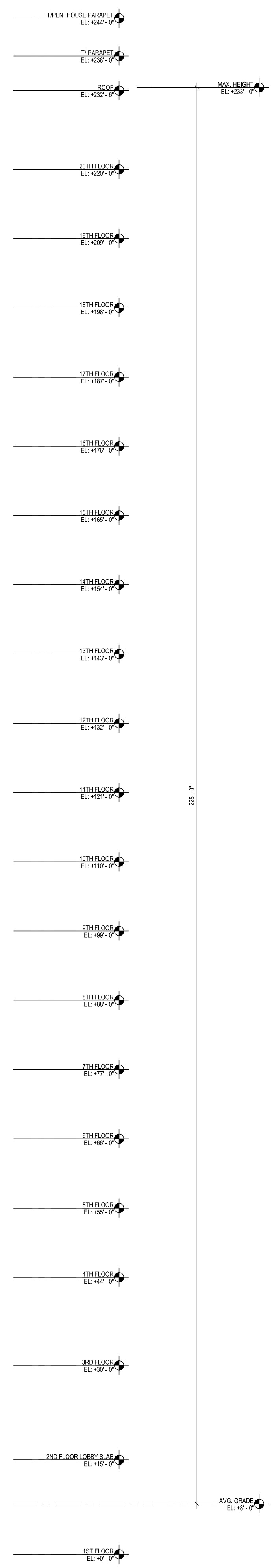
PRJ: # PROJECT: 22-030
SCALE: As Indicated

20TH FLOOR & ROOF PLANS

A1.20



1 SAP - NORTH BUILDING ELEVATION



AREA FOR CITY APPROVAL STAMP

MATERIAL LEGEND

CONC-01	CONCRETE W/ CLEAR SEALER
DR-01	PREFINISHED GLASS & ALUMINUM DOOR
DR-02	PAINTED HOLLOW METAL DOOR
DR-03	PREFINISHED COILING OVERHEAD DOOR
GL-01	ALUM. FRAMED CURTAIN WALL W/ WOOD MULLIONS
GL-02	ALUM. FRAMED CURTAIN WALL W/ SS MULLIONS
GL-03	ALUM. FRAMED GLASS GUARDRAIL
GL-04	ALUM. FRAMED STL RENF. GLASS WIND SCREEN
LV-01	PREFINISHED ALUM. LOUVER
MTL-01	PROFILED ACM PANEL CLADDING
MTL-02	FLAT ACM PANEL CLADDING
WD-01	WOOD PANEL CLADDING
WD-02	STL FRAMED WOOD CANOPY

Contractor shall be responsible for reviewing all Plans and Specifications, including all notes and conditions prior to proceeding with Construction, complying with all applicable building codes, rules, and all city, state, and federal laws and regulations. Contractor shall ensure that the work is performed in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity with referenced codes.

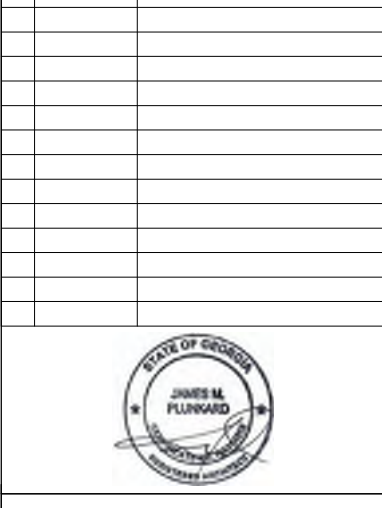
A written Architectural Specification was issued for this project and along with these plans documents constitute the Contract Documents for this project. Work shall conform to all drawings issued throughout the Contract Documents. By submitting bid for this work, the Contractor and all subcontractors agree that they have reviewed the entire contract documents and all its conditions and have accepted all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

356 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

DATE	ISSUED FOR
1 04/25/2023	SAP SUBMITTAL

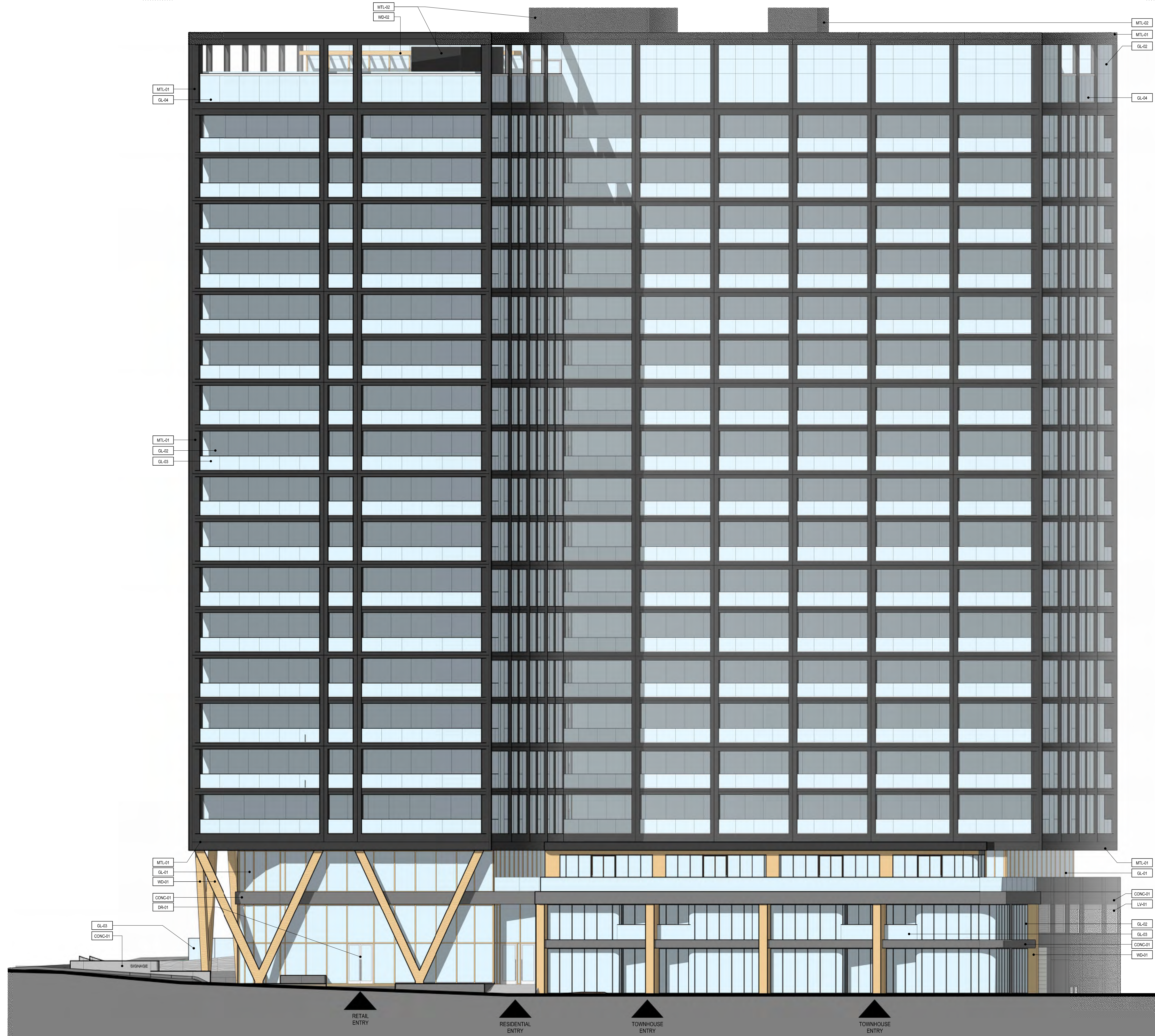


HARTSHORNE PLUNKARD ARCHITECTURE
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

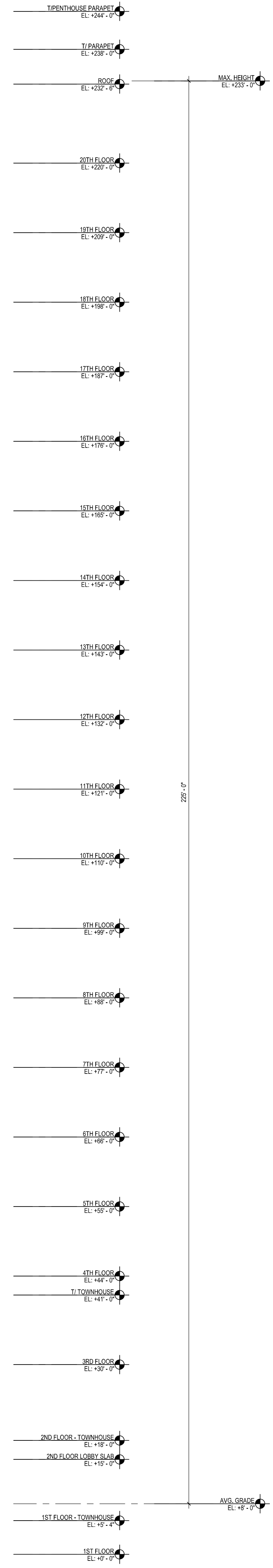
PROJ. # PROJECT: 22-039
 SCALE: As indicated

BUILDING ELEVATION

A2.00SAP



1 SAP - WEST BUILDING ELEVATION



AREA FOR CITY APPROVAL STAMP

- MATERIAL LEGEND**
- CONC-01 CONCRETE W/ CLEAR SEALER
 - DR-01 PREFINISHED GLASS & ALUMINUM DOOR
 - DR-02 PAINTED HOLLOW METAL DOOR
 - DR-03 PREFINISHED COILING OVERHEAD DOOR
 - GL-01 ALUM. FRAMED CURTAIN WALL W/ WOOD MULLIONS
 - GL-02 ALUM. FRAMED CURTAIN WALL W/ SS MULLIONS
 - GL-03 ALUM. FRAMED STL RENF. GLASS W/ WOOD SCREEN
 - GL-04 ALUM. FRAMED STL RENF. GLASS W/ WOOD SCREEN
 - LW-01 PREFINISHED ALUM. LOUVER
 - MTL-01 PROFILED ACM PANEL CLADDING
 - MTL-02 FLAT ACM PANEL CLADDING
 - WD-01 WOOD PANEL CLADDING
 - WD-02 STL FRAMED WOOD CANOPY

Contractor shall be responsible for reviewing all Plans and Specifications, including all applicable codes and laws, and shall ensure that all work is completed in accordance with all applicable building codes, laws, and all City, County, and State requirements. Contractor shall ensure that the work is performed in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and located systems. Submit final drawings to architect for approval in conformity with applicable building codes.

A written Architectural Specification was issued for this project and shall be read in conjunction with the Contract Documents for this project. Work shall conform to all drawings issued throughout the Contract Documents. By submitting a bid for this work, the Contractor and all subcontractors agree that they have reviewed the entire contract documents and all conditions and have accepted all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hatchstone Plunkard, LLC shall retain all copyrights, trademarks and common law rights with regard to these plans and building design. No reproduction, change or assignment to any third party shall be made without obtaining expressed written permission and consent of Hatchstone Plunkard, LLC.

INTRO BUCKHEAD

358 E PACES FERRY RD NE, ATLANTA, GEORGIA 30309

ISSUANCES	
DATE	ISSUED FOR
04/28/2023	SAP SUBMITTAL

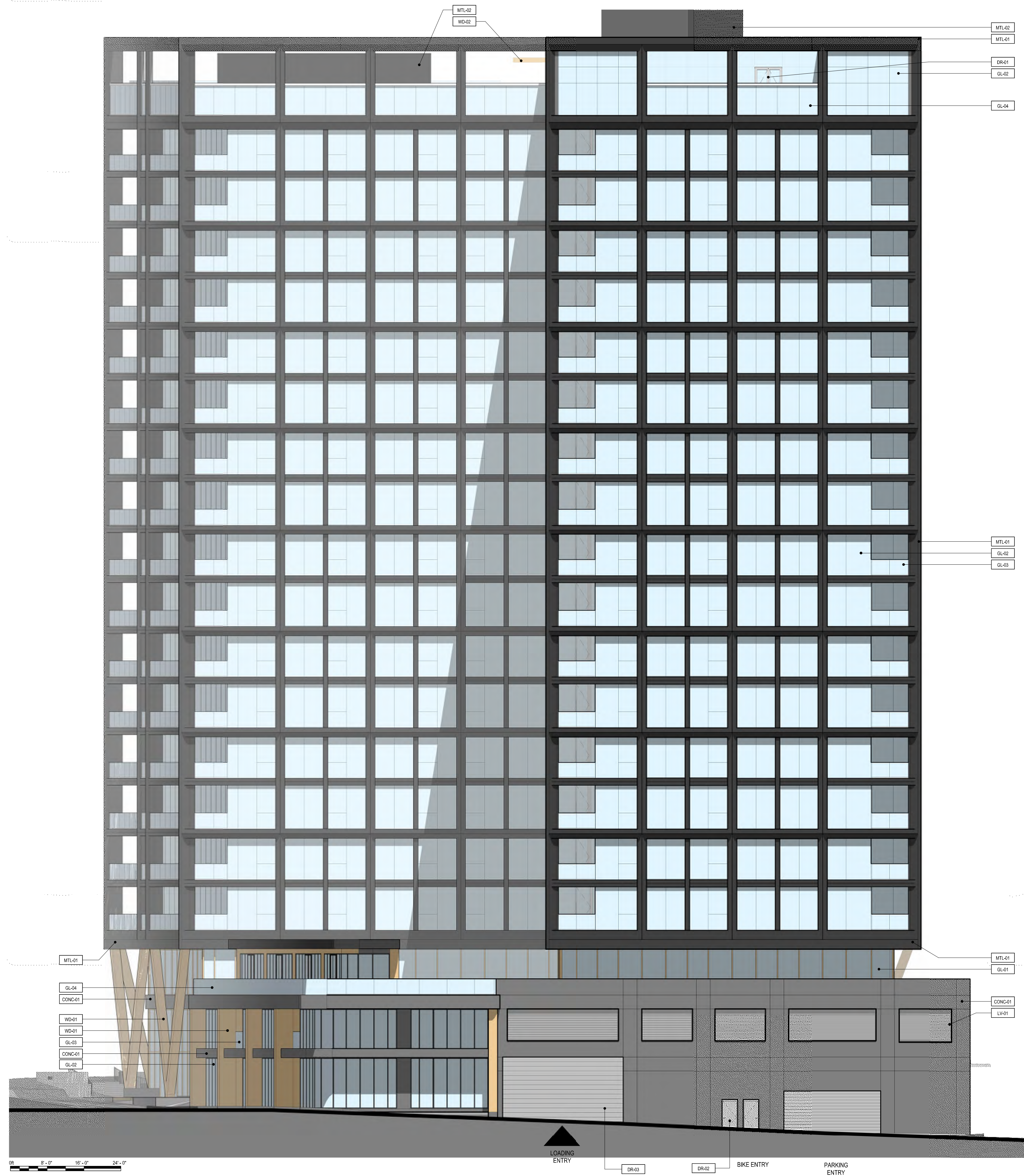


HATCHSTONE PLUNKARD ARCHITECTURE
 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.1418
 HPARCHITECTURE.COM

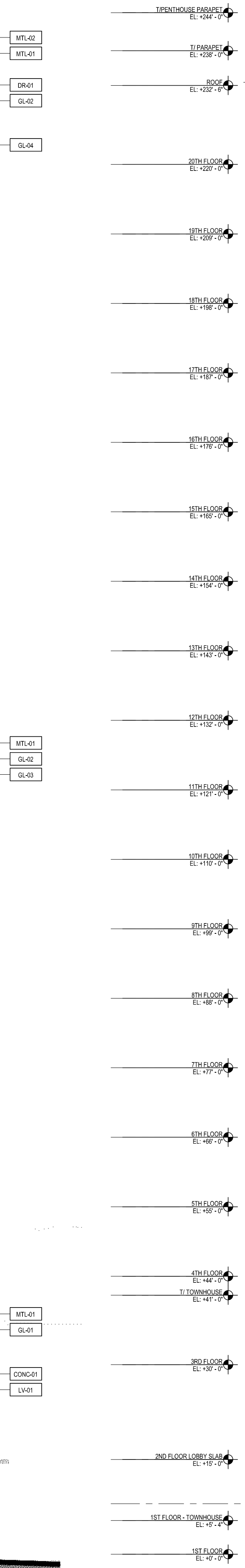
PROJ. # PROJECT: 22-039
 SCALE: As indicated

BUILDING ELEVATION

A2.01SAP



① SAP - SOUTH BUILDING ELEVATION



AREA FOR CITY APPROVAL STAMP

MATERIAL LEGEND

- CONCR-01 CONCRETE W/ CLEAR SEALER
- DR-01 PREFINISHED GLASS & ALUMINUM DOOR
- DR-02 PAINTED HOLLOW METAL DOOR
- DR-03 PREFINISHED COILING OVERHEAD DOOR
- GL-01 ALUM. FRAMED CURTAIN WALL W/ WOOD MULLIONS
- GL-02 ALUM. FRAMED CURTAIN WALL W/ SS MULLIONS
- GL-03 ALUM. FRAMED GLASS GUARDRAIL
- GL-04 ALUM. FRAMED STL RENF. GLASS WIND SCREEN
- LV-01 PREFINISHED ALUM. LOUVER
- MTL-01 PROFILED ACM PANEL CLADDING
- MTL-02 FLAT ACM PANEL CLADDING
- WD-01 WOOD PANEL CLADDING
- WD-02 STL FRAMED WOOD CANOPY

Contractor shall be responsible for reviewing all Plans and Specifications, including all applicable codes and laws to determine if Contractor is complying with all applicable building codes, rules, and any laws. Architect provides all applicable building codes, rules, and laws. Contractor shall construct the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of property owned and located systems. Submit any drawings to architect for approval in conformity to mechanical codes.

A written Architectural Specification was issued for this project and along with these general instructions constitute the Contract Documents for this project. Work is to be performed in accordance with these specifications throughout the project. Documents are submitted for the work on the Contractor and all subcontractors are to be reviewed for the entire contract amount and are to be included in the applicable work. Additional Architectural Specifications copies are available upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, trademarks, and service fees with respect to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

358 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

ISSUANCES

DATE	ISSUED FOR
1 04/25/2023	SAP SUBMITTAL

HARTSHORNE PLUNKARD ARCHITECTURE

 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.1418
 HPARCHITECTURE.COM

PROJ. # PROJECT 22-039
SCALE: As Indicated

BUILDING ELEVATION

A2.02SAP



1 SAP - EAST BUILDING ELEVATION

AREA FOR CITY APPROVAL STAMP

MATERIAL LEGEND

- CONC-01 CONCRETE W/ CLEAR SEALER
- DR-01 PREFINISHED GLASS & ALUMINUM DOOR
- DR-02 PAINTED HOLLOW METAL DOOR
- DR-03 PREFINISHED COOKING OVERHEAD DOOR
- GL-01 ALUM. FRAMED CURTAIN WALL W/ WOOD MULLIONS
- GL-02 ALUM. FRAMED CURTAIN WALL W/ SS MULLIONS
- GL-03 ALUM. FRAMED GLASS GUARDRAIL
- GL-04 ALUM. FRAMED STL. RENF. GLASS WIND SCREEN
- LV-01 PREFINISHED ALUM. LOUVER
- MTL-01 PROFILED ACM PANEL CLADDING
- MTL-02 FLAT ACM PANEL CLADDING
- WD-01 WOOD PANEL CLADDING
- WD-02 STL FRAMED WOOD CANOPY

Contractor shall be responsible for reviewing all Plans and Specifications, including all notes and conditions prior to providing any Contract work. Compliance with all applicable building codes, rules, and all city, state and federal laws shall be the Contractor's responsibility. Contractor shall construct the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings for approval in conformity with all applicable building codes.

A written Architectural Specification was issued for this project and along with this general contract conditions are Contract Documents for this project. Work shall conform to all drawings except those changed by Contract Documents. By submitting bid for this work, the Contractor and all subcontractors agree that they have reviewed the entire contract document and the conditions and have accepted all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, patents and other intellectual property rights in the design and building design. Reproduction, change or modification of any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

INTRO BUCKHEAD

358 E PACES FERRY RD NE, ATLANTA, GEORGIA 30305

ISSUANCES

DATE	ISSUED FOR
1 04/25/2023	SAP SUBMITTAL



HARTSHORNE PLUNKARD ARCHITECTURE
 HPA 315 WEST WALTON STREET
 CHICAGO, IL 60610
 312.226.4488
 HPARCHITECTURE.COM

PROJ. # PROJECT: 22-039
 SCALE: As indicated

BUILDING ELEVATION

A2.03SAP