

RECESS AT HANOVER BUCKHEAD VILLAGE

3150 ROSWELL ROAD NW, ATLANTA, GA 30305

PROJECT DESCRIPTION

| | |
|----------------|--|
| INTERIOR SCOPE | RENOVATION OF EXISTING RESTAURANT TENANT SPACE. EXISTING KITCHEN TO REMAIN LARGELY AS-IS, WITH THE ADDITION OF A NEW SERVICE COUNTER. A NEW STREET-FACING PICK-UP WINDOW WILL BE ADDED, ALONG WITH NEW INTERIOR SEATING, LIGHTING, AND WALL FINISHES IN THE FRONT OF HOUSE SPACES. ASSOCIATED MECHANICAL, ELECTRICAL, AND PLUMBING MODIFICATIONS WILL BE EXECUTED. |
| EXTERIOR SCOPE | EXISTING STOREFRONT FACADE AND AWNING TO BE DEMOLISHED AND REPLACED. |

PROJECT TEAM

| ROLE | CONTACT NAME AND COMPANY | EMAIL | PHONE # | ADDRESS |
|---------------------|---|------------------------------|--------------|---|
| CLIENT/TENANT | ERIK GORANSEN, CEO RECESS CONCEPTS | erik@recessconcepts.com | 404.416.5976 | |
| ARCHITECT | JENNIFER MARTIN, RA, NCARB, NOIDC MARTIN RICKLES STUDIO, LLC | jennifer@m-r-studio | 770.853.7072 | 997 VIOLET AVE SE ATLANTA, GA 30315 |
| MEP ENGINEER | HEYOUNG LEE PROFICIENT ENGINEERING, INC. | hlee@peiaf.com | 404.330.9798 | 3620 DEKALB TECHNOLOGY PKWY SUITE 107 ATLANTA, GA 30340 |
| STRUCTURAL ENGINEER | KAREN JENKINS, AIA, PE SHEAR STRUCTURAL | kjenkins@shearstructural.com | | |
| FOODSERVICE DESIGN | STEVE O'CONNOR L2M FOODSERVICE DESIGN GROUP | soconnor@l2m.com | 410.863.1308 | 811 CROMWELL PARK DRIVE SUITE 113 GLEN BURNE, MD 21061 |
| GENERAL CONTRACTOR | | | | |

APPLICABLE CODES

| BUILDING | INTERNATIONAL BUILDING CODE, 2018 EDITION WITH 2020 GEORGIA AMENDMENTS |
|---------------|--|
| ELECTRICAL | NATIONAL ELECTRICAL CODE, 2020 EDITION |
| MECHANICAL | INTERNATIONAL MECHANICAL CODE, 2018 EDITION WITH 2020 GEORGIA AMENDMENTS |
| PLUMBING | INTERNATIONAL PLUMBING CODE, 2018 EDITION WITH 2020 GEORGIA AMENDMENTS |
| GAS | INTERNATIONAL FUEL GAS CODE, 2018 EDITION WITH 2020 GEORGIA AMENDMENTS |
| FIRE | INTERNATIONAL FIRE CODE, 2018 EDITION WITH 2020 GEORGIA AMENDMENTS |
| LIFE SAFETY | NFPA 101 LIFE SAFETY CODE, 2018 EDITION WITH STATE AMENDMENTS |
| ACCESSIBILITY | GEORGIA ACCESSIBILITY CODE AND DEPARTMENT OF JUSTICE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN, 2010 |
| ENERGY | INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION WITH 2020 GEORGIA SUPPLEMENTS AND AMENDMENTS |

GA AMMENDMENTS CODES REFERENCE GUIDE

| AREA | PRIMARY | SUPPLEMENT |
|---|-----------------------|------------|
| OCCUPANCY CLASSIFICATION | LSC | IBC |
| BUILDING CONSTRUCTION TYPES | IBC | LSC |
| MEANS OF EGRESS | LSC | NONE |
| STANDPIPES | IBC | IFC |
| INTERIOR FINISH | LSC | NONE |
| HVAC SYSTEMS | IMC | NONE |
| VERTICAL OPENINGS | LSC | NONE |
| SPRINKLER SYSTEMS MINIMUM CONSTRUCTION STANDARD | LSC | NONE |
| FIRE ALARM SYSTEMS | LSC | NONE |
| SMOKE ALARMS AND SMOKE DETECTION SYSTEMS | STATE STATUTE AND LSC | NONE |
| PORTABLE FIRE EXTINGUISHERS | IFC | NONE |
| COOKING EQUIPMENT | LSC AND NFPA 96 | NONE |
| FUEL FIRED APPLIANCES | IFGC | NONE |
| LIQUID PETROLEUM GAS | NFPA 58 | NFPA 54 |
| COMPRESSED NATURAL GAS | NFPA 52 | NONE |

ZONING INFORMATION

| | |
|-------------------|--|
| ADDRESS | 3150 ROSWELL ROAD NW, ATLANTA, GA 30305 |
| BASE ZONING | SP1-9 SA1 BUCKHEAD VILLAGE DISTRICT |
| OVERLAY ZONING | N/A |
| PARKING | THIS PROJECT IS PART OF AN EXISTING MIXED-USE BUILDING. PARKING IS PROVIDED ON SITE. |
| SIDEWALK | EXISTING ON ROSWELL ROAD NW. NO CHANGES PROPOSED. |
| BUILDING HEIGHT | X (NO CHANGE PROPOSED) |
| NUMBER OF STORIES | X (NO CHANGE PROPOSED) |
| SIGNAGE | SIGNAGE SHALL BE SUBMITTED AND PERMITTED SEPARATELY. |

PROJECT CHARACTERISTICS & CODE ANALYSIS

EXISTING BUILDING INFORMATION

| | |
|--|--|
| OCCUPANCY CLASSIFICATION (2018 IBC CHAPTER 3) | GROUP B (RESTAURANT OCCUPANCY LOAD LESS THAN 50 PERSONS) |
| CONSTRUCTION TYPE (2018 IBC 602) | II-B SPRINKLERED |
| BUILD-OUT AREA (2018 IBC TABLE 506.2) | BUILD-OUT AREA IS 1,364 GSF |
| NUMBER OF STORIES (2018 IBC TABLE 504.4) | 4 STORIES MAXIMUM ALLOWABLE. BUILD-OUT AREA IS 1 STORY. |
| ALLOWABLE BUILDING HEIGHT (2018 IBC TABLE 504.3) | 75 FEET MAXIMUM ALLOWABLE. BUILD-OUT HEIGHT IS 19 FEET. |
| FIRE RESISTANCE RATING REQUIREMENTS (2018 IBC TABLE 601) | PRIMARY STRUCTURAL FRAME: 0 |

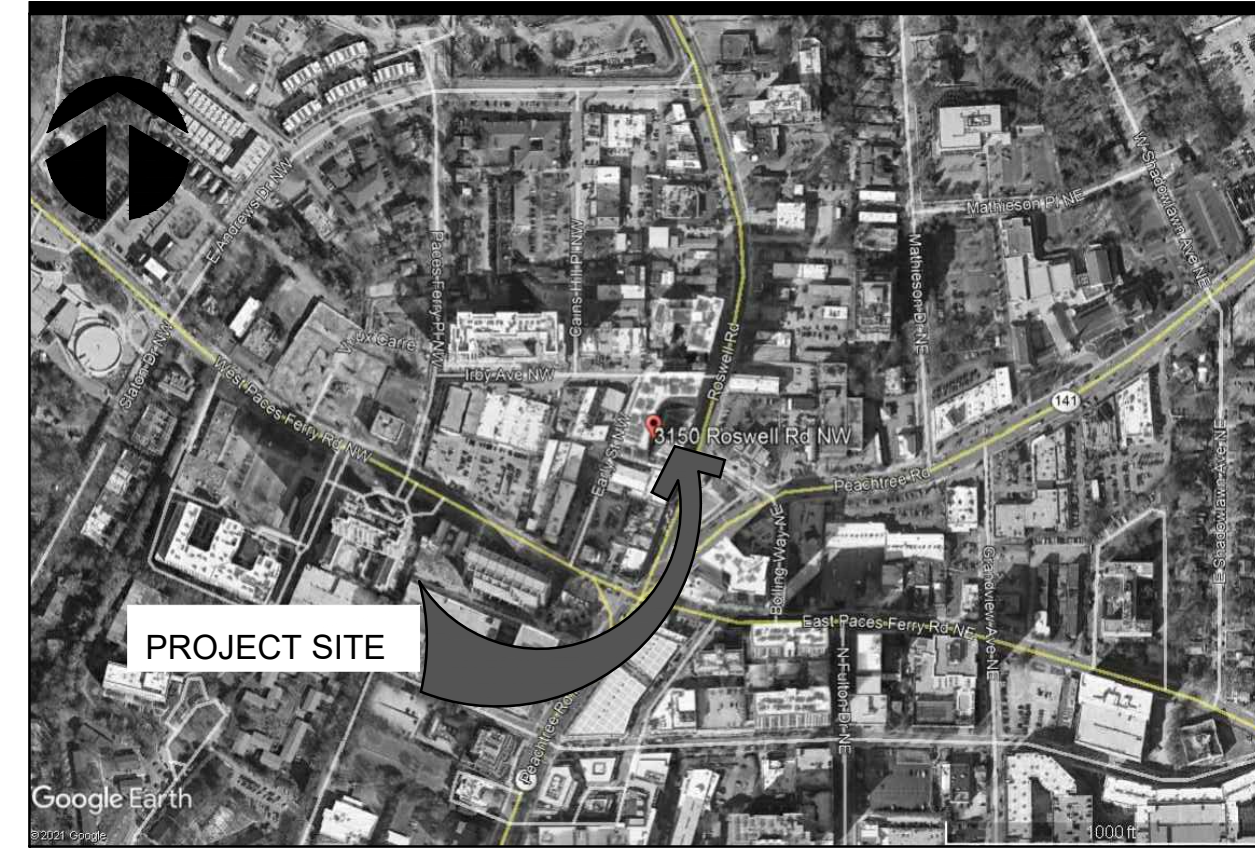
BUILD-OUT INFORMATION

| | |
|---|---|
| OCCUPANCY CLASSIFICATION (2018 IBC SECTION 302) | BUSINESS GROUP B (IBC 2018 303.1.1 RESTAURANT OCCUPANCY LOAD LESS THAN 50 PERSONS) |
| FLOOR LEVEL OF SPACE | GROUND FLOOR |
| BUILD-OUT AREA (2018 IBC TABLE 506.2) | BUILD-OUT AREA IS 1,364 GSF |
| EGRESS REQUIREMENTS (2018 NFPA 39.2) | NUMBER OF EXITS REQUIRED (2018 NFPA 39.2.4.3): 1 NUMBER OF EXITS PROVIDED: 2 EXIT ACCESS TRAVEL DISTANCE (2018 NFPA 39.2.4.3(2)): 100' MAXIMUM EXIT ACCESS TRAVEL DISTANCE PROVIDED: 61'-0" MAXIMUM DEAD END CORRIDOR (2018 NFPA 39.2.5.2): 50' MAXIMUM DEAD END CORRIDOR PROVIDED: 61'-0" COMMON PATH OF TRAVEL (2018 NFPA 39.2.5.3.1): 200' MAXIMUM COMMON PATH OF TRAVEL PROVIDED: 61'-0" TRAVEL DISTANCE (2018 NFPA 39.2.6.3): 300' MAXIMUM TRAVEL DISTANCE PROVIDED: 61'-0" |
| PLUMBING FIXTURE REQUIREMENTS (2018 IBC TABLE 2902.1) | WATER CLOSETS REQUIRED: 1 (1 PER 25 OCCUPANTS UP TO 50 OCCUPANTS) WATER CLOSETS PROVIDED: 1 LAVATORIES REQUIRED: 1 (1 PER 40 OCCUPANTS UP TO 80 OCCUPANTS) LAVATORIES PROVIDED: 1 SERVICE SINK REQUIRED: 0 (PER SECTION 2902 GA IBC 2020 AMENDMENTS) SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN N/A. WATER WILL BE AVAILABLE ON SITE IN A CONTAINER AND FREE OF CHARGE. |

EGRESS AND LIFE SAFETY CALCULATIONS

| | |
|--|---|
| OCCUPANCY CLASSIFICATION (2018 NFPA 101 CHAPTER 6) | EXISTING BUSINESS (RESTAURANT OCCUPANCY LOAD LESS THAN 50 PERSONS) |
| EGRESS REQUIREMENTS | NUMBER OF EXITS REQUIRED (2018 NFPA 39.2.4.3): 1 NUMBER OF EXITS PROVIDED: 1 EXIT ACCESS TRAVEL DISTANCE (2018 NFPA 39.2.4.3(2)): 100' MAXIMUM EXIT ACCESS TRAVEL DISTANCE PROVIDED: 61'-0" MAXIMUM DEAD END CORRIDOR (2018 NFPA 39.2.5.2): 50' MAXIMUM DEAD END CORRIDOR PROVIDED: 61'-0" COMMON PATH OF TRAVEL (2018 NFPA 39.2.5.3.1): 200' MAXIMUM COMMON PATH OF TRAVEL PROVIDED: 61'-0" TRAVEL DISTANCE (2018 NFPA 39.2.6.3): 300' MAXIMUM TRAVEL DISTANCE PROVIDED: 61'-0" |
| REQUIRED SEPARATION OF OCCUPANCIES (2018 NFPA 101 TABLE 6.1.14.4.1(b)) | NO SEPARATION REQUIRED (BUSINESS/BUSINESS) |
| OCCUPANT LOAD (2018 NFPA 101 TABLE 7.3.1.2) | KITCHEN: 700 GSF / 100 GSF/PERSON = 7 OCCUPANTS PATIO DINING (ACTUAL SEATS): 10 OCCUPANTS SIDEWALK DINING (ACTUAL SEATS): 6 OCCUPANTS TOTAL OCCUPANCY OF BUILD-OUT AREA: 23 OCCUPANTS |

CONTEXT MAP



3D VIEW FOR REFERENCE ONLY



LIFE SAFETY PLAN 1/8"=1'-0" SCALE

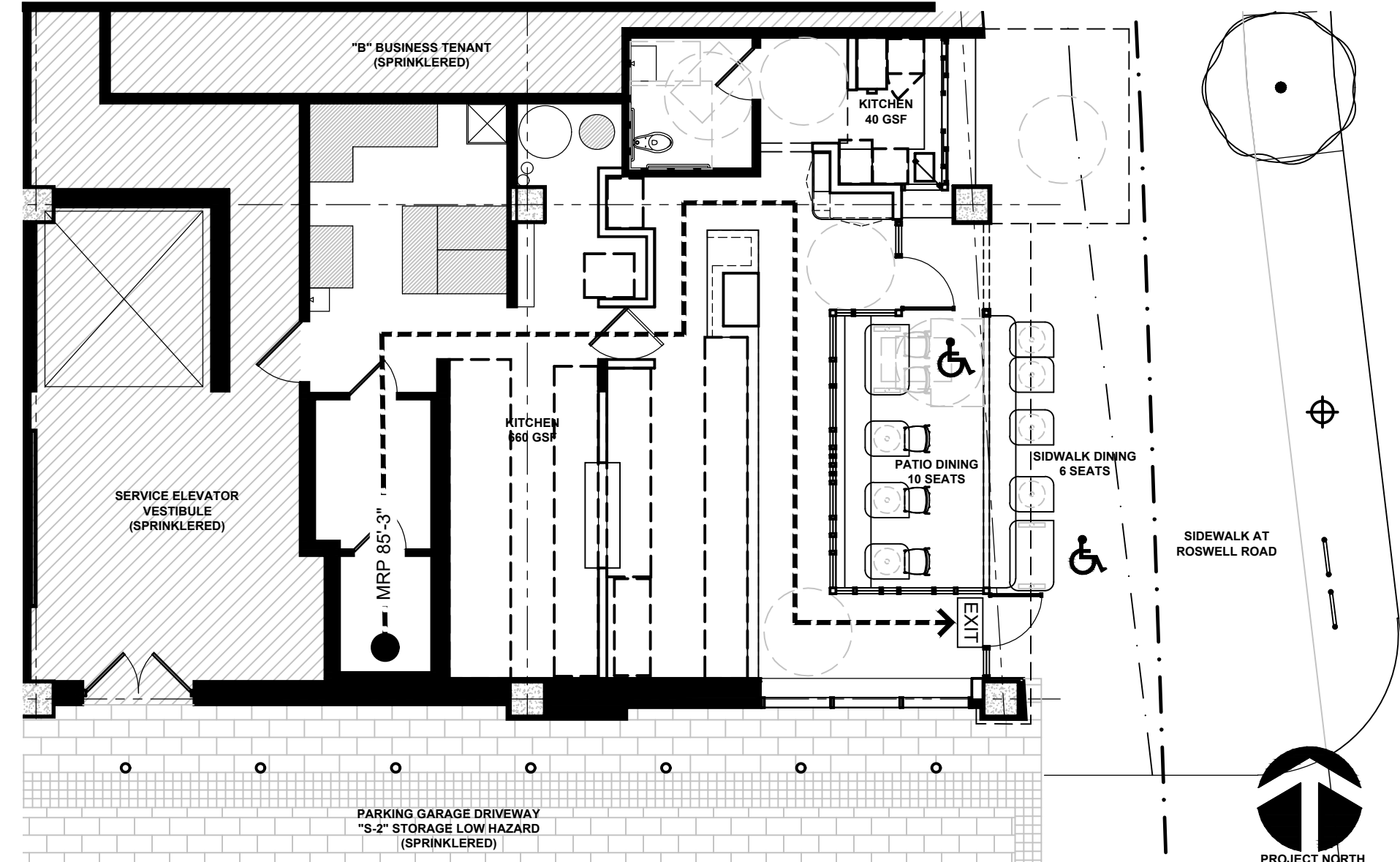


TABLE OF CONTENTS

| SHEET # | SHEET TITLE | ISSUE DATE | REVISION DATE | REVISION # |
|---------------|--------------------------------------|------------|---------------|------------|
| ARCHITECTURAL | | | | |
| G0.0 | COVER SHEET | | | |
| G1.0 | SITE PLAN | | | |
| G2.0 | SCHEDULES | | | |
| A1.0 | DEMOLITION PLAN | | | |
| A1.1 | PROPOSED FLOOR PLAN & ENLARGED PLANS | | | |
| A1.2 | PROPOSED REFLECTED CEILING PLAN | | | |
| A2.1 | ELEVATIONS | | | |
| A2.2 | ELEVATIONS | | | |
| A3.1 | DETAILS | | | |
| A3.2 | DETAILS | | | |

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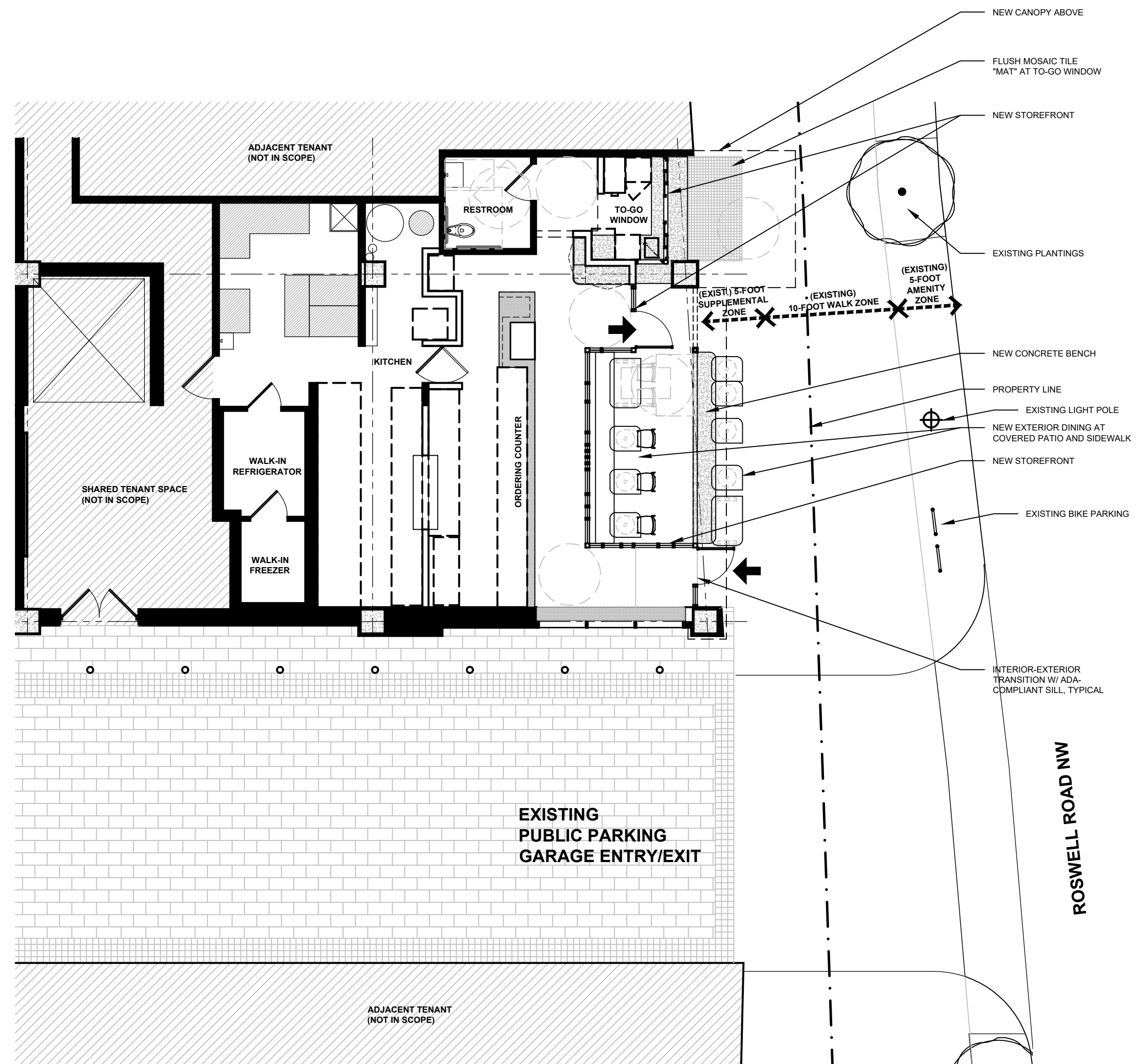
**PROJECT & CODE
INFO, TABLE OF
CONTENTS, LIFE
SAFETY
G0.0**

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**PROPOSED SITE
PLAN**

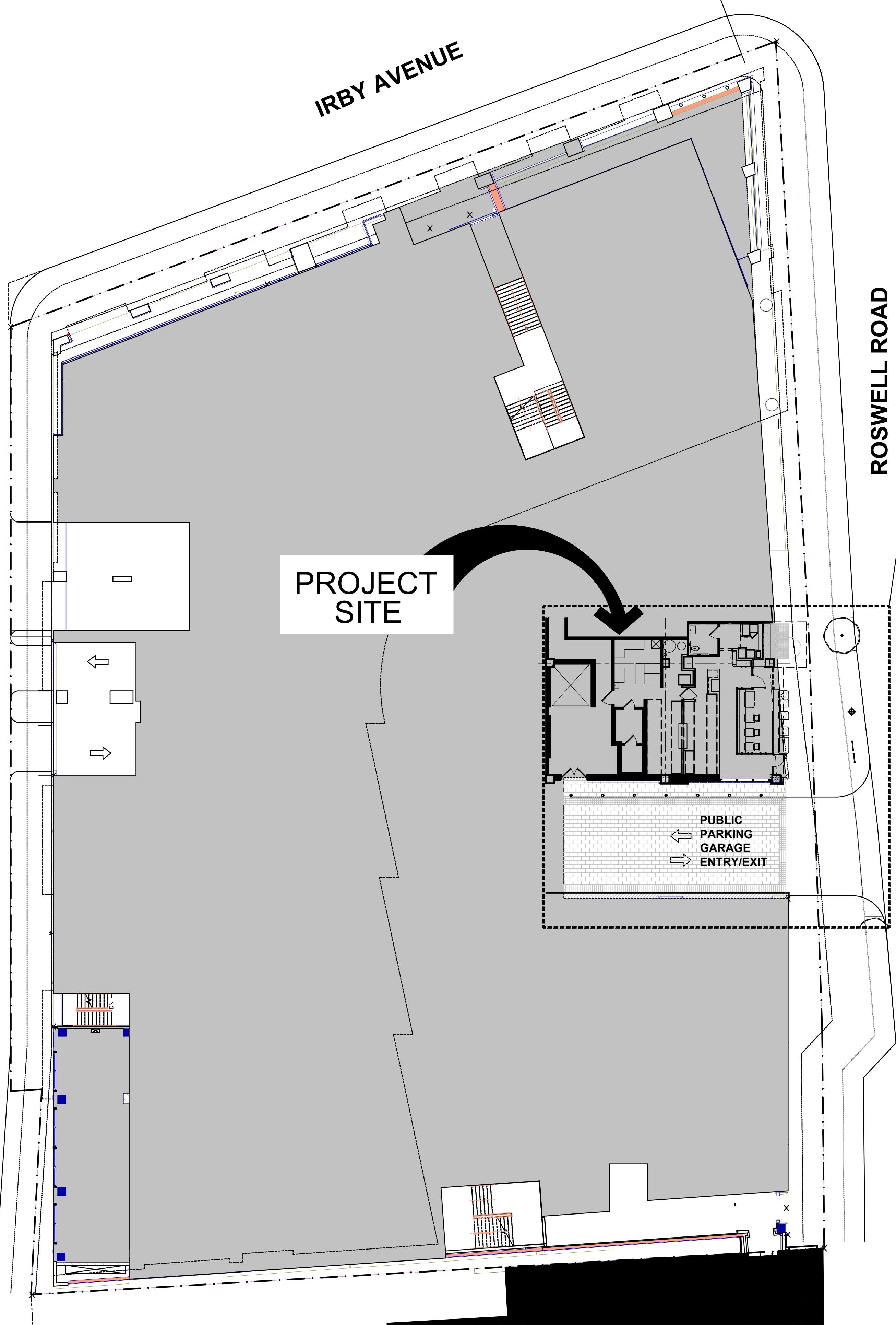
G1.0



02
G1.0 ENLARGED PROPOSED PROJECT SITE PLAN
1/8" = 1'-0"

EARLY STREET

PROJECT SITE



01
G1.0 OVERALL SITE PLAN
1/16" = 1'-0"

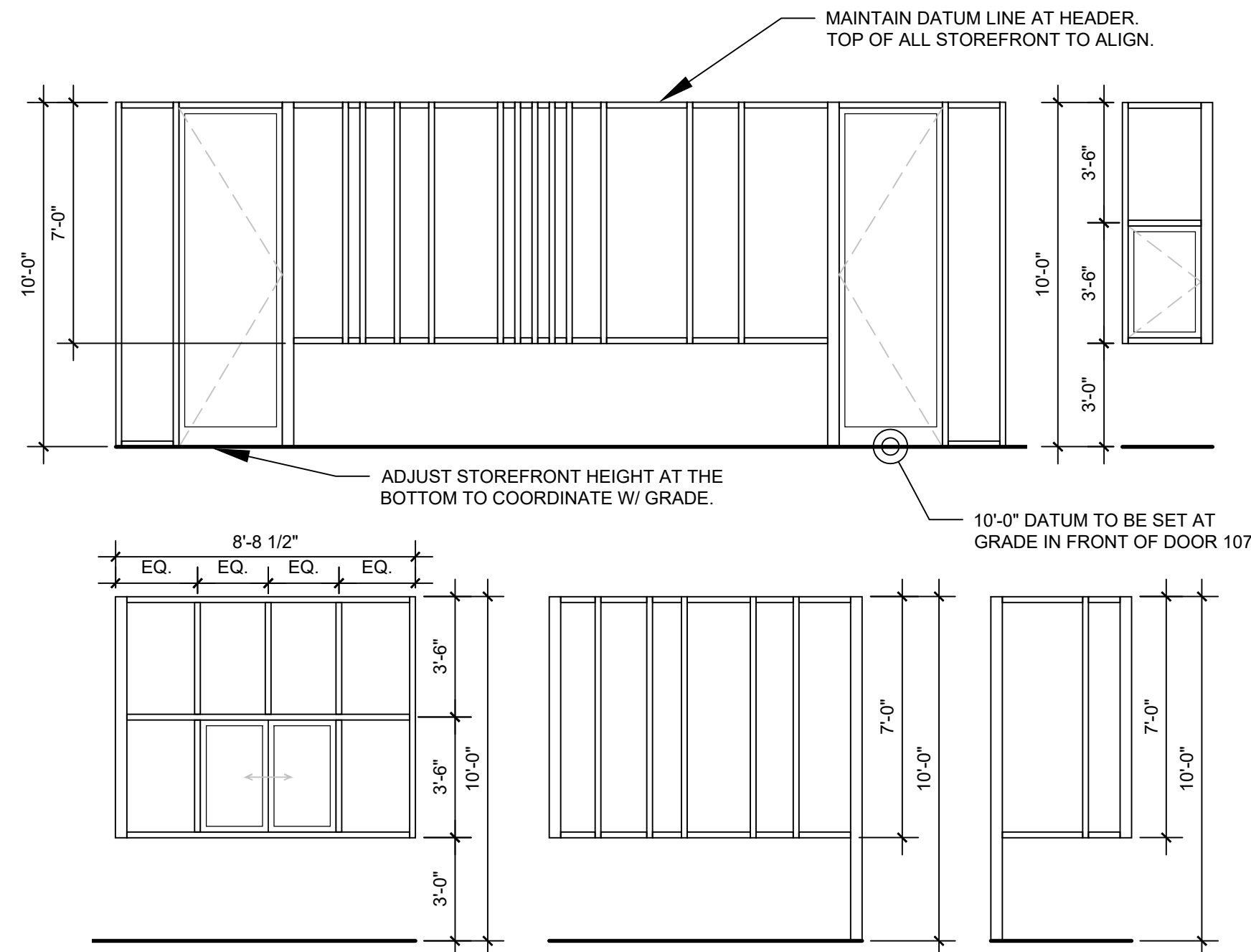


DOOR SCHEDULE

| DOOR | | | | | FRAME | | NOTES | HARDWARE SET |
|------|-------------|--------------|------|--------|-------|--------|-------------------------|--------------|
| # | WIDTH (IN.) | HEIGHT (IN.) | TYPE | FINISH | TYPE | FINISH | | |
| 102 | 36 | 84 | A | | | | | |
| 103 | 42 | 84 | EX | | | | EXISTING DOOR TO REMAIN | |
| 106 | 36 | 96 | | | | | | |
| 107 | 36 | 120 | | | | | | |
| 108A | 36 | 120 | | | | | | |
| 108B | 36 | 186 | | | | | | |
| 108C | 36 | 59 | | | | | | |

STOREFRONT SCHEDULE

NOTES:
 1. GRADE AT STOREFRONT VARIES. CONTRACTOR TO MAKE ADJUSTMENTS TO ACCOMMODATE GRADE CHANGES. SEE DRAWINGS FOR MORE INFORMATION, AND REVIEW WITH ARCHITECT PRIOR TO PLACING STOREFRONT ORDER.



FINISH SCHEDULE

| PAINT | | | | |
|-------|----------------|-------|--------|-------|
| TAG | MANUFACTURER | COLOR | FINISH | NOTES |
| PT-1 | BENJAMIN MOORE | | | |
| PT-2 | BENJAMIN MOORE | | | |

| WOOD | | | | |
|------|--------------|---------|--------|------------|
| TAG | MANUFACTURER | SPECIES | FINISH | DIMENSIONS |
| WD-1 | SILT STUDIO | | | |
| WD-2 | | | | |

| CONCRETE | | | | | |
|----------|--------------|---------|-------|--------|---------------------------------|
| TAG | MANUFACTURER | PRODUCT | COLOR | FINISH | NOTES |
| C-1 | DEX | VENIZIA | LATTE | HONED | |
| C-2 | | | | | EXISTING POLISHED CONCRETE SLAB |

| TILE | | | | | | |
|------|--------------|------------------------------|---|-----------------|-------------------------------|---|
| TAG | MANUFACTURER | DESCRIPTION | COLOR | GROUT | DIMENSIONS | NOTES |
| TL-1 | DALTILE | 2x2 CUSTOM MOSAIC | RANDOM MIX: NAUTICAL BLUE, GALAXY, NAVY, NAVY SPECKLE | MAPEI 109 ACORN | 12" x 24" x 1/4" MOSAIC SHEET | PROVIDE MATCHING COVE BASE, CORNER BASE, CORNER COVE BASE, AND UNIVERSAL TRIM AT ALL BASE AND CORNER TRANSITIONS. SEE DETAILS FOR MORE INFORMATION. |
| TL-2 | DALTILE | 2x2 CUSTOM MOSAIC W/ GRAPHIC | TBD | TBD | 12" x 24" x 1/4" MOSAIC SHEET | |
| TL-3 | DALTILE | 1x1 MOSAIC | TBD | TBD | 12" x 12" x 1/4" MOSAIC SHEET | PROVIDE MATCHING COVE BASE, CORNER BASE, CORNER COVE BASE, AND UNIVERSAL TRIM AT ALL BASE AND CORNER TRANSITIONS. SEE DETAILS FOR MORE INFORMATION. |
| TL-4 | DALTILE | 1x1 CUSTOM MOSAIC | TBD | TBD | 12" x 12" x 1/4" MOSAIC SHEET | PROVIDE MATCHING COVE BASE, CORNER BASE, CORNER COVE BASE, AND UNIVERSAL TRIM AT ALL BASE AND CORNER TRANSITIONS. SEE DETAILS FOR MORE INFORMATION. |

| RUBBER BASE | | | | |
|-------------|--------------|----------------------|-----------|-------|
| TAG | MANUFACTURER | PRODUCT | COLOR | NOTES |
| RB-1 | ROPPE | 4" STANDARD TOE BASE | 174 SMOKE | |

| FIBERGLASS REINFORCED PLASTIC | | | | | |
|-------------------------------|--------------|--------------|-------|--------|-------|
| TAG | MANUFACTURER | PRODUCT | COLOR | FINISH | NOTES |
| FRP-1 | MARLITE | STANDARD FRP | WHITE | SMOOTH | |

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SCHEDULES

G2.0

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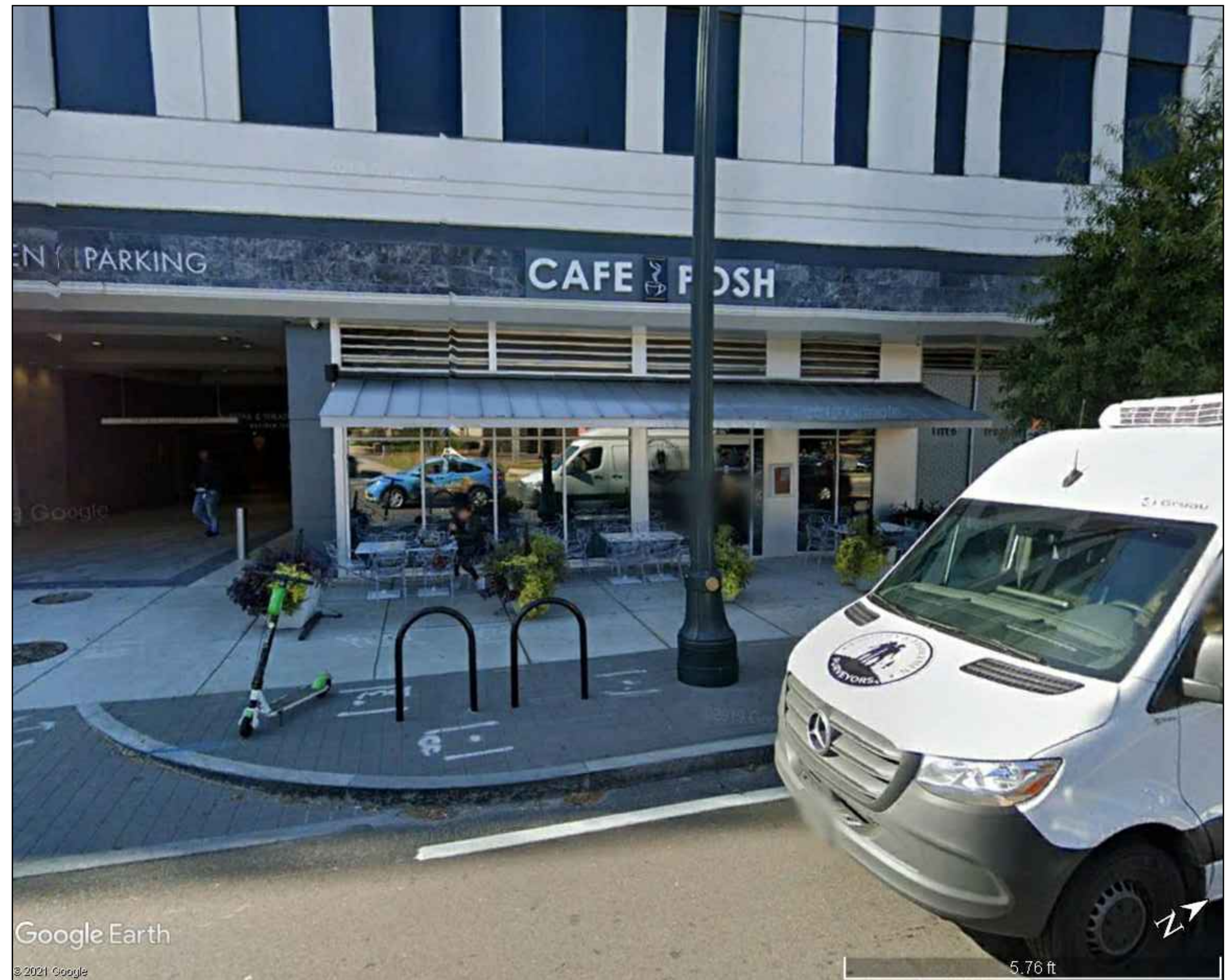
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**DEMOLITION
 PLAN**

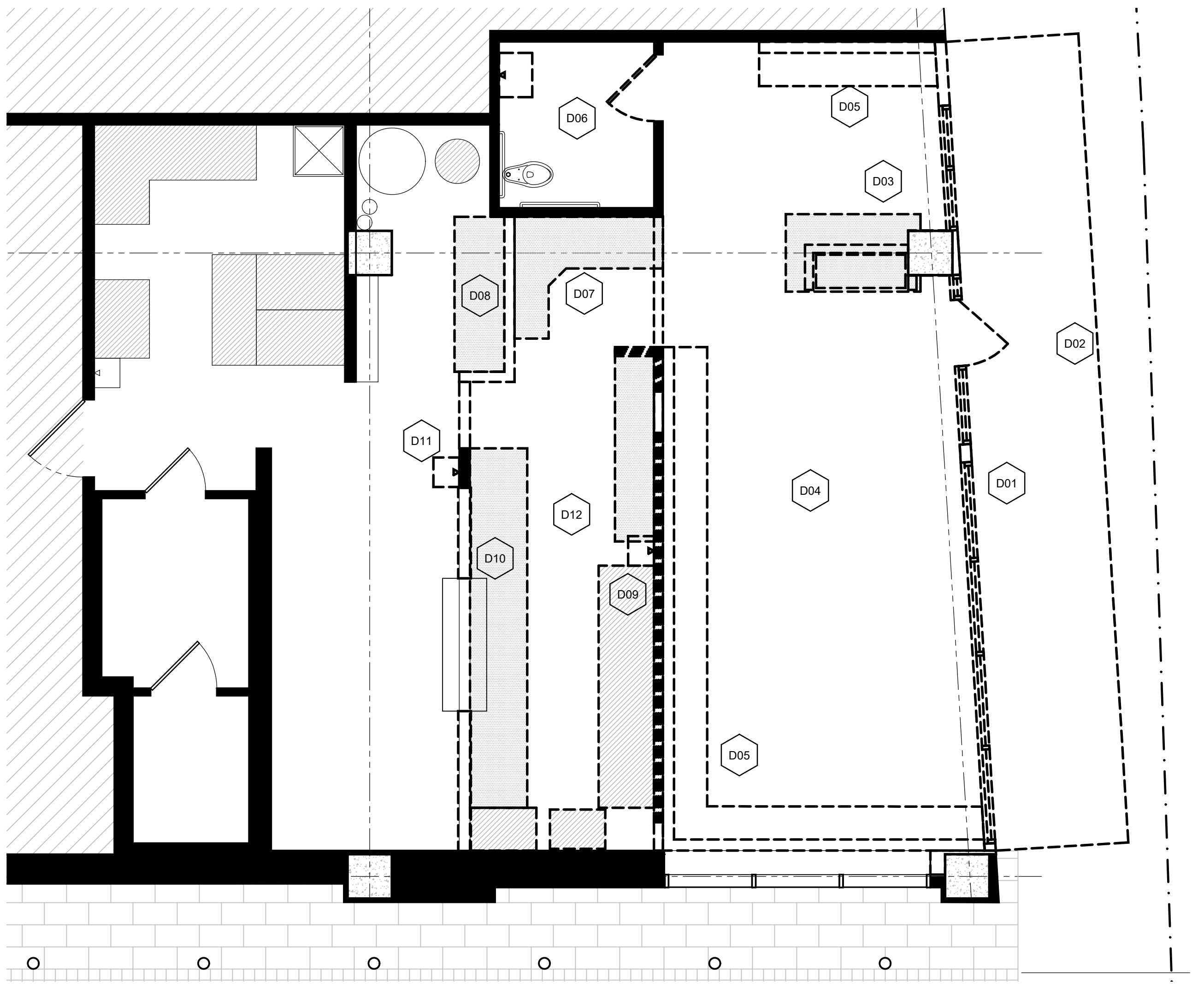
A1.0

DEMO NOTES - SHEET SPECIFIC

| | |
|-----|---|
| D01 | REMOVE EXISTING NON-STRUCTURAL FACADE, INCLUDING LOUVERS ABOVE EXISTING AWNING. |
| D02 | REMOVE EXISTING AWNING AND SIGNAGE. |
| D03 | REMOVE EXISTING WALLS, COUNTER AND SHELVING. REMOVE FINISHES TO EXPOSE EXISTING CONCRETE COLUMN. COORDINATE EQUIPMENT REMOVAL WITH OWNER. |
| D04 | REMOVE EXISTING CEILING BAFFLES AND LIGHTING. |
| D05 | REMOVE EXISTING BANQUETTE. |
| D06 | REMOVE EXISTING DOOR, MIRROR, SINK, FAUCET, LIGHTING, HAND DRYER, PAPER TOWEL AND SOAP DISPENSERS, AND WALL FINISHES. |
| D07 | REMOVE EXISTING BAR COUNTER, SHELVING, AND WALL FINISHES. REMOVE EXISTING METAL CEILING TILES, LIGHTING, AND GRID ABOVE THIS AREA. COORDINATE EQUIPMENT REMOVAL WITH OWNER. |
| D08 | REMOVE EXISTING PARTITION WALLS AND COUNTER. PATCH AND REPAIR CEILING TO COORDINATE WITH NEW WORK. |
| D09 | REMOVE EXISTING WALLS UP TO THE HARD CEILING. REMOVE EXISTING COUNTER AND HAND SINK. COORDINATE EQUIPMENT REMOVAL WITH OWNER. |
| D10 | REMOVE EXISTING COUNTER. REMOVE EXISTING PASS-THROUGH LEDGE. EXISTING PASS-THROUGH COUNTER TO REMAIN. |
| D11 | REMOVE EXISTING HANDSINK. |
| D12 | REMOVE FRP FROM ALL WALLS IN THIS AREA. |



02
 A1.0 EXISTING VIEW FROM ROSWELL RD
 NOT TO SCALE. FOR REFERENCE ONLY.



01
 A1.0 DEMOLITION FLOOR PLAN
 1/4" = 1'-0"

| PLAN LEGEND | |
|-------------|----------------------|
| | NEW PARTITION |
| | EXISTING PARTITION |
| | NOT IN SCOPE OF WORK |

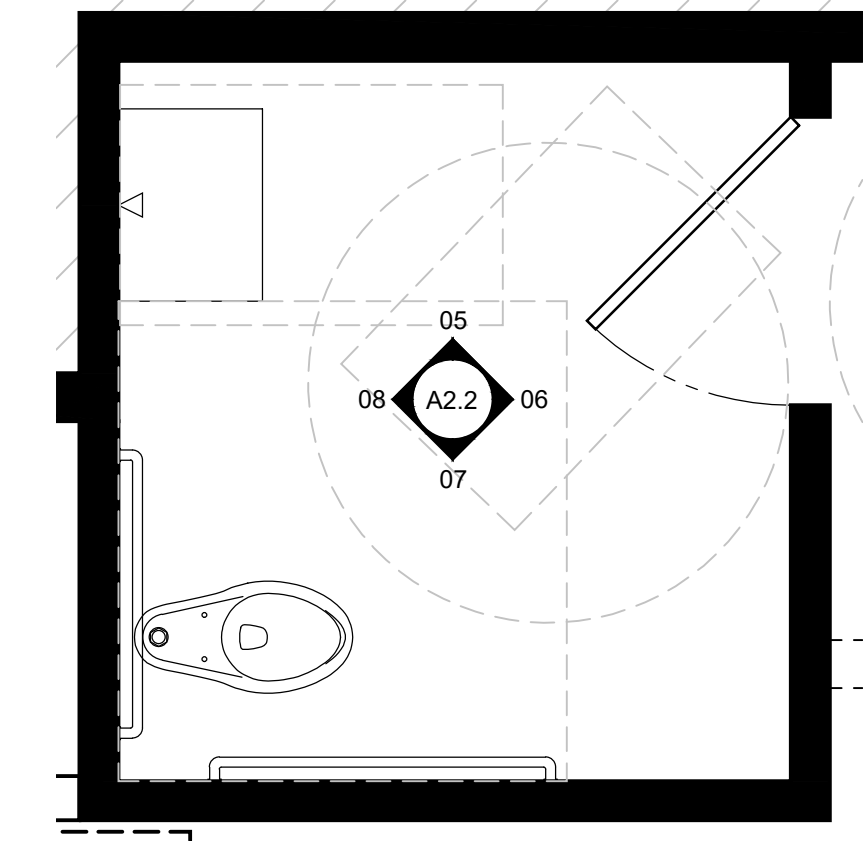
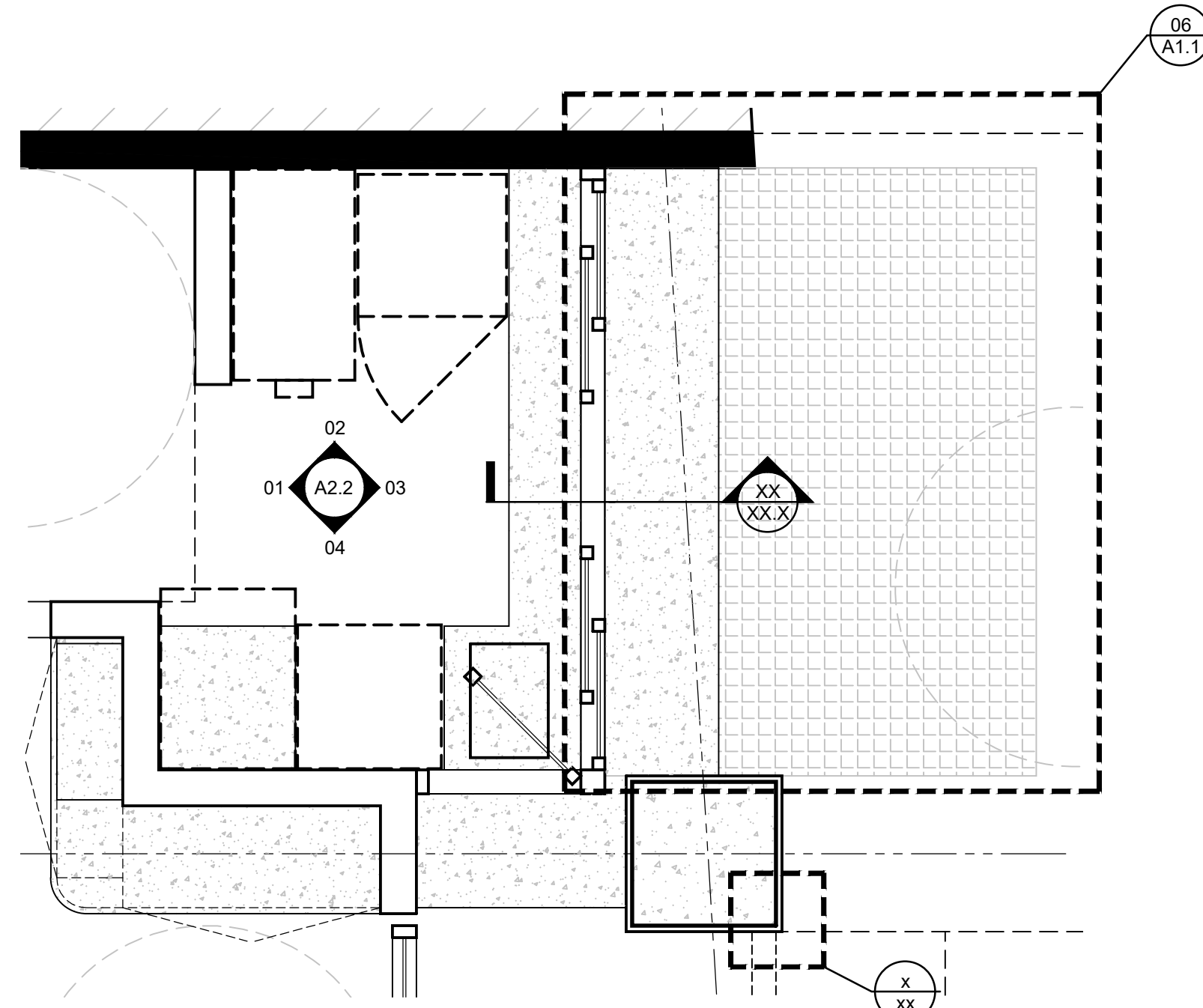
| PLAN NOTES - GENERAL | |
|----------------------|--|
| A | - |
| B | NEW PARTITIONS WHICH ALIGN WITH EXISTING PARTITION WALLS TO MATCH THE EXISTING WALL FRAMING TO CREATE A UNIFORM AND FLUSH CONDITION, UNLESS NOTED OTHERWISE. |
| C | NEWLY CONSTRUCTED ELEMENTS ARE TO BE TRUE AND PLUMB. |
| D | CONTRACTOR TO REVIEW FRAMING LAYOUT ON SITE W/ ARCHITECT PRIOR TO FRAMING. |
| E | DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE. |
| F | CONTRACTOR SHALL ACCOUNT FOR WALL BASE OR ANY OTHER FEATURE WHICH MAY PROTRUDE BEYOND THE FACE OF THE WALL WHERE A DIMENSION IS NOTED AS "CLEAR". |

| PLAN NOTES - SHEET SPECIFIC | |
|-----------------------------|--|
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PICK-UP RECESSES

MOSAIC TILE AS SPECIFIED.
TILE DCOF GREATER THAN OR EQUAL TO 0.55 WET, MAKING THEM SUITABLE FOR EXTERIOR APPLICATIONS.

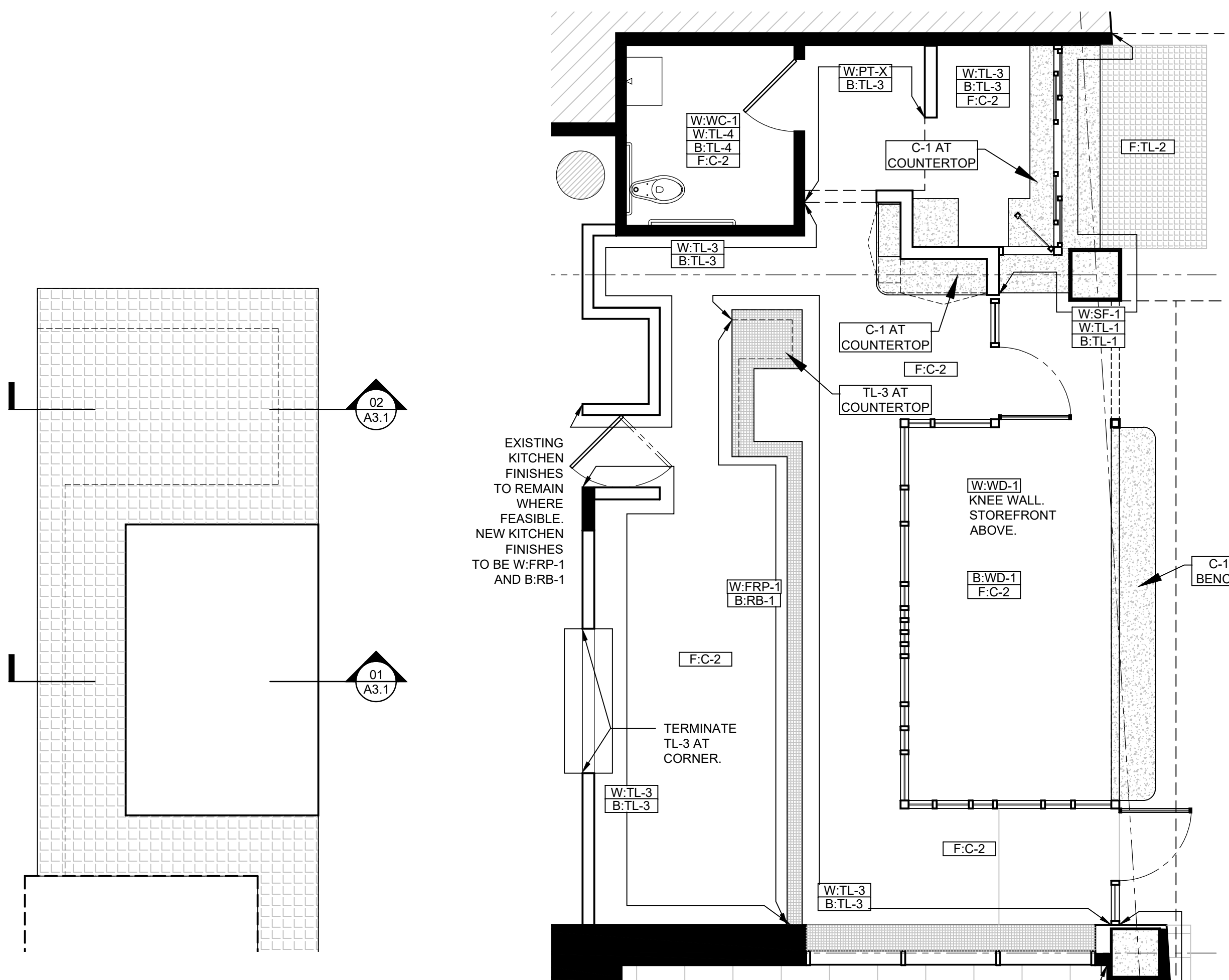
GRAPHIC UNDER DEVELOPMENT



05 A1.1 ENLARGED TO-GO WINDOW FLOOR PLAN
1/2" = 1'-0"

04 A1.1 ENLARGED RESTROOM FLOOR PLAN
1/2" = 1'-0"

06 A1.1 TO-GO MOSAIC TILE MAT
1" = 1'-0"

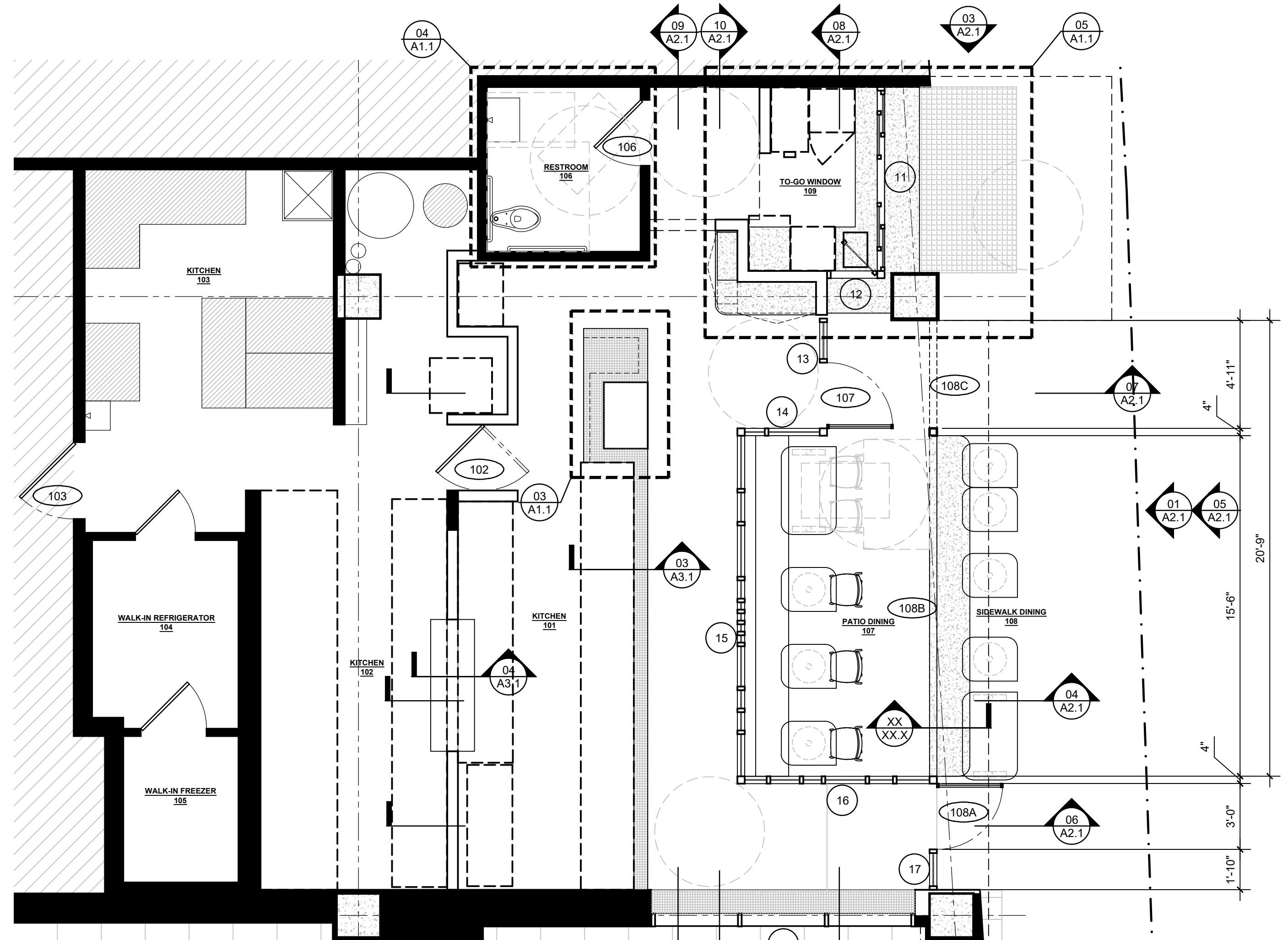


03 A1.1 ENLARGED COUNTER PLAN
1" = 1'-0"

EXISTING KITCHEN FINISHES TO REMAIN WHERE FEASIBLE. NEW KITCHEN FINISHES TO BE W:FRP-1 AND B:RB-1

TERMINATE TL-3 AT CORNER.

02 A1.1 PROPOSED FINISH PLAN
1/4" = 1'-0"



01 A1.1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

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PROPOSED FLOOR PLAN & ENLARGED PLANS

A1.1

RCP NOTES - SHEET SPECIFIC

| | |
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| 01 | |
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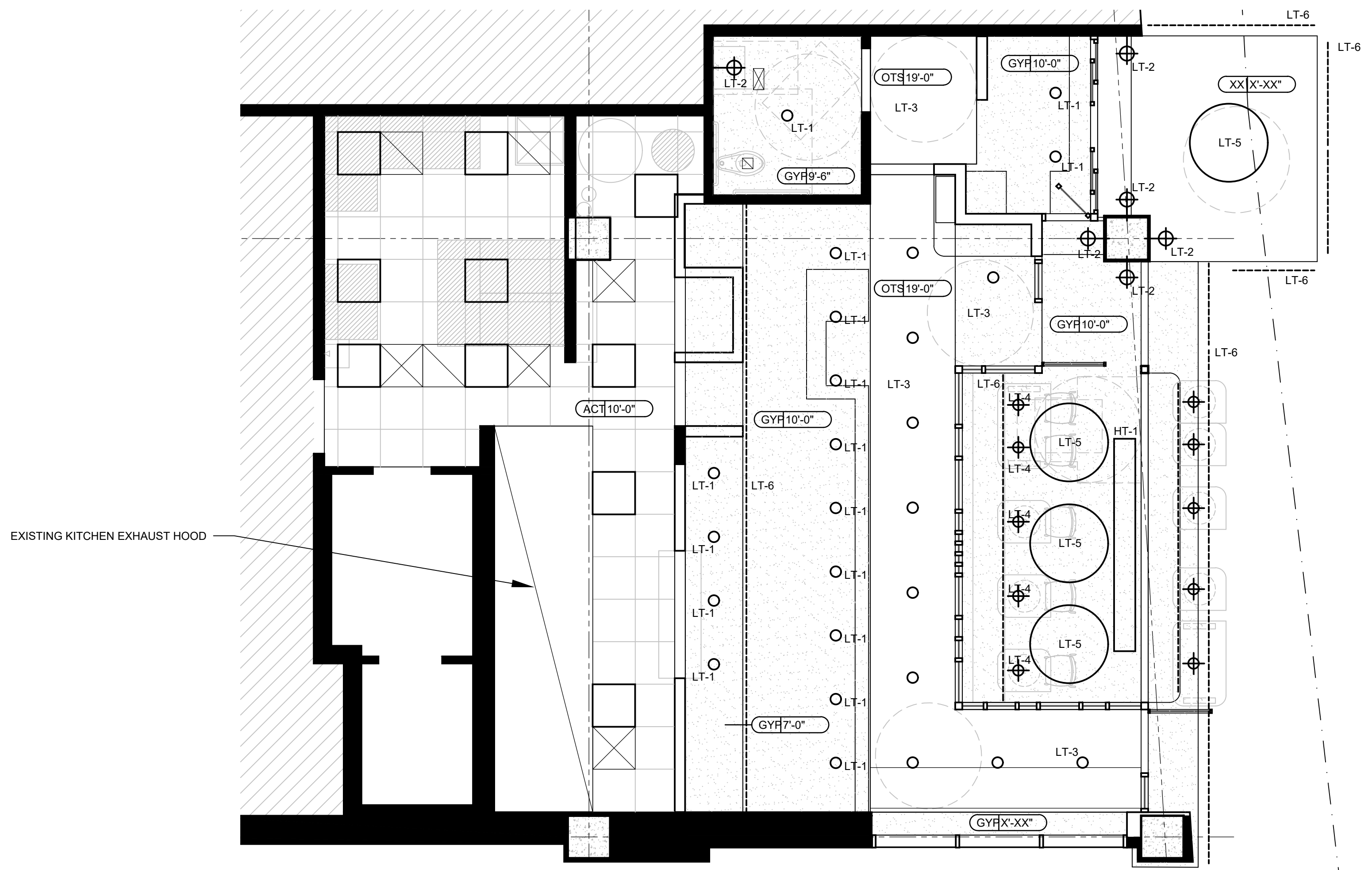
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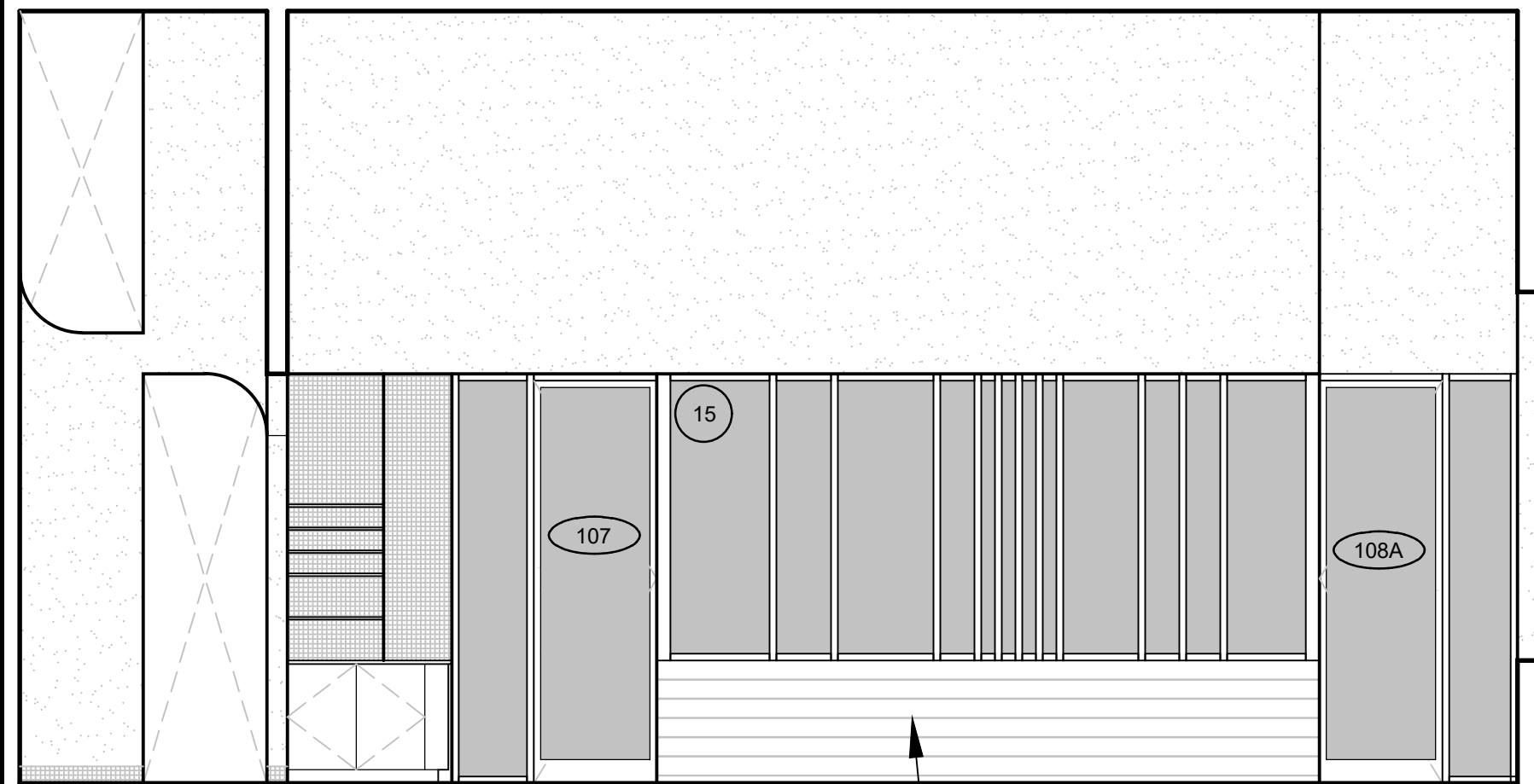
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**PROPOSED
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CEILING PLAN**

A1.2

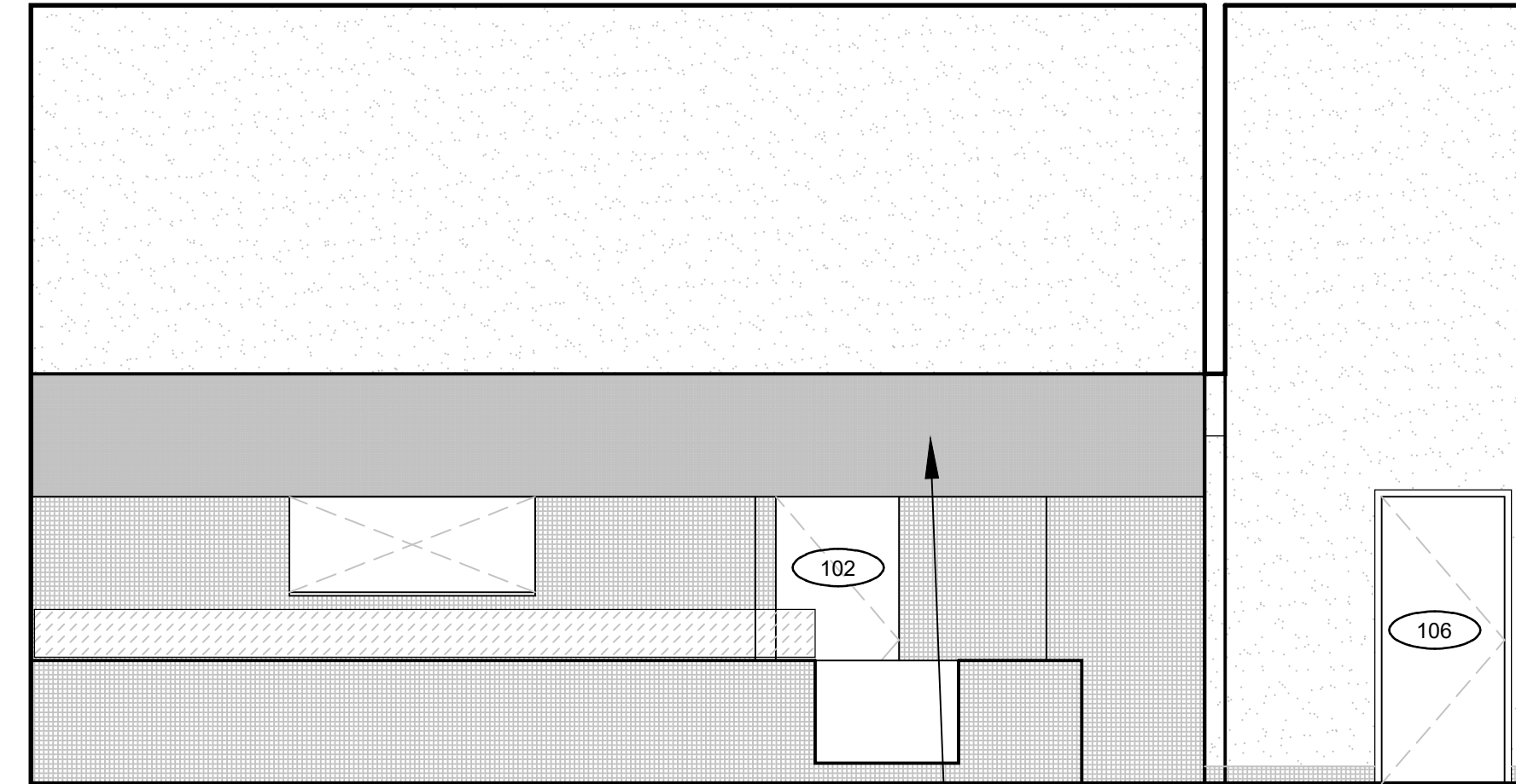


01 PROPOSED REFLECTED CEILING PLAN
A2.1 1/4" = 1'-0"



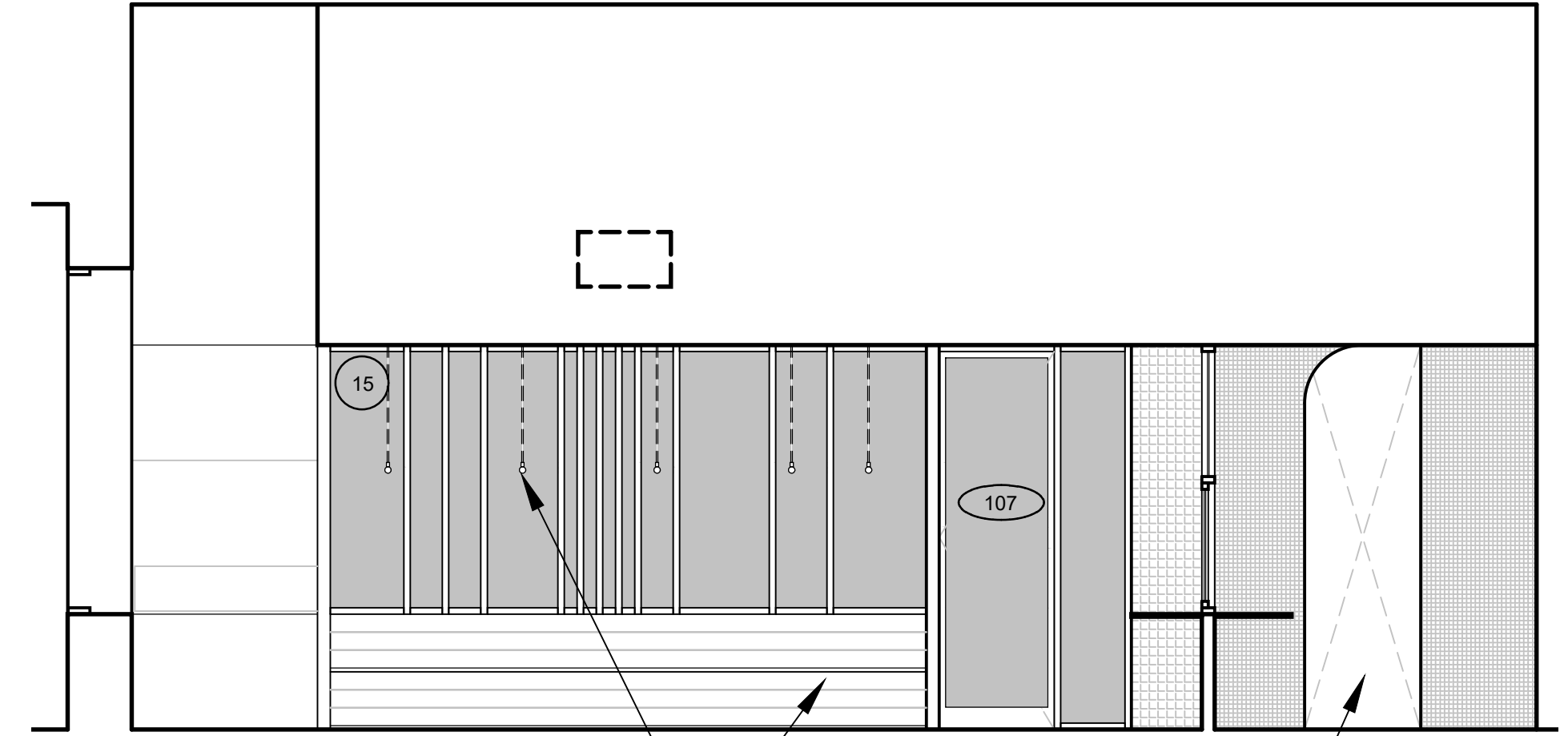
10 INTERIOR ELEVATION
1/4" = 1'-0"

WOOD-FINISH KNEE WALL. FINISH PROVIDED AND INSTALLED BY OWNER. WALL FRAMING BY GC.



09 INTERIOR ELEVATION - ORDERING COUNTER
1/4" = 1'-0"

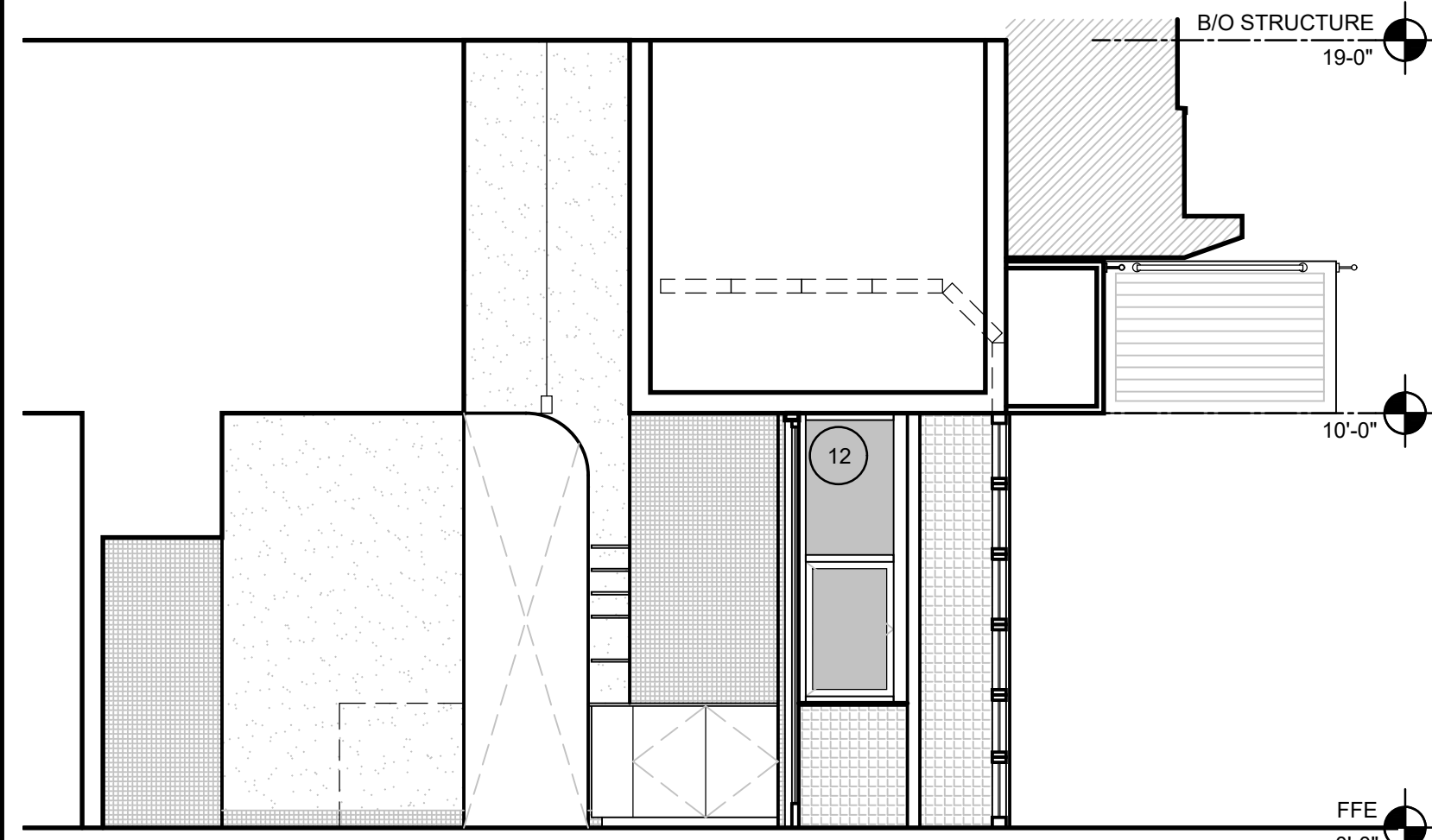
DRYWALL SOFFIT W/ FIRE-TREATED BLOCKING. MENU BOARD TO BE MOUNTED TO FACE OF SOFFIT (PROVIDED AND INSTALLED BY OWNER)



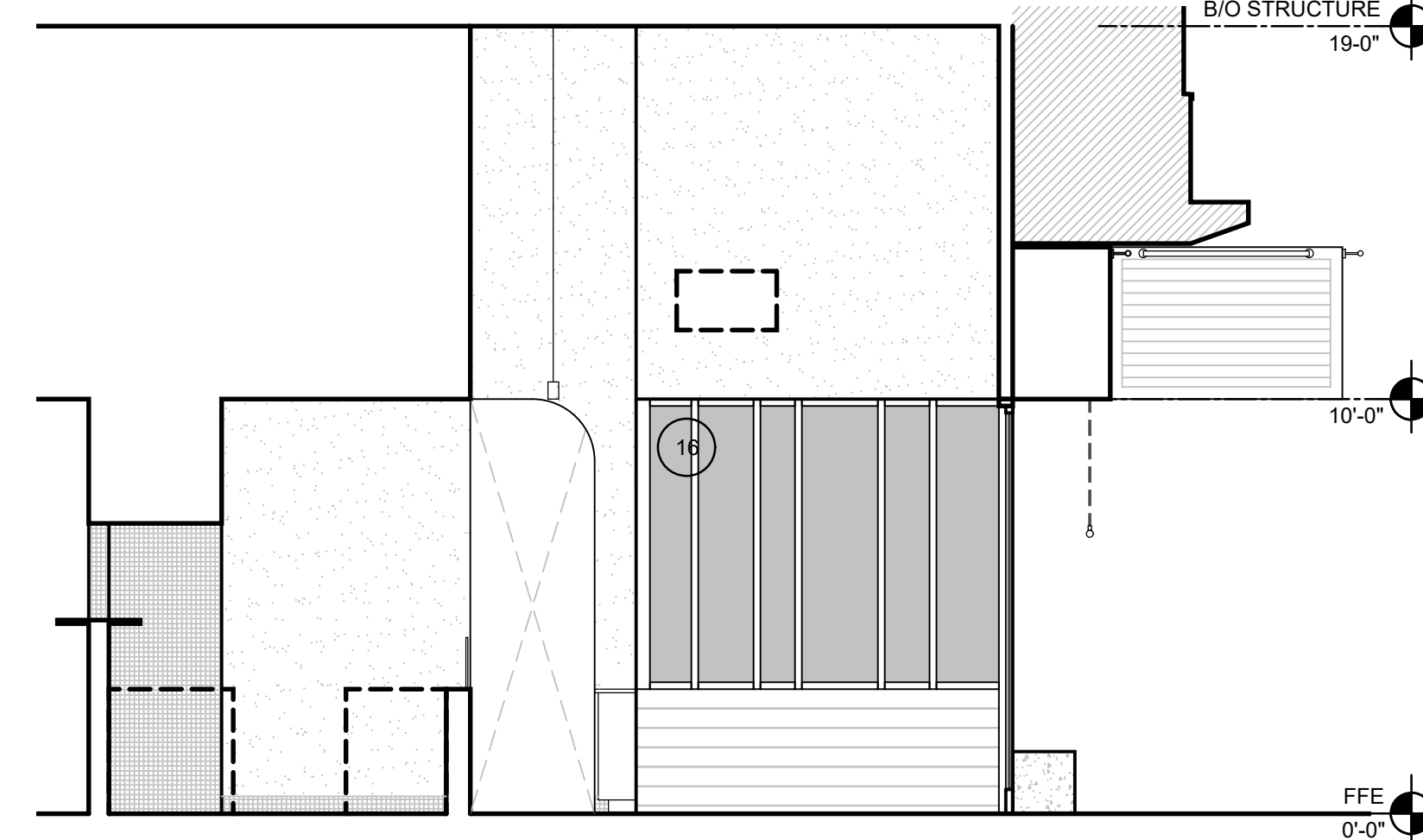
08 INTERIOR SECTION
1/4" = 1'-0"

WOODEN BANQUETTE, PROVIDED AND INSTALLED BY OWNER.
PENDANT LIGHTS

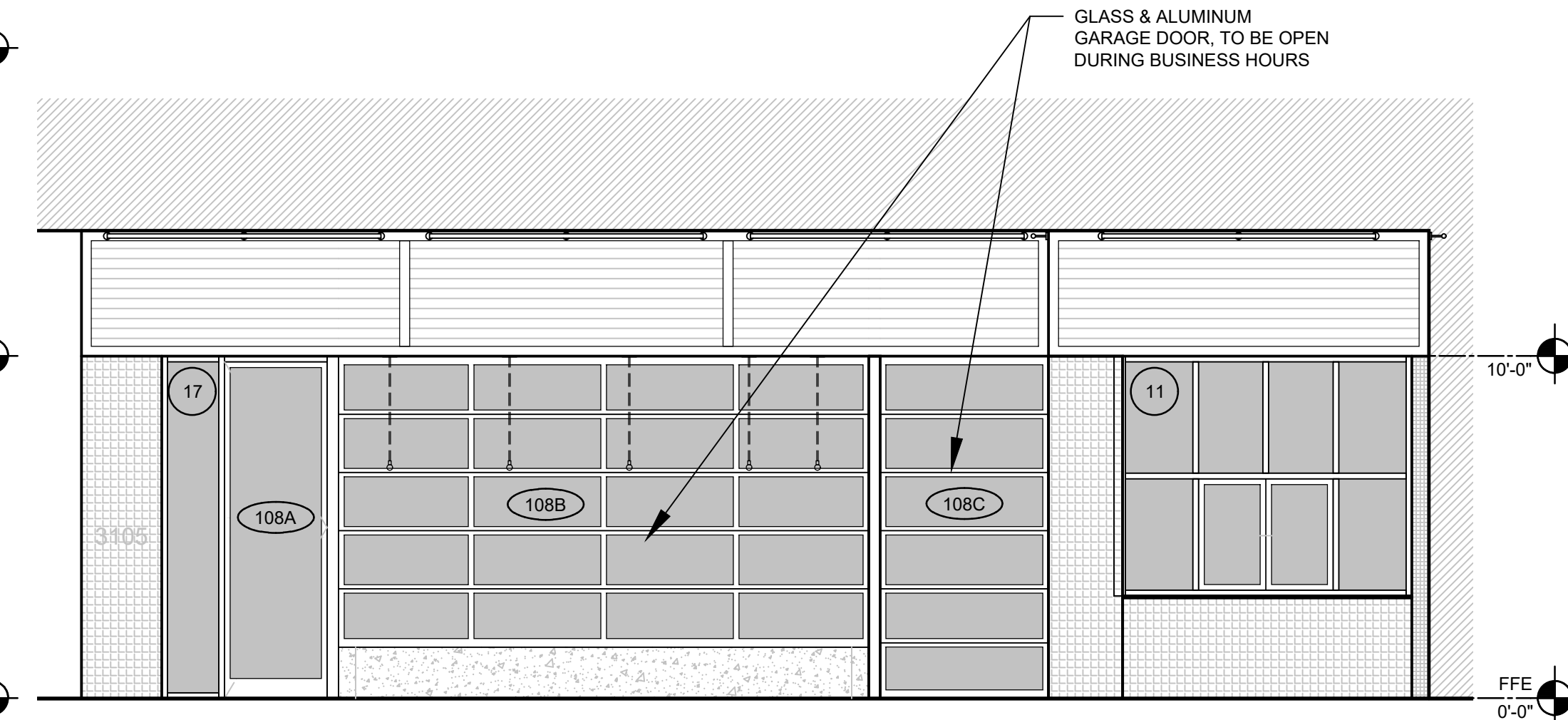
OPEN TO RESTROOM VESTIBULE



07 INTERIOR SECTION
1/4" = 1'-0"

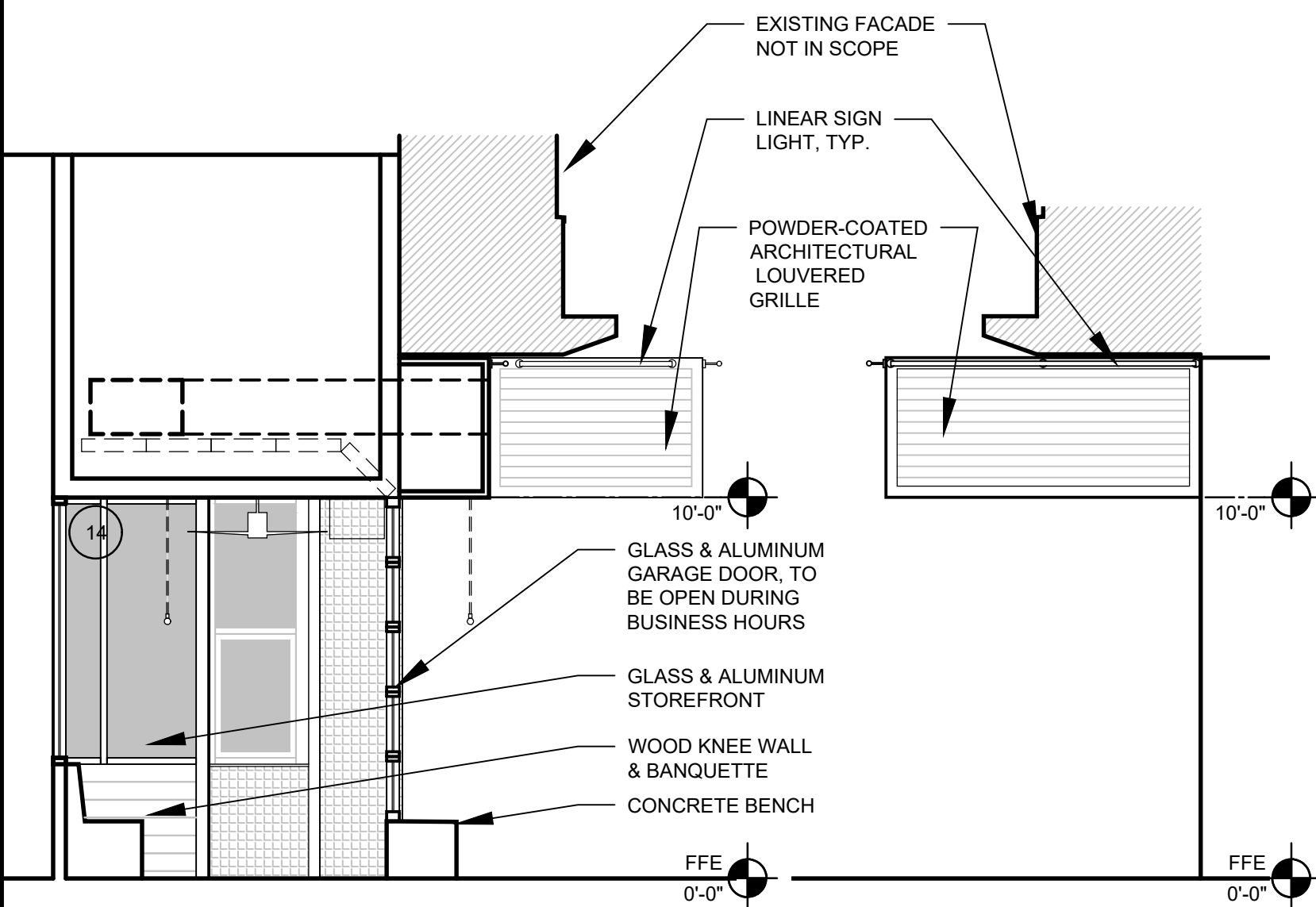


06 INTERIOR SECTION
1/4" = 1'-0"

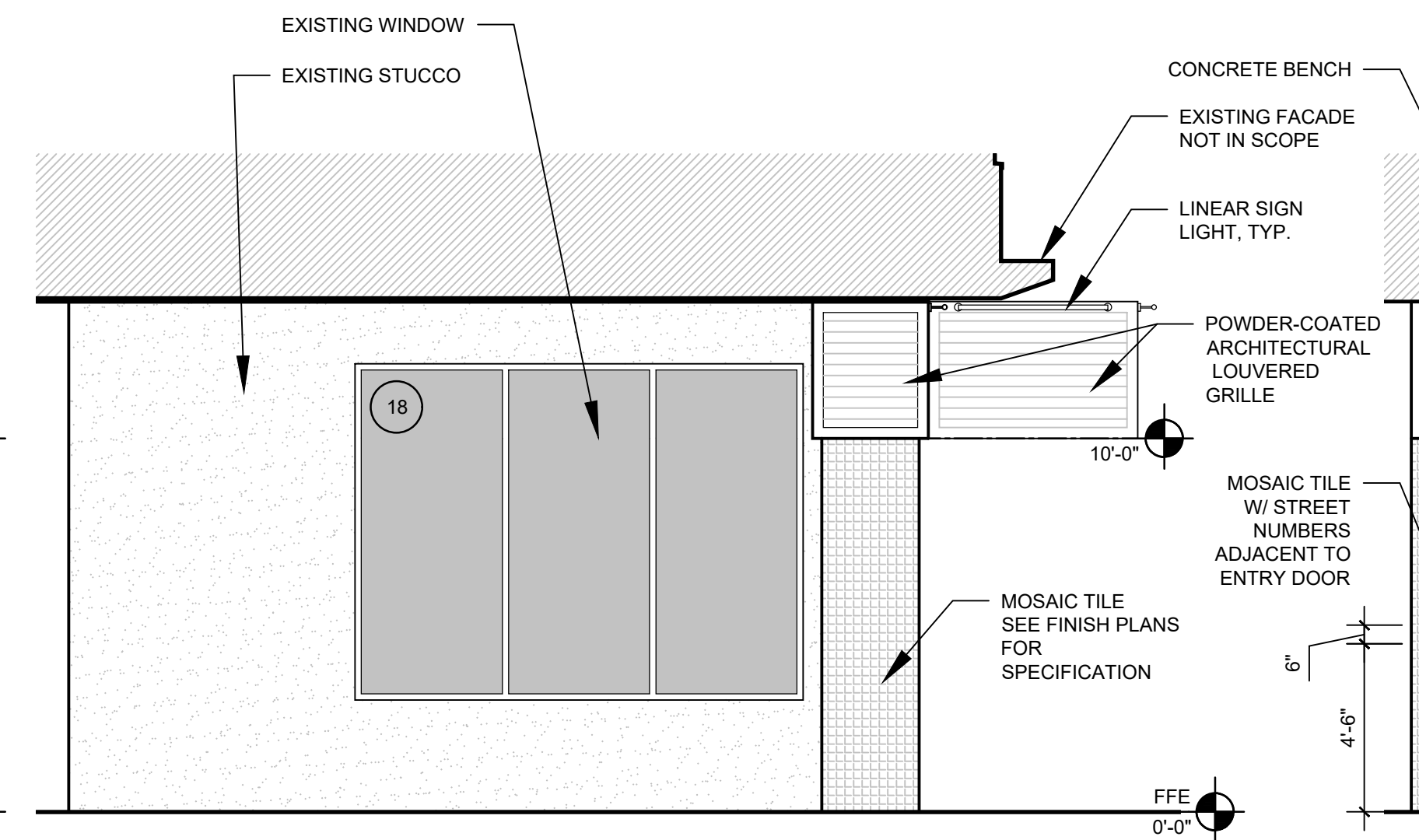


05 EXTERIOR ELEVATION - EAST (GARAGE DOORS CLOSED)
1/4" = 1'-0"

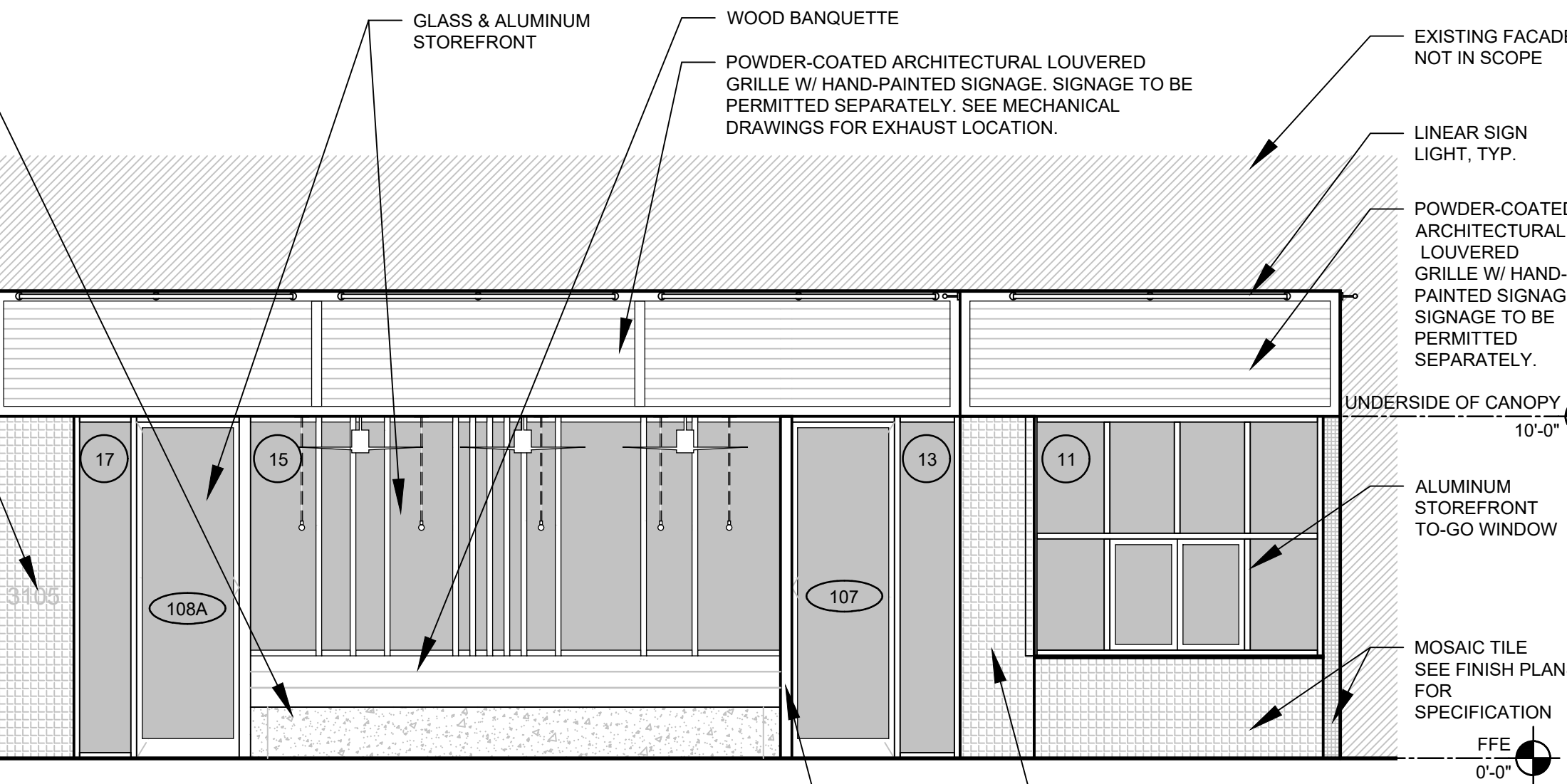
GLASS & ALUMINUM GARAGE DOOR, TO BE OPEN DURING BUSINESS HOURS



04 DINING AREA SECTION
1/4" = 1'-0"



02 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



01 EXTERIOR ELEVATION - EAST (GARAGE DOORS OPEN)
1/4" = 1'-0"

NOTE:
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drawing issuances:

| rev | description | date |
|-----------------|-------------|------------|
| DRC PLAN REVIEW | | 08.27.2021 |
| SUBMISSION | | |

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sheet status:

NOT RELEASED FOR CONSTRUCTION

sheet title and number:

ELEVATIONS

consultant:

**Recess at Hanover
 Buckhead Village**
 3150 Roswell Road NW
 Atlanta, GA 30305

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drawing issuances:

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| 01 | DRC PLAN REVIEW SUBMISSION | 08.27.2021 |
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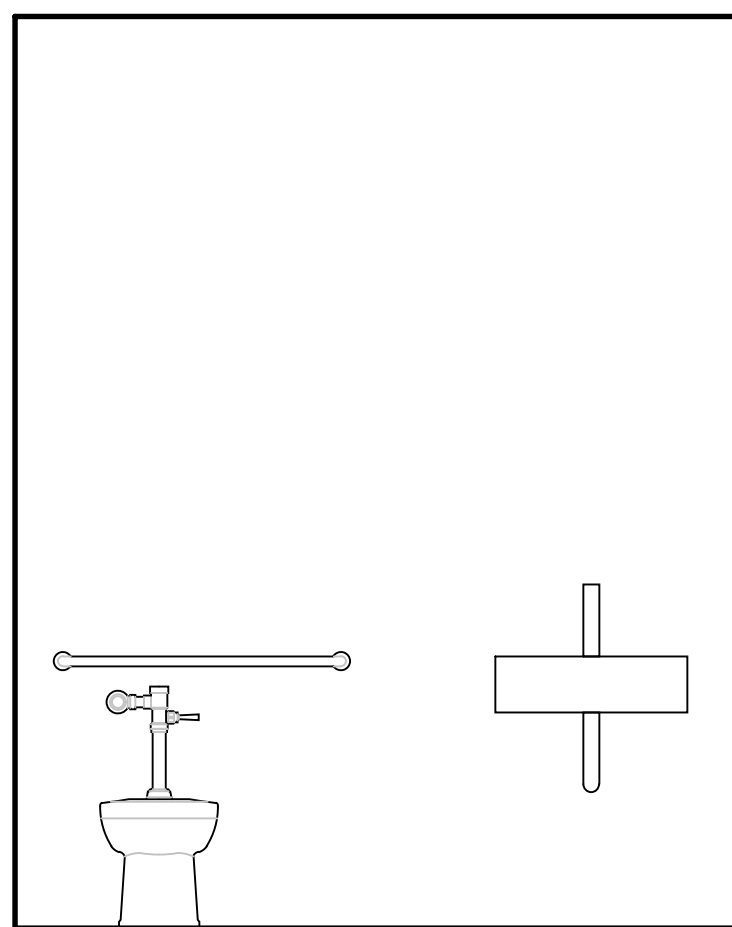
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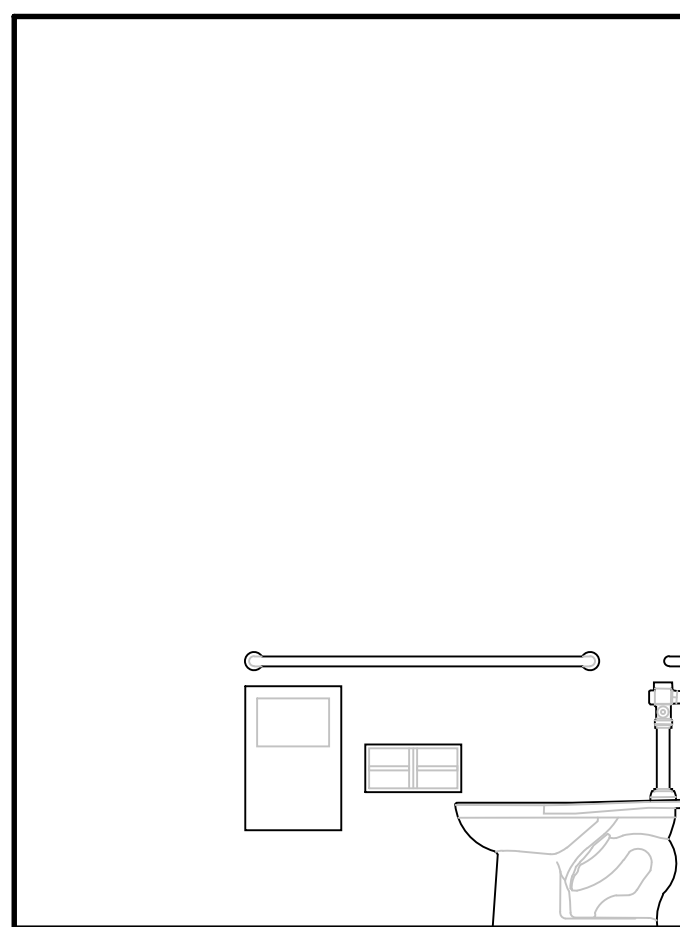
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ELEVATIONS

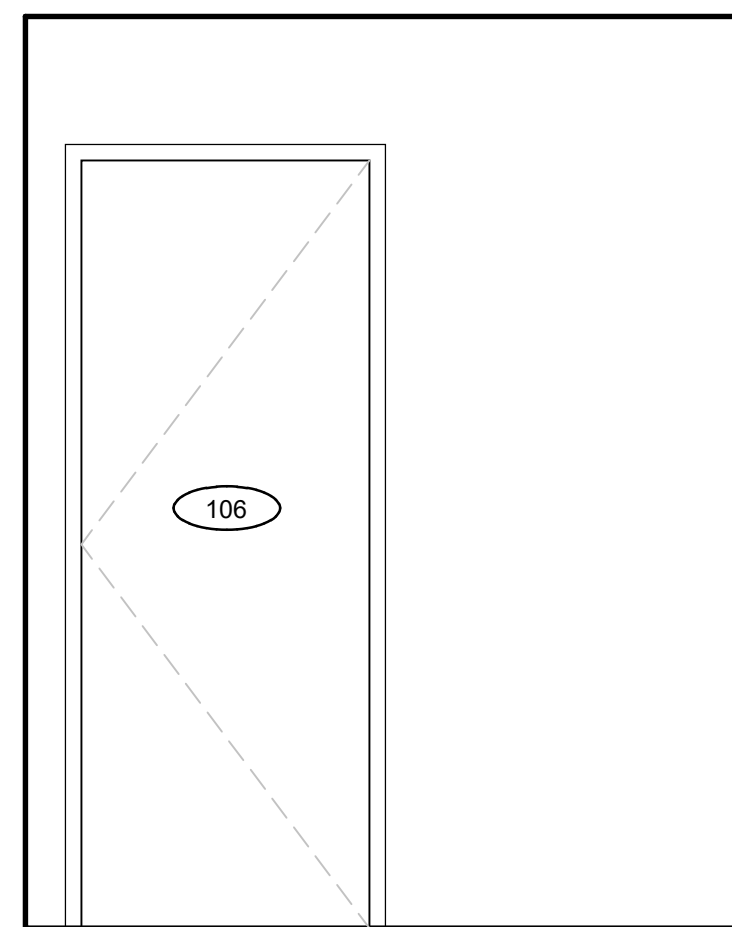
A2.2



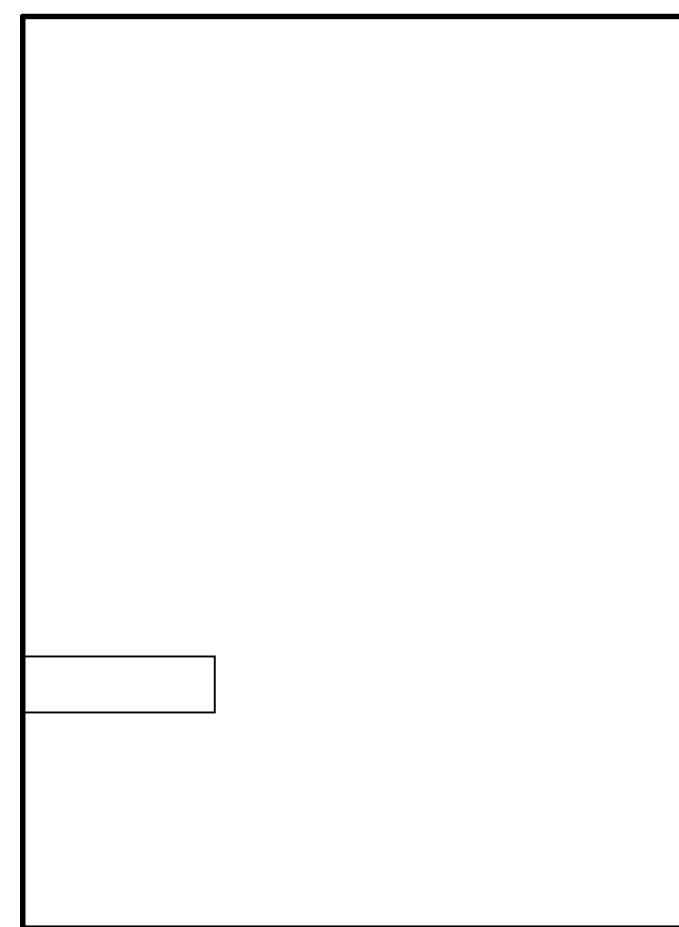
08 RESTROOM ELEVATION
 A2.2 1/2" = 1'-0"



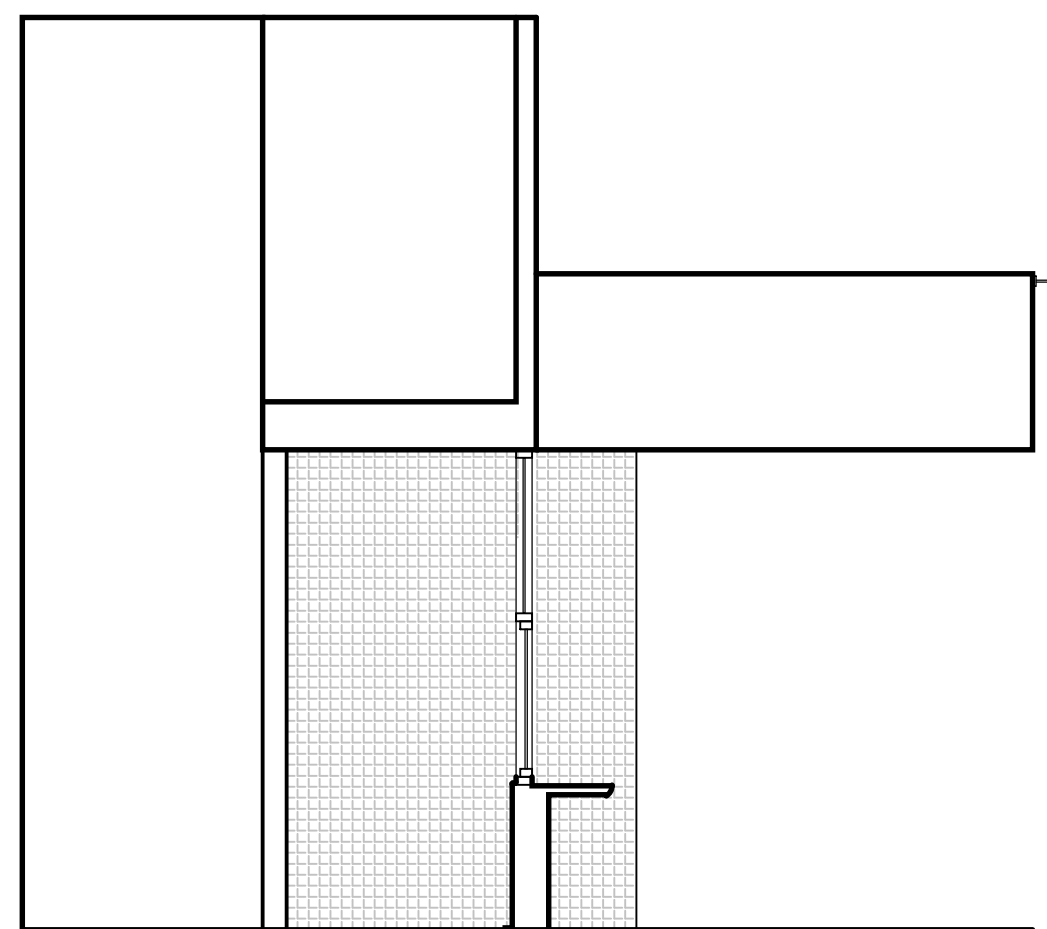
07 RESTROOM ELEVATION
 A2.2 1/2" = 1'-0"



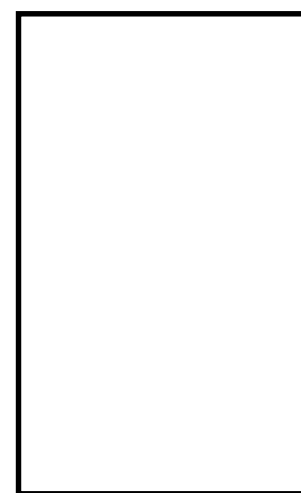
06 RESTROOM ELEVATION
 A2.2 1/2" = 1'-0"



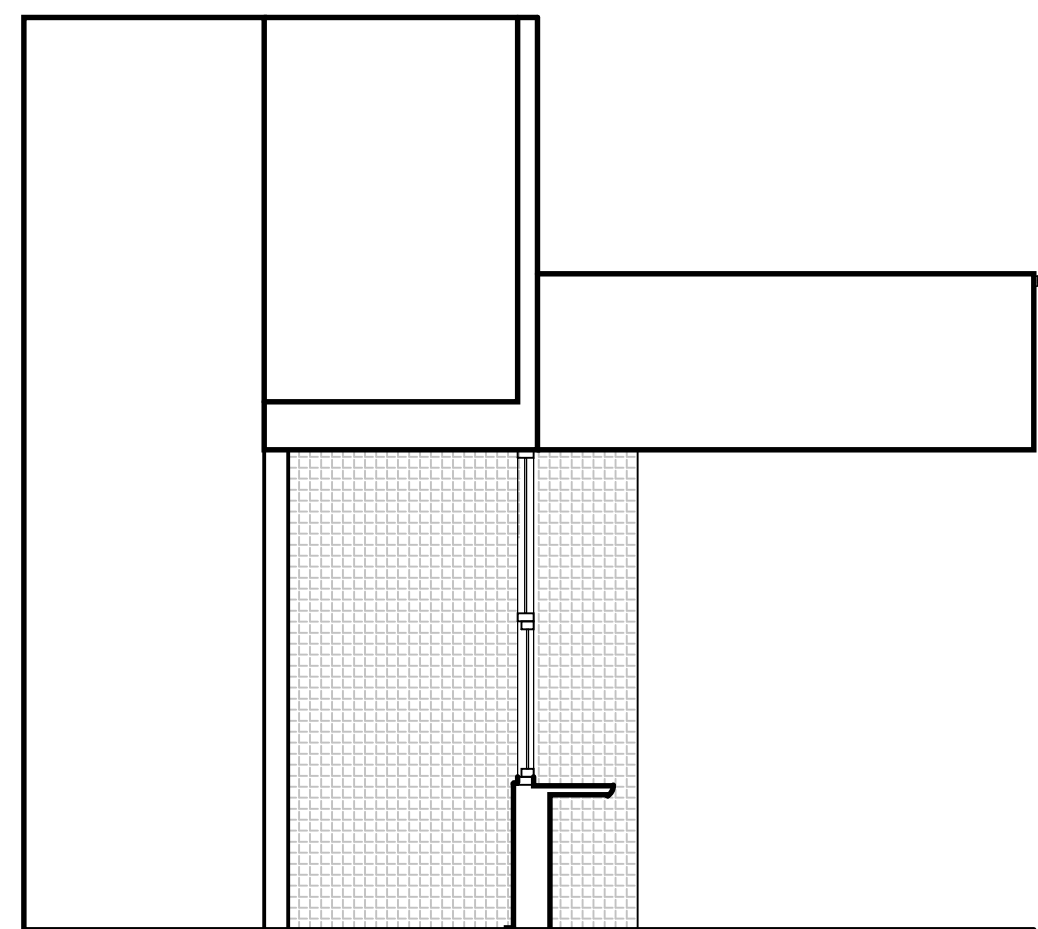
05 RESTROOM ELEVATION
 A2.2 1/2" = 1'-0"



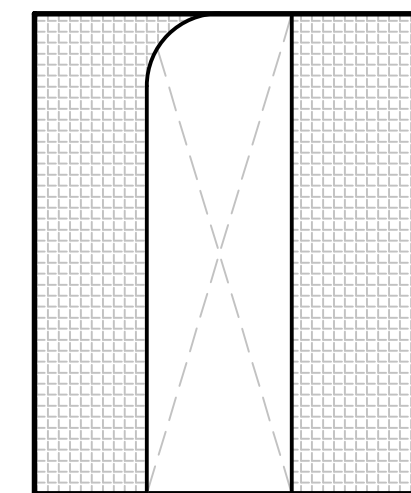
04 TO-GO WINDOW ELEVATIONS
 A2.2 1/4" = 1'-0"



03 TO-GO WINDOW ELEVATIONS
 A2.2 1/4" = 1'-0"

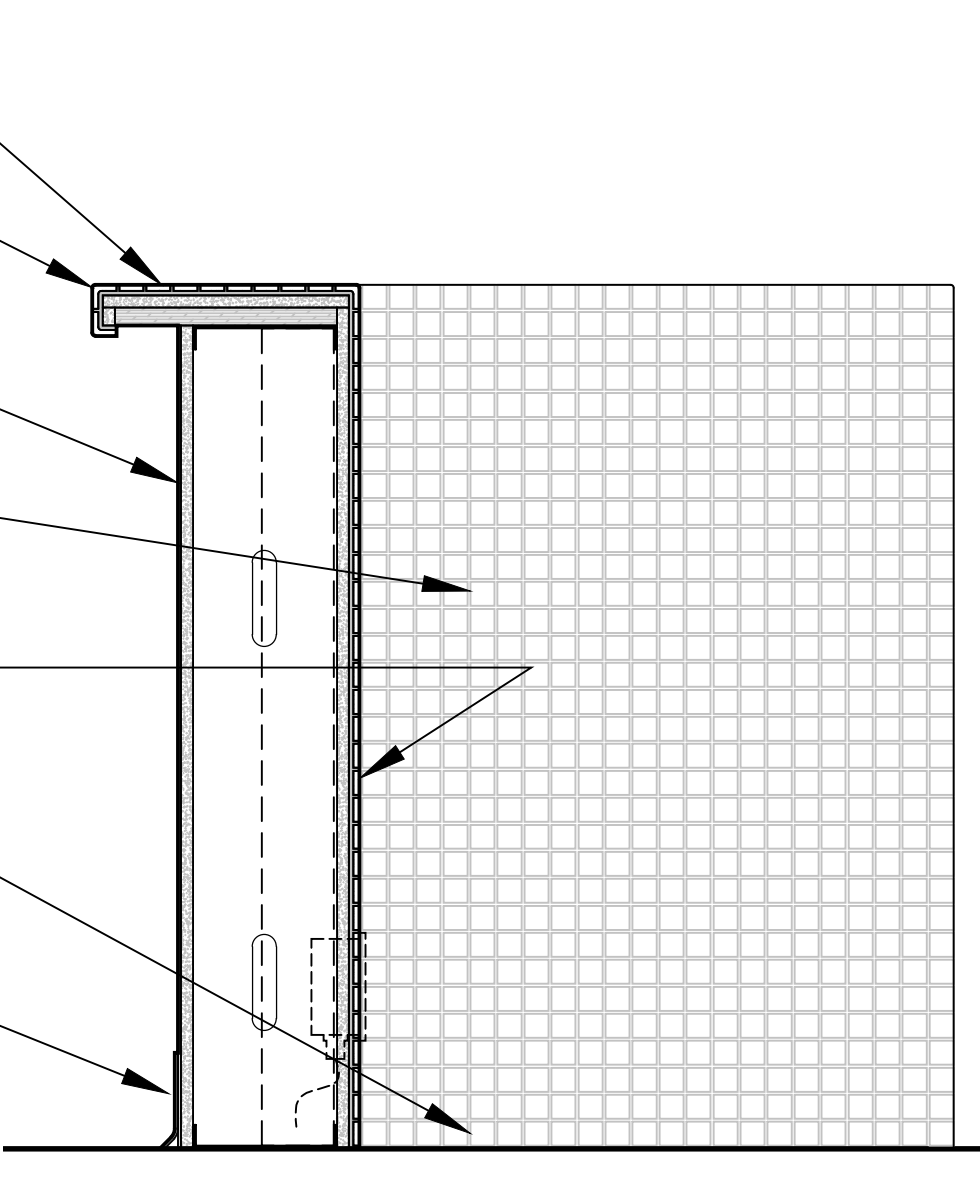
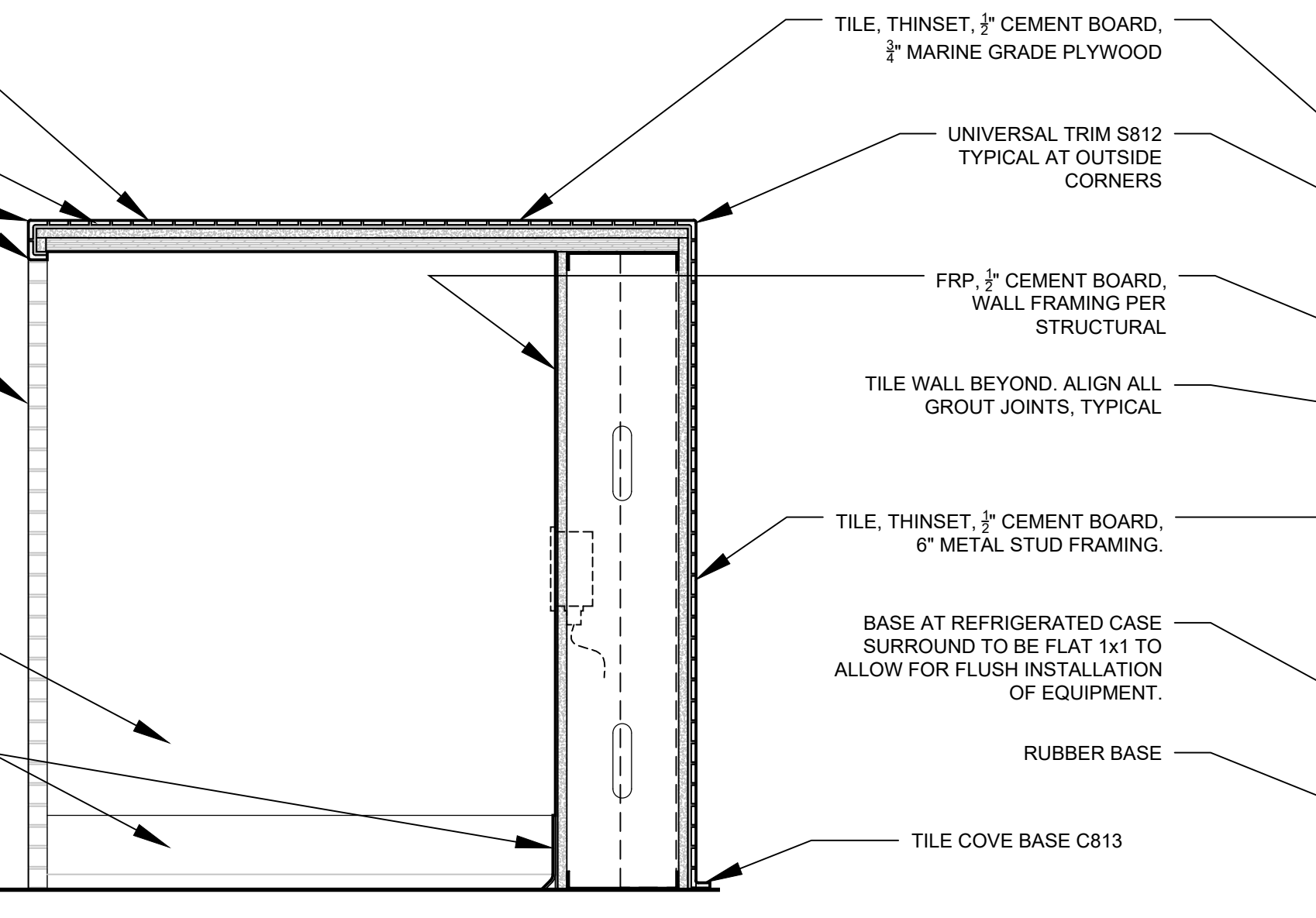
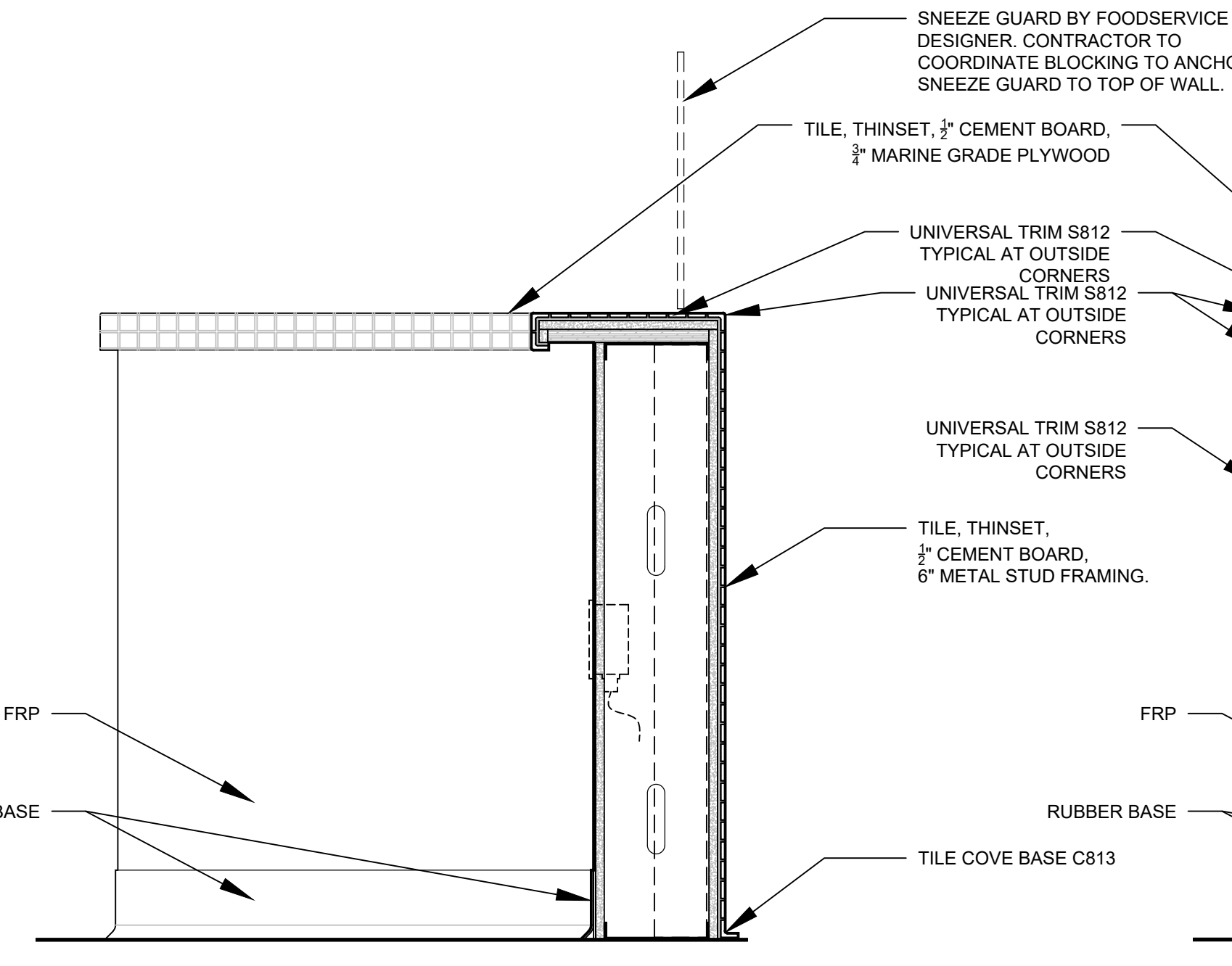
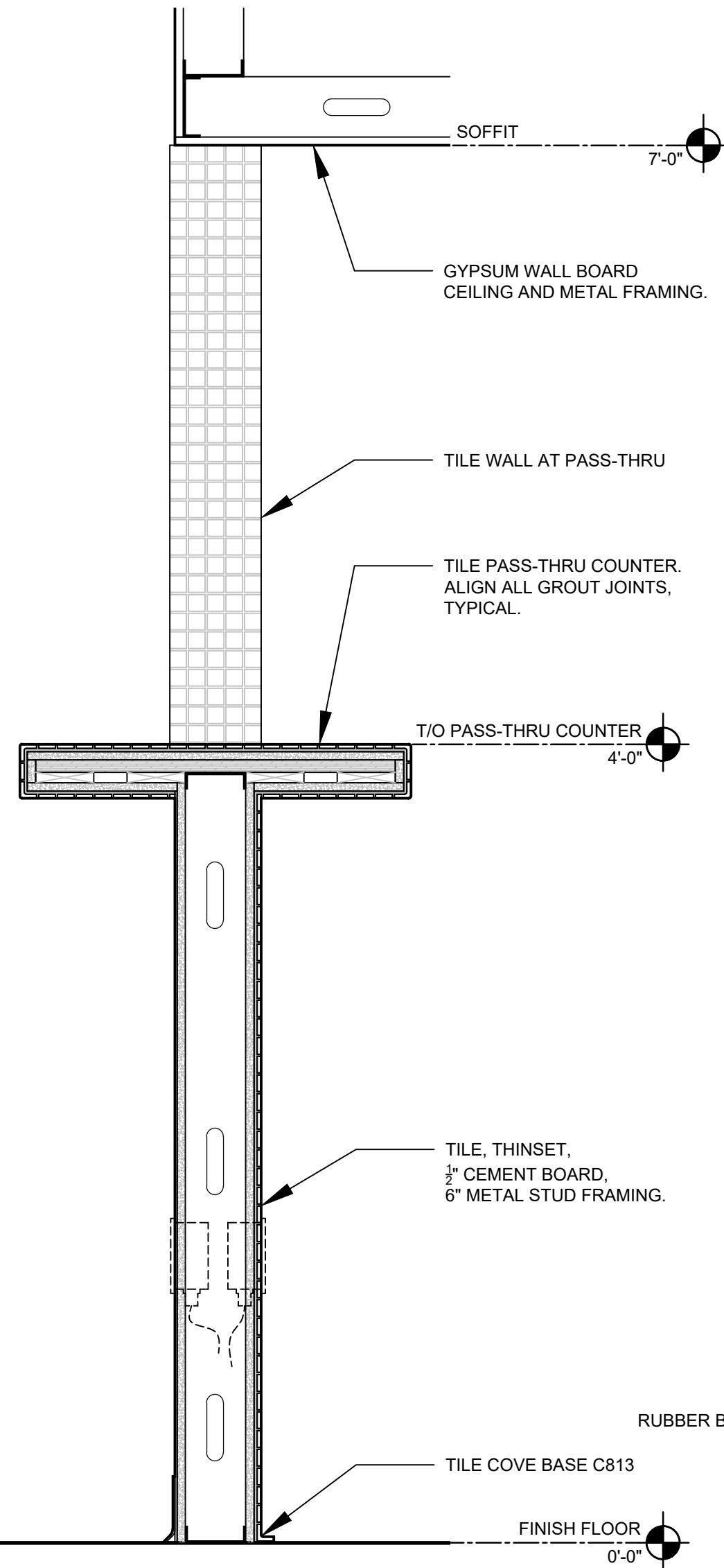


02 TO-GO WINDOW ELEVATIONS
 A2.2 1/4" = 1'-0"



01 TO-GO WINDOW ELEVATIONS
 A2.2 1/4" = 1'-0"

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04 WALL SECTION AT KITCHEN PASS-THRU
A3.1 1-1/2" = 1'-0"

03 WALL SECTION AT FOOD PREP/ORDERING LINE
A3.1 1-1/2" = 1'-0"

02 WALL SECTION AT POINT OF SALE
A3.1 1-1/2" = 1'-0"

01 WALL SECTION AT REFRIGERATED CASE
A3.1 1-1/2" = 1'-0"