

MEMORANDUM

To: Mr. Alex Deus

From: Ms. Morgan Murdock

Date: July 22, 2021

Subject: SAP Revision for 3350 Peachtree Road - Project Description

The intent of this memorandum is to identify notable updates for the 3350 Peachtree Road SAP in SPI 12. This project was previously approved under SAP-20-116 on November 13th, 2020, and a revision is now being pursued to incorporate recent improvements. Along with this letter, the resubmittal includes the previously approved SAP and the updated SAP.

Project Description: Cousins Capital City Plaza, LLC, as the owner of 3350 Peachtree Road, desires to make capital improvements to the facility known as Capital City Plaza/3350 Peachtree located near the Peachtree Road bridge over GA-400 adjacent to the entrance to the Buckhead MARTA Station. The scope of this project includes reconstruction and improvement of the shared drive on the south of the building, expansion of the parking deck facility to the rear of the property, construction of a large pedestrian plaza and outdoor space on top of the existing and proposed parking deck structures, construction of a bistro/food-and-beverage facility at the rear of the main tower, and minor interior improvements to the existing office tower itself. The intent of the project is to relocate all parking for the project onto the facility property and to revitalize the public spaces around not only Capital City Plaza but also Tower Place in general.

Substantive Changes: As the project has developed, there are a few changes that can be identified in the associated updated SAP site plan. See below for a list of updates:

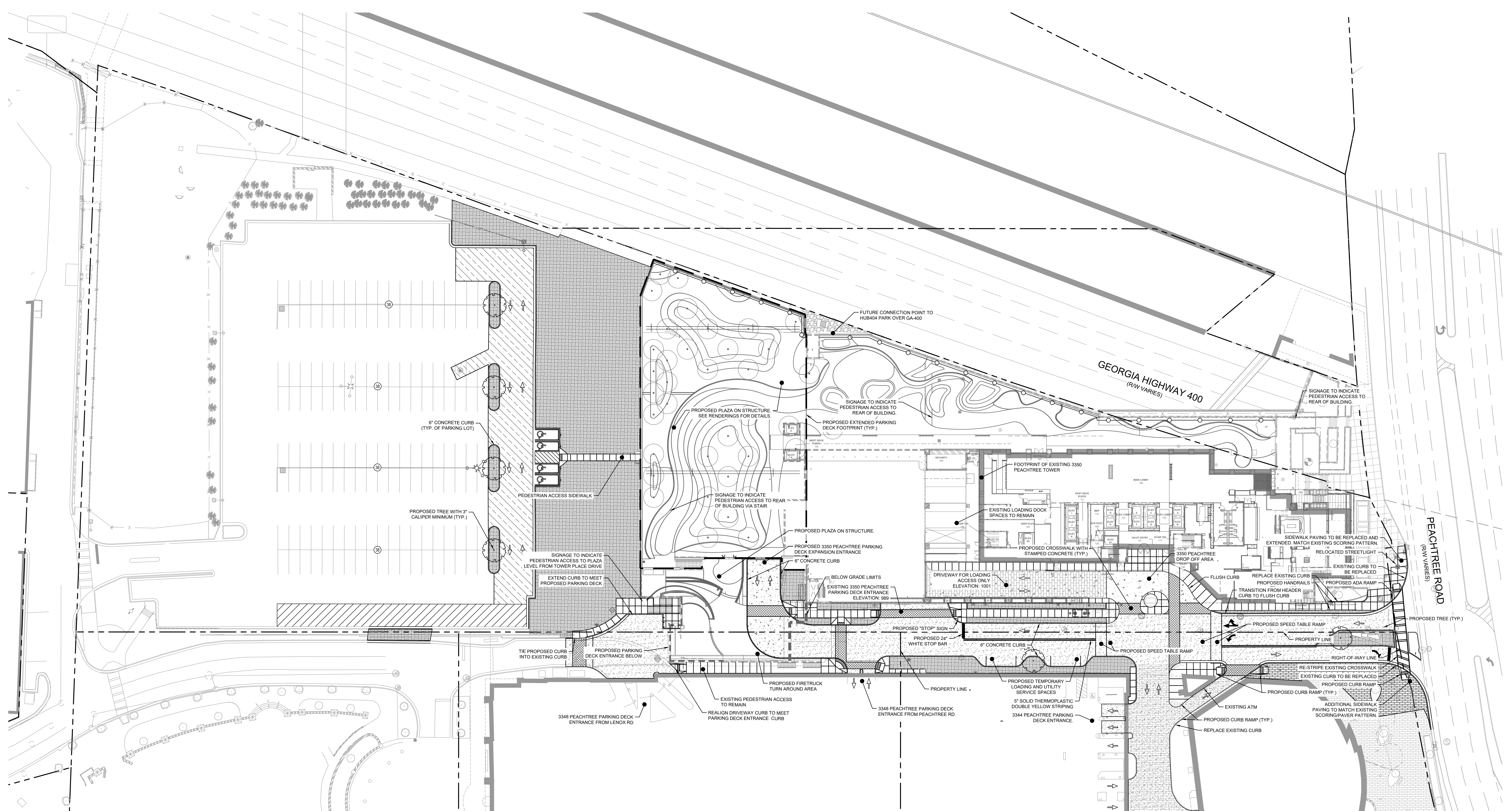
- Development Controls:
 - The following table shows a comparison of the building density and uses:

Use	Previously Approved	Currently Proposed
Additional Restaurant (with Alcohol)	3,941 SF	0 SF
Additional Retail	439 SF	2,258 SF
Additional Office	9,800 SF	16,350 SF
Total Existing & Proposed Area	444,922 SF	449,350 SF
Maximum Allowed Parking	1,194 Spaces	1,180 Spaces
Proposed Parking Deck Expansion	321 Spaces	349 Spaces
Proposed Surface Lot	200 Spaces	156 Spaces
Total Proposed Parking	1,194 Spaces	1,180 Spaces

- **Truck Loading:** Previously, the project relocated the existing loading spaces to the new building footprint and intended to provide loading spaces for a future development. Now, the project will maintain the current loading access area, and no loading spaces are provided for a future development.
- **Proposed Building Footprint:** The proposed building footprint is now condensed.
- **Existing trees:** On the northwest portion of the site, various design components were adjusted in order to maintain more existing trees.
- **Interior Site Access:** With the removal of the proposed loading dock, more direct pedestrian access is now provided interior to the site connecting the existing developments with the proposed plaza on structure.

As with the initial application, few improvements will occur adjacent to the public right-of-way, and those will be limited to the rework of the existing curb cut along Peachtree Road. All other work will take place on private property on the interior of the site. No variations are requested with this SAP application.

CLIENT	DATE	BY
CONSTRUCTION DRAWINGS ISSUANCE	4/19/2021 CAZ	
CIVIL PROGRESS PRINT	3/31/2021 CAZ	
CD PACKAGE - BUILDING	1/29/2021 MEW	
SAP SUBMITTAL	11/12/2020 CAZ	
NO. / SUBMITTAL DESCRIPTIONS		



SAP FILE NUMBER:
 SAP-20-116
ZONING CLASSIFICATION:
 SPI-12 SUBAREA 1
ADJACENT STREETS:
 HIGHWAY 400 (ARTERIAL)
 PEACHTREE ROAD (ARTERIAL)

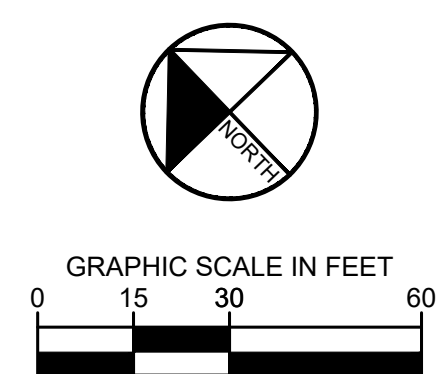
DEVELOPMENT SUMMARY:
SITE SUMMARY:
 ZONING: SPI-12 SA-1
 NET LOT AREA: 5.70 ACRES
BUILDING SQUARE FOOTAGE:
 EXISTING RESTAURANT (W/ ALCOHOL): 6,942 SF
 EXISTING OFFICE: 423,800 SF
TOTAL EXISTING: 430,742 SF
 ADDITIONAL RETAIL (BISTRO): 2,258 SF
 ADDITIONAL OFFICE: 16,350 SF
TOTAL ADDITIONAL PROPOSED: 18,608 SF
 PROPOSED RESTAURANT (W/ ALCOHOL): 6,942 SF
 PROPOSED RETAIL (BISTRO): 2,258 SF
 PROPOSED OFFICE: 440,150 SF
TOTAL PROPOSED SQUARE FOOTAGE: 449,350 SF

PARKING SUMMARY:
ZONING REQUIREMENTS:
 MINIMUM REQUIRED: 0 SPACES
 MAXIMUM ALLOWED:
 OFFICE: 1,100 SPACES
 RESTAURANT (W/ ALCOHOL): 69 SPACES
 RETAIL (BISTRO): 11 SPACES
 MAXIMUM ALLOWED TOTAL: 1,180 SPACES
 CARPOOL SPACES REQUIRED: 7* SPACES
 VANPOOL SPACES REQUIRED: 3* SPACES
PARKING PROVIDED:
 EXISTING PARKING DECK: 676 SPACES
 NEW PARKING DECK EXPANSION:
 STANDARD PARKING: 337 SPACES
 ADA PARKING: 12 SPACES
 VAN & CARPOOL: 10* SPACES
 TOTAL NEW PARKING DECK: 349* SPACES
 PROPOSED ACCESSORY SURFACE LOT:
 STANDARD PARKING: 152 SPACES
 ADA PARKING: 4 SPACES
 TOTAL SURFACE LOT: 156 SPACES
TOTAL DEVELOPMENT PARKING PROVIDED: 1180 SPACES
 *VAN AND CARPOOL SPACES NOT INCLUDED IN TOTALS
TRUCK LOADING:
 EXISTING LOADING TO REMAIN: (1) 12'X35'; (1) 12'X55'; (1) TRASH BAY

LANDSCAPE/OPEN SPACE SUMMARY:
SURFACE PARKING LANDSCAPE SUMMARY:
 AREA OF ADDITIONAL PARKING: 4,000 SF
 REQUIRED LANDSCAPE AREA (10% OF PARKING AREA): 400 SF
 PROPOSED LANDSCAPE AREA: 6,600 SF
OPEN SPACE ON 3350 PEACHTREE PROPERTY:
 REQUIRED OPEN SPACE: 37,260 SF
 PROPOSED OPEN SPACE:
 RIGHT-OF-WAY LANDSCAPE: 0 SF
 PRIVATE PROPERTY GREENSPACE: 2,500 SF
 PRIVATE PROPERTY SIDEWALK: 10,000 SF
 PEDESTRIAN PLAZA: 52,500 SF
TOTAL OPEN SPACE PROVIDED: 55,000 SF

SITE NOTES:
 1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY HKS, INC., DATED 4/14/2021 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
 2. EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY TRAVIS PRUITT & ASSOCIATES, INC., DATED 04/07/2020.
 3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
 5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
 6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

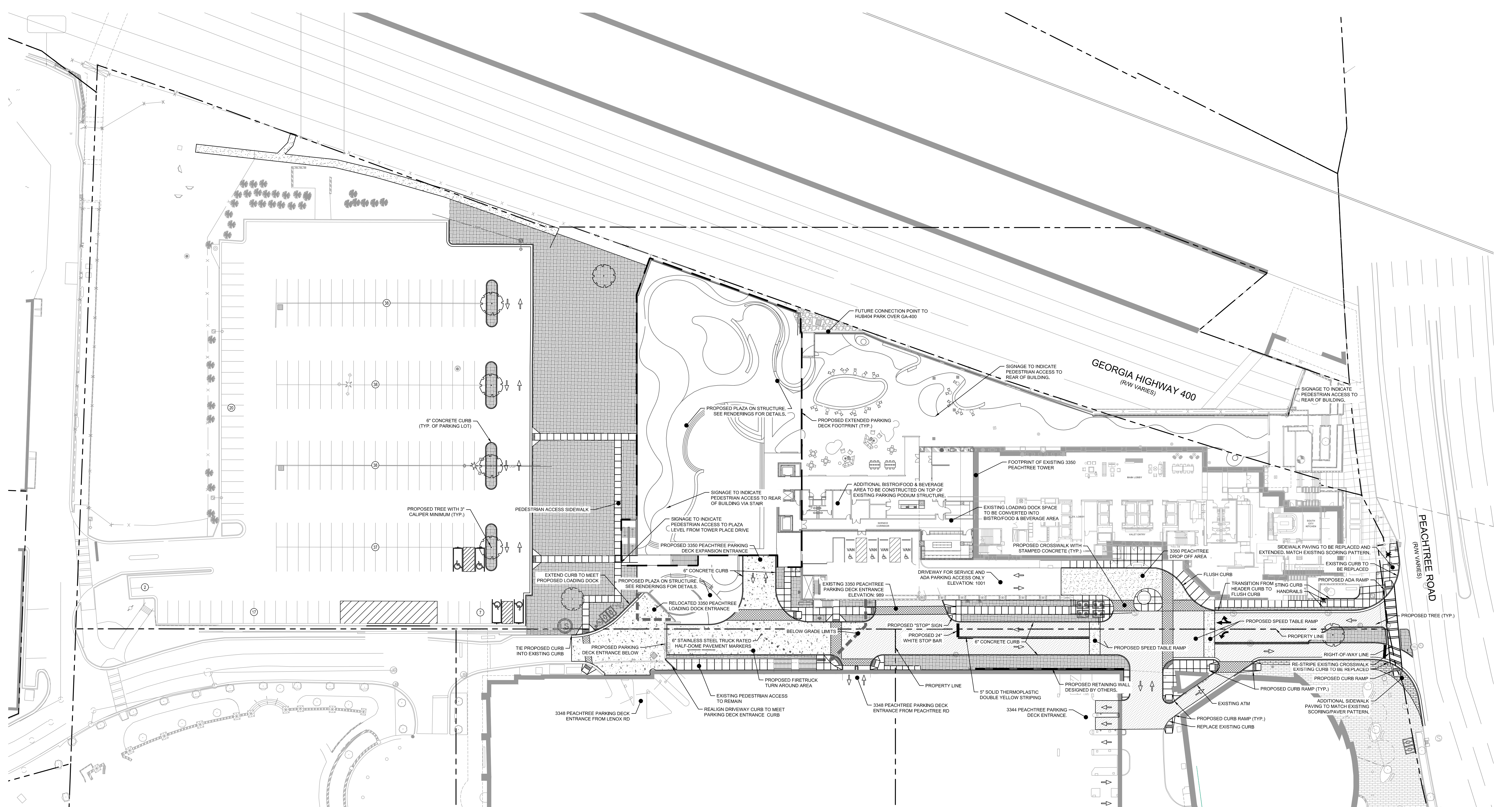
SITE PLAN LEGEND:
 - - - - - PROPERTY LINE
 [Pattern] STANDARD DUTY ASPHALT PAVEMENT
 [Pattern] STANDARD DUTY CONCRETE SIDEWALK
 [Pattern] STAMPED CONCRETE PAVEMENT
 [Pattern] HEAVY DUTY CONCRETE PAVEMENT ON STRUCTURE
 [Pattern] CONCRETE SPEED TABLE
 [Pattern] LANDSCAPED AREA
 [Symbol] TRAFFIC DIRECTION (NOT FOR STRIPING)
 [Symbol] PAVEMENT MARKING ARROW



Drawing name: C:\Users\morgam.murdoch\AppData\Local\Temp\Acp-Publish_13184\SAP-01 - SAP SITE PLAN.dwg C:\Users\morgam.murdoch\AppData\Local\Temp\Acp-Publish_13184\SAP-01 - SAP SITE PLAN.dwg Jul 22, 2021, 2:00pm by Morgan Murdoch

NO.	SUBMITTAL DESCRIPTIONS	DATE	BY
1	SAP SUBMITTAL	11/12/2020	CAZ

PROJECT	ISSUED FOR CONSTRUCTION
DATE	11/12/2020
DESIGNED BY	MEM
DRAWN BY	MEM
DESIGNED BY	CAZ
REVIEWED BY	EFM
DATE	11/12/2020
PROJECT NO.	013677000
TITLE	SAP SITE PLAN
SHEET NUMBER	SAP-01



SAP FILE NUMBER:
 SAP-20-116
ZONING CLASSIFICATION:
 SPI-12 SUBAREA 1
ADJACENT STREETS:
 HIGHWAY 400 (ARTERIAL)
 PEACHTREE ROAD (ARTERIAL)

DEVELOPMENT SUMMARY:

SITE SUMMARY:	
ZONING:	SPI-12 SA-1
NET LOT AREA:	5.70 ACRES
BUILDING SQUARE FOOTAGE:	
EXISTING RESTAURANT (W/ ALCOHOL):	6,942 SF
EXISTING OFFICE:	423,800 SF
TOTAL EXISTING:	430,742 SF
ADDITIONAL RESTAURANT (W/ ALCOHOL):	3,941 SF
ADDITIONAL RETAIL (SUNDRIES):	439 SF
ADDITIONAL OFFICE:	9,800 SF
TOTAL ADDITIONAL PROPOSED:	14,180 SF
PROPOSED RESTAURANT (W/ ALCOHOL):	10,883 SF
PROPOSED RETAIL (SUNDRIES):	439 SF
PROPOSED OFFICE:	433,800 SF
TOTAL PROPOSED SQUARE FOOTAGE:	444,922 SF

PARKING SUMMARY:

ZONING REQUIREMENTS:	
MINIMUM REQUIRED:	0 SPACES
MAXIMUM ALLOWED:	1,084 SPACES
OFFICE:	1,084 SPACES
RESTAURANT (W/ ALCOHOL):	108 SPACES
RETAIL (SUNDRIES):	2 SPACES
MAXIMUM ALLOWED TOTAL:	1,194 SPACES
CARPOOL SPACES REQUIRED:	7* SPACES
VANPOOL SPACES REQUIRED:	3* SPACES
PARKING PROVIDED:	
EXISTING PARKING DECK:	673 SPACES
NEW PARKING DECK EXPANSION:	300 SPACES
STANDARD PARKING:	21 SPACES
ADA PARKING:	10* SPACES
VAN & CARPOOL:	321* SPACES
TOTAL NEW PARKING DECK:	321* SPACES
PROPOSED ACCESSORY SURFACE LOT:	
STANDARD PARKING:	196 SPACES
ADA PARKING:	4 SPACES
TOTAL SURFACE LOT:	200 SPACES
TOTAL DEVELOPMENT PARKING PROVIDED:	1194 SPACES
*VAN AND CARPOOL SPACES NOT INCLUDED IN TOTALS	
TRUCK LOADING:	
EXISTING LOADING:	(1) 12'X35'; (1) 12'X55'; (1) TRASH BAY
PROPOSED LOADING:	SERVING 3350 PEACHTREE: (1) 12'X35'; (1) 12'X55'; (1) TRASH BAY
RESERVED FOR FUTURE:	(1) 12'X35'; (1) 12'X55'; (1) TRASH BAY
TOTAL LOADING PROPOSED:	(2) 12'X35'; (2) 12'X55'; (2) TRASH BAY

LANDSCAPE/OPEN SPACE SUMMARY:

SURFACE PARKING LANDSCAPE SUMMARY:	
AREA OF ADDITIONAL PARKING:	4,000 SF
REQUIRED LANDSCAPE AREA (10% OF PARKING AREA):	400 SF
PROPOSED LANDSCAPE AREA:	6,600 SF
OPEN SPACE ON 3350 PEACHTREE PROPERTY:	
REQUIRED OPEN SPACE:	37,260 SF
PROPOSED OPEN SPACE:	0 SF
RIGHT-OF-WAY LANDSCAPE:	0 SF
PRIVATE PROPERTY GREENSPACE:	2,500 SF
PRIVATE PROPERTY SIDEWALK:	10,000 SF
PEDESTRIAN PLAZA:	52,500 SF
TOTAL OPEN SPACE PROVIDED:	55,000 SF

SITE NOTES:

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SITE PLAN LEGEND:

	PROPERTY LINE
	STANDARD DUTY ASPHALT PAVEMENT
	STANDARD DUTY CONCRETE SIDEWALK
	STAMPED CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT ON STRUCTURE
	CONCRETE SPEED TABLE
	LANDSCAPED AREA
	TRAFFIC DIRECTION (NOT FOR STRIPING)
	PAVEMENT MARKING ARROW

City of Atlanta | Department of City Planning
OFFICE OF ZONING & DEVELOPMENT

APPROVED: SPECIAL ADMINISTRATIVE PERMIT

with Red-Lines with Conditions Revision

DATE: 11/13/20 REVIEWER: Alex Deus

APPLICATION NUMBER: SAP-20-116

