

914 Howell Mill Road NW
Suite 400
Atlanta, Georgia
30318

plexus r+d, inc.

voice: 404.519.7728

City of Atlanta
Office of Zoning and Development

January 19, 2021

Re: SAP Application – 3379 Peachtree Road – Olympus Restaurant

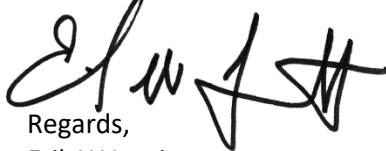
Please find attached our application for a SAP, related to some exterior and interior work being proposed at 3379 Peachtree Road.

The scope of work for this SAP application includes the construction of a new glass and steel enclosure of an existing exterior dining platform adjacent to the existing restaurant within the high-rise office building at 3379 Peachtree Road. The interior of the restaurant will be renovated for the new restaurant operator.

Please see attached some photos of the existing building façade and exterior dining platform.

Please let me know if you have any questions, or if you need any additional information.

Thank you,



Regards,
Erik W Lewitt
(404) 519-7728





Existing Dining Platform and Front Elevation



Existing Front Elevation



APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)

For SPI, Beltline, LW, MR, MRC, NC, I-Mix Zoning Districts & Unified Development Plans File No.: _____

City of Atlanta, Office of Zoning and Development (404-330-6145)

APPLICANT (name) Erik W Lewitt

ADDRESS 914 Howell Mill Road NW, Suite 400

PHONE NO. 404-519-7728 **EMAIL** elewitt@plexusrd.com

PROPERTY LANDOWNER TRPF 3379 Peachtree Road LLC, Chris Adams Director SE

ADDRESS Courvoisier Center, 501 Brickell Key Drive, Suite 504 Miami, FL 33131

PHONE NO. 317-997-6098 **EMAIL** christopher.adams@nuveen.com

ADDRESS OF PROPERTY 3379 Peachtree Rd

Land District 17 **Land Lot** 45 **Council District** _____ **NPU** B

Is property within the BeltLine Overlay District? Yes No **Zoning Classification** SPI-12-SA-1

Is Inclusionary Zoning applicable to this project? Yes No Is this a Unified Development Plan? Yes No

DATE STAMP
RECEIVED BY
OFFICE OF ZONING
AND DEVELOPMENT

Submittal Checklist (See detailed checklist on page 2):

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit one (1) copy. Lot consolidation, re-platting or subdivision may be required prior to approval of SAP.
- Site Plan (released for construction and sealed) and Building Elevations:**
 - a. **Initial Submission: One(1) site plan & One (1) set of elevations.**
 - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form (page 4).
- Notice to Applicant:** Submit attached form with signature and date (page 10).
- Development Controls Specification Form:** Provide the applicable information (pages 7 - 9).

Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250. Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000. Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date January 19, 2021 **Signature of Applicant**

Additional Submittal Requirements (as applicable):

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Review and complete pages 11-12 of this SAP for certification forms.
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Applicant must send a copy of the filed SAP application to the NPU contact. Afterwards, complete the Notarized Affidavit of NPU Notification form (page 6), and provide a copy of U.S. Postal Service Certificate of Mailing. The NPU has up to 21 days to review the SAP and forward comments to the City.
- **Pre-application Conference with Zoning and Development Staff (prior to SAP submittal):** Required only for SPIs: 1, 9, 12, 15, 17, 18, 20, 21, 22 and *recommended* for all other districts. To request this meeting, contact Christian Olteanu at 404-330-6961 or colteanu@atlantaga.gov.
- **Development Review Committee (DRC):** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review (See page 3).
- **Development of Regional Impact (DRI) Study:** Mixed-use developments with at least 700,000 s.f. or residential with at least 700 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
 - **Initial submission:** DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is **REQUIRED** for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: www.atlantawatershed.org/greeninfrastructure
- **Unified Development Plans:** Applicable to all zoning districts except R-1 to R-5, RLC, PD, & historic bldgs/districts (Section 16-28.030)

The City Code provides that Zoning and Development Director shall review each request for an SAP within 30 days of a filing of a **completed*** application. (Atlanta Code Chapter 16, Section 16-25). * **Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.**

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was **approved** or **denied** on _____

See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized Authorization by Property Land Owner

File # _____

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: **Special Administrative Permit**

I, TRPF 3379 PEACHTREE ROAD LLC SWEAR THAT I AM THE **LANDOWNER**
 owner(s) name

OF THE PROPERTY LOCATED AT: 3379 Peachtree Road

AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA WHICH IS
 THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED
 BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Erik W Lewitt

ADDRESS: 914 Howell Mill Rd NW, Suite 400, Atlanta, GA 30318

TELEPHONE: 404-519-7728 EMAIL: elewitt@plexusrd.com

Madison Marquette Real Estate Services LLC as agent for
 TRPF 3379 Peachtree Road, LLC

Julie Motsinger
 Signature of Property Landowner

Julie Motsinger
 Print Name of Property Landowner

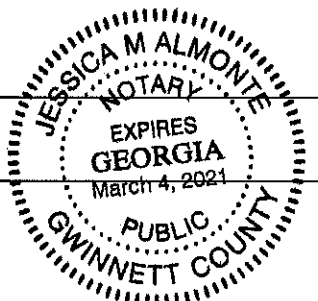
Personally Appeared
 Before Me

Julie Motsinger

Who Swears That The
 Information Contained
 In this Authorization
 Is True and Correct
 To The Best of His or Her
 Knowledge and Belief.

Jessica M Almonte
 Signature of Notary Public

01/20/2021
 Date





City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notice to Applicant

File # _____

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD

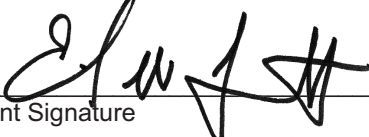
It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Erik W Lewitt

 Applicant Printed Name



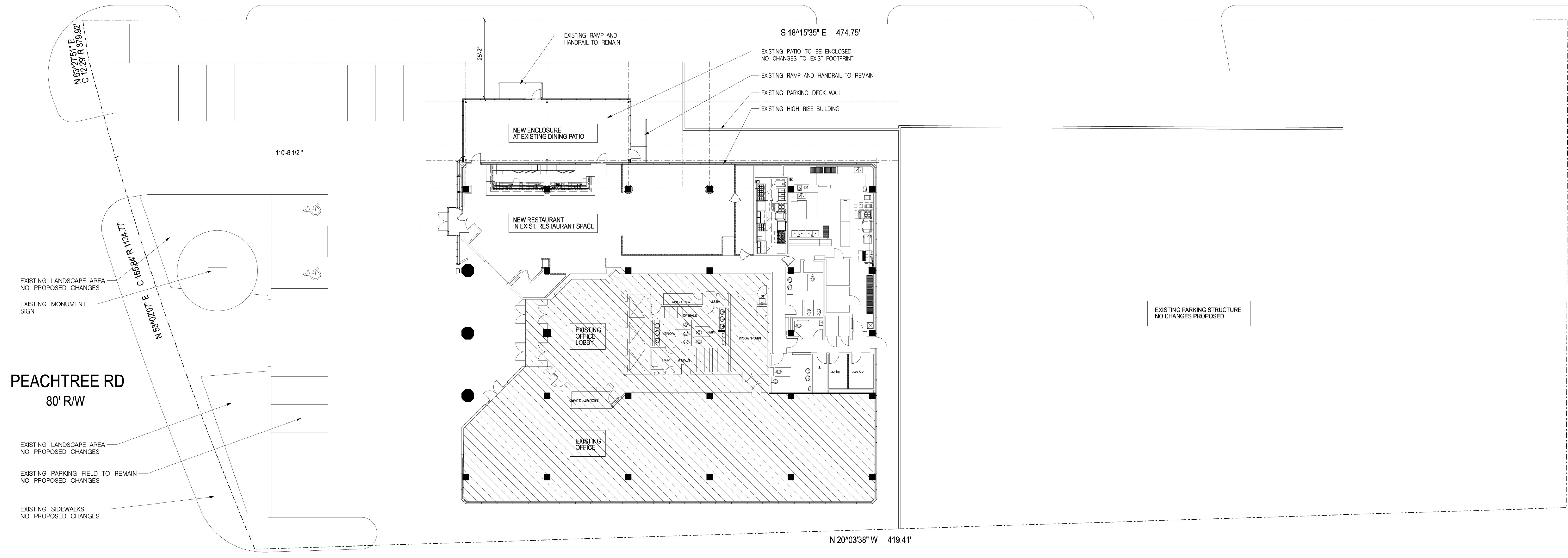
 Applicant Signature

January 19, 2021

 Date

ISSUES	
12.31.20	LANDLORD SET

AROUND LENOX DRIVE
40' R/W



PEACHTREE RD
80' R/W

1 SITE PLAN
A0.01 SCALE: 1/16" = 1'-0"

Olympus - Buckhead

3379 Peachtree Road NE
Atlanta, GA 30326

Project Number: 735.00

ISSUED FOR CONSTRUCTION

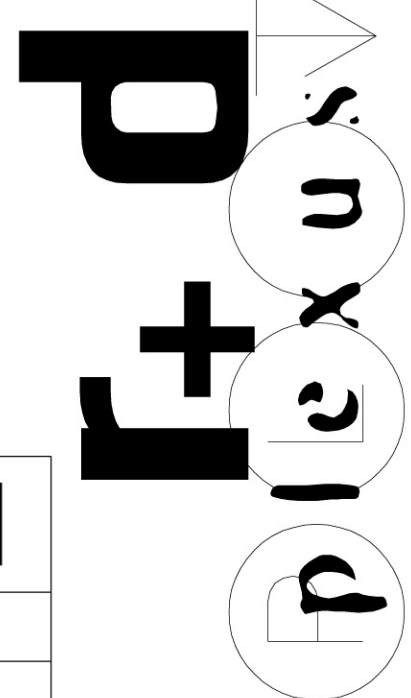
STRUCTURAL

Kelly Allbright
PEC Structural Engineering
130 Krog Street, Suite Z
Atlanta, Georgia 30307
404.660.6022

M.E.P. & F.P.

Westside Engineering
5525 Interstate North Parkway
Suite 200
Atlanta, GA 30328
Phone: 404-242-6240

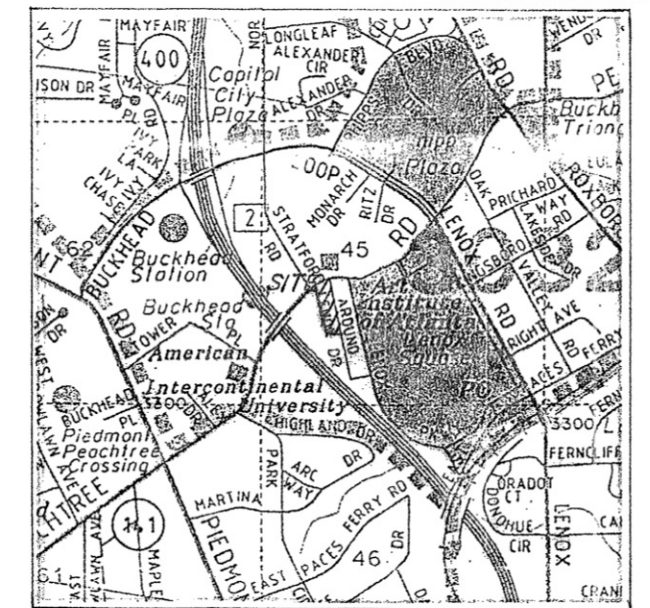
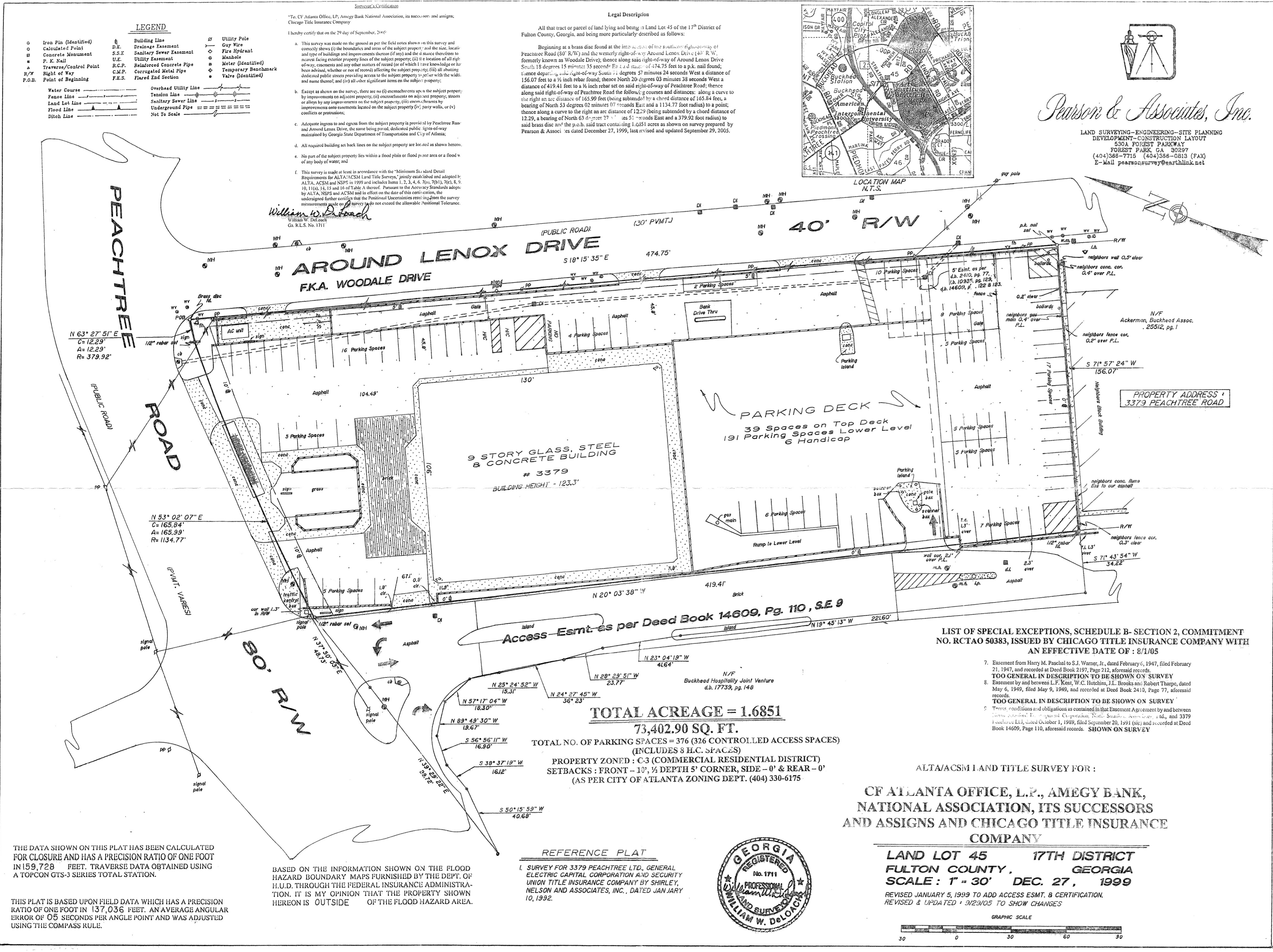
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A0-01
SITE PLAN
1/16" = 1'-0"

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Pearson & Associates, Inc.
LAND SURVEYING-ENGINEERING-SITE PLANNING
DEVELOPMENT-CONSTRUCTION LAYOUT
530A FOREST PARKWAY
FOREST PARK, GA 30097
(404)388-7715 (404)388-0813 (FAX)
E-mail: pearsonsurvey@earthlink.net

Olympus - Buckhead

3379 Peachtree Road NE
Atlanta, GA 30326

Project Number: 735.00

ISSUED FOR CONSTRUCTION

STRUCTURAL

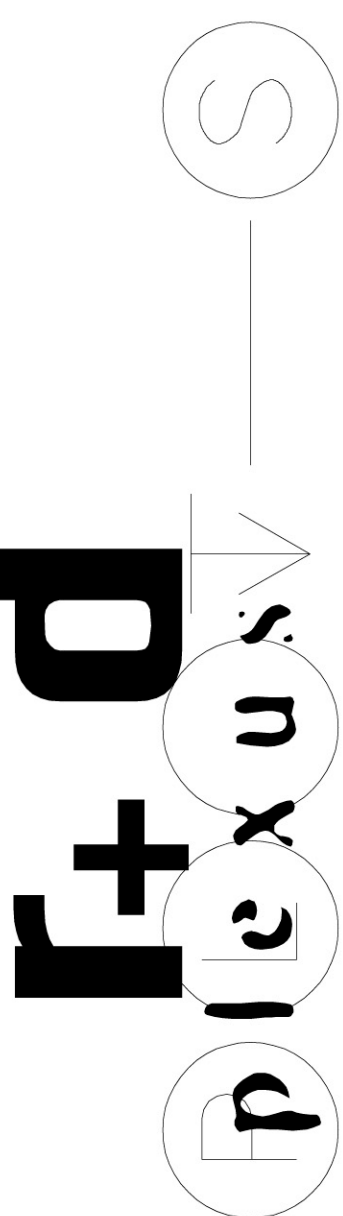
Kelly Albright
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404.660.6022

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A0-02
SURVEY
1" = 30'-0"



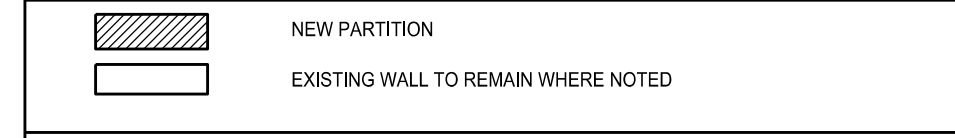
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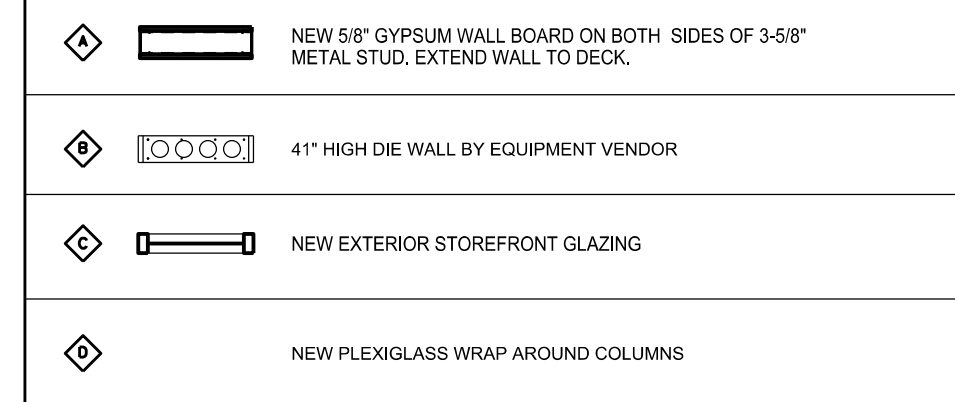
PLAN GENERAL NOTES

ALL DIMENSIONS ARE FROM FACE OF FINISHED WALL U.O.N.
 WHERE MULTIPLE SWITCHES OCCUR (SWITCHES, DIMMERS, OR BOTH), GANG GROUPS OF SWITCHES IN COMMON FACE PLATE. SWITCHES, DIMMERS, FAN CONTROLS & THERMOSTATS TO BE LOCATED 48" AFF TO CENTER LINE OF DEVICE, U.O.N.
 ALL SWITCH COVERPLATES, (LIGHTING, DIMMERS, EXHAUST FANS, ETC.) SHALL BE MOUNTED STRAIGHT & ALIGNED
 ALL THERMOSTAT LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION
 ALL FURNITURE & EQUIPMENT TO BE OWNER SUPPLIED & INSTALLED U.O.N.(N.I.C.)

PART SYMBOLS



PARTITION TYPES



DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	HARDWARE SET	SIZE	FRAME MATERIAL	DOOR MATERIAL	NOTES
001	E	E	6'-0\"/>			

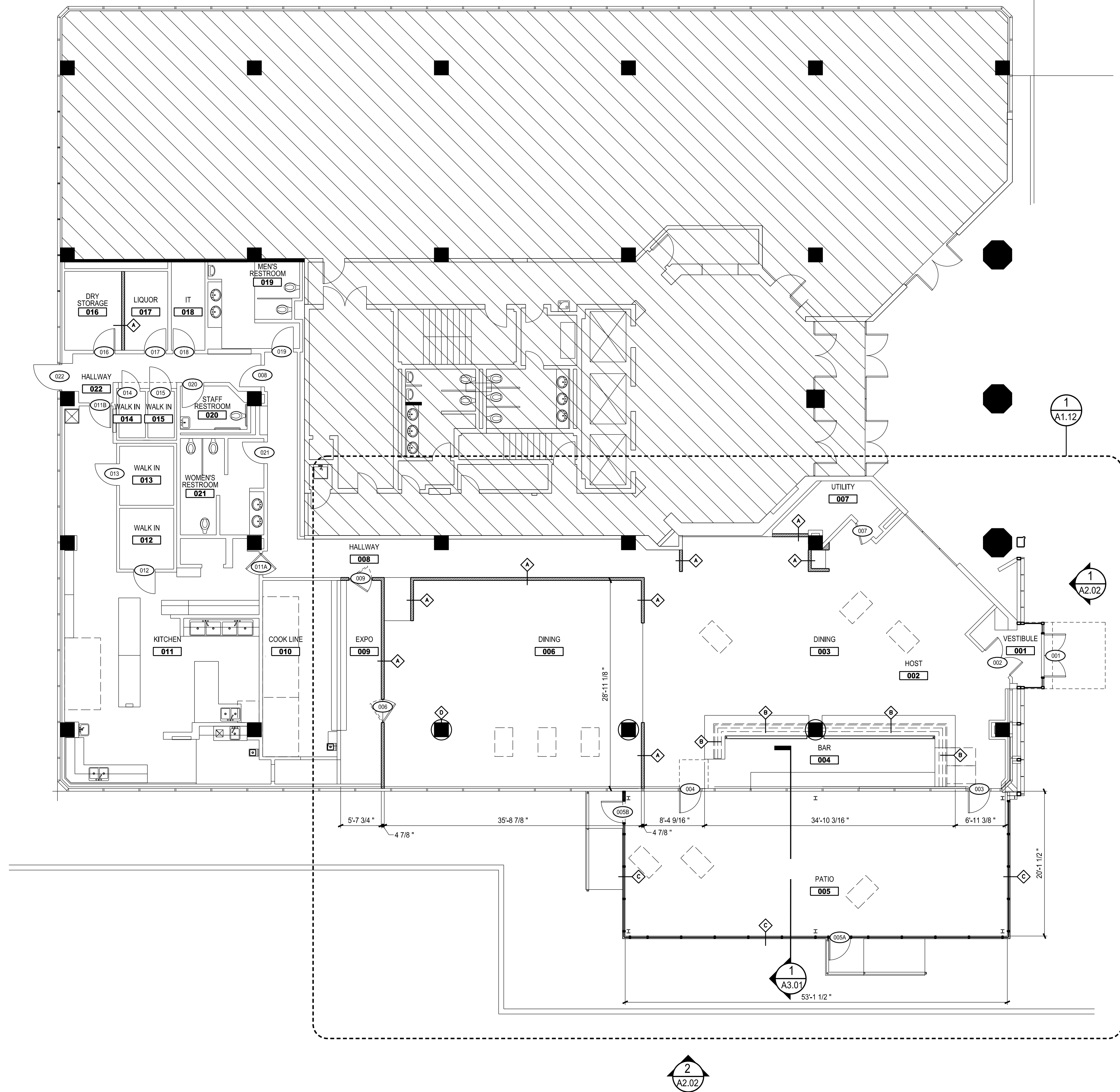
LOCK SET

A	STOREFRONT ENTRY LOCKSET SINGLE DOOR
B	DOUBLE ACTING PIVOT DOOR PUSH/PUSH
C	PASSAGE SET
E	EXISTING

DOOR TYPES

TYPE	DESCRIPTION	SYMBOL
A	EXTERIOR METAL+GLASS ENTRY DOOR SEE DOOR SCHEDULE FOR SIZE	
B	NEW DOUBLE ACTION ALUMINUM SWING DOOR WITH LITE SEE DOOR SCHEDULE FOR SIZE	
C	INTERIOR HOLLOW METAL DOOR SEE DOOR SCHEDULE FOR SIZE	
E	EXISTING DOOR	

1 PROPOSED FLOOR PLAN
 A1.11 SCALE: 1/8" = 1'-0"



A1-11
 PROPOSED FLOOR PLAN
 1/8" = 1'-0"

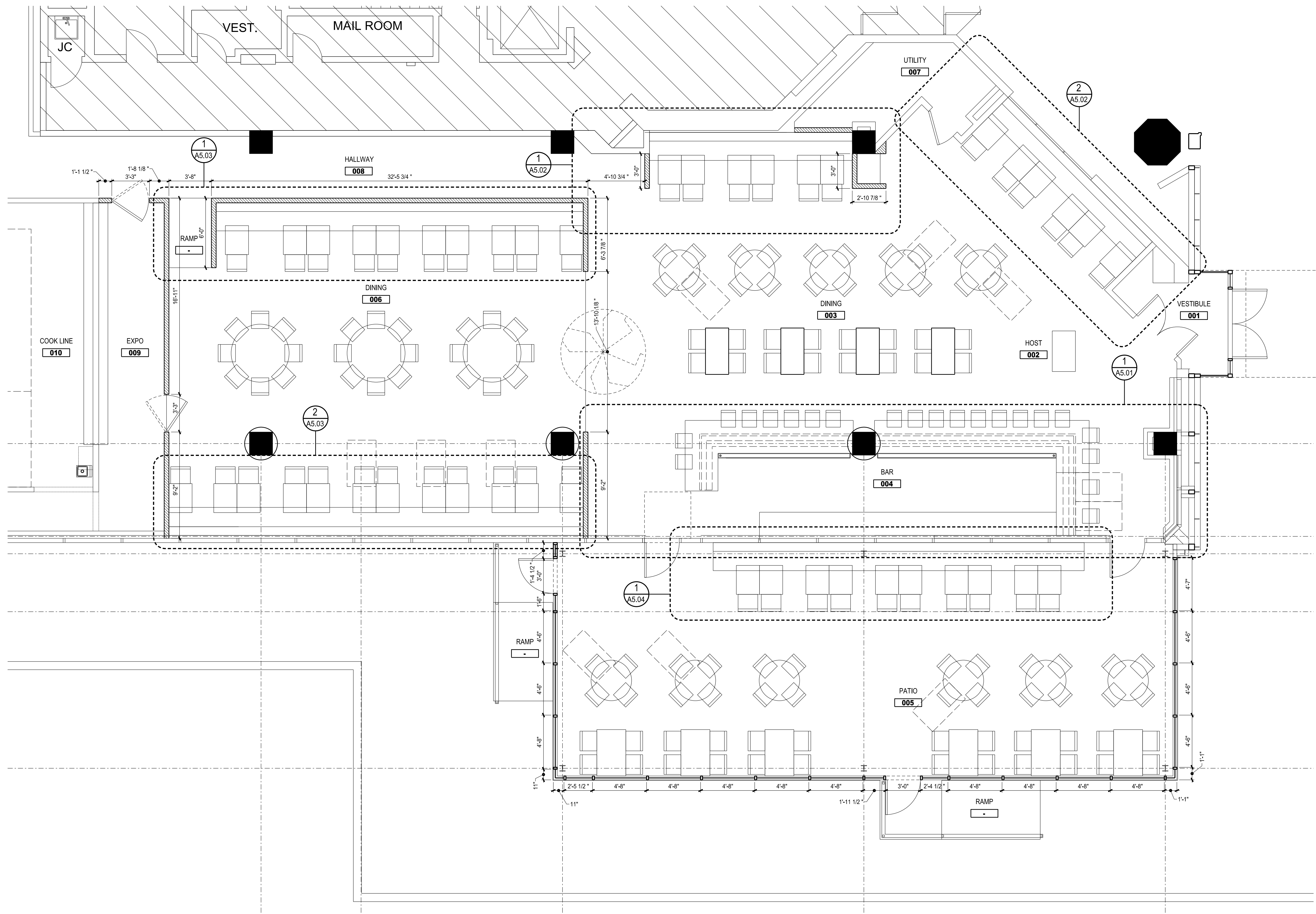
ISSUES	
12.31.20	LANDLORD SET

Olympus - Buckhead
 3379 Peachtree Road NE
 Atlanta, GA 30326
 Project Number: 735.00
ISSUED FOR CONSTRUCTION

STRUCTURAL
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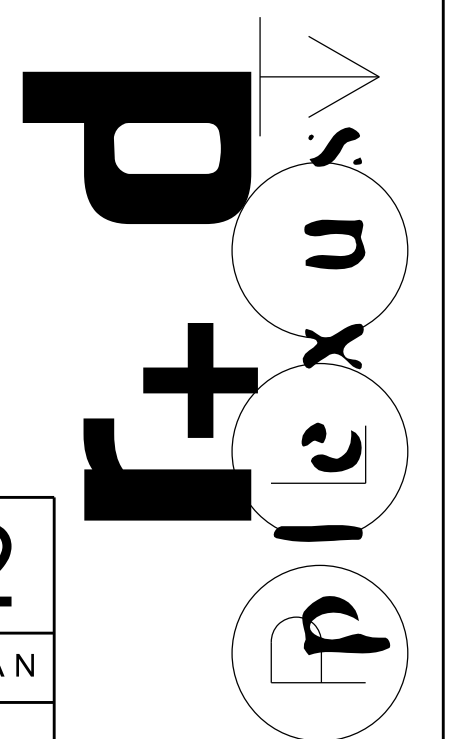
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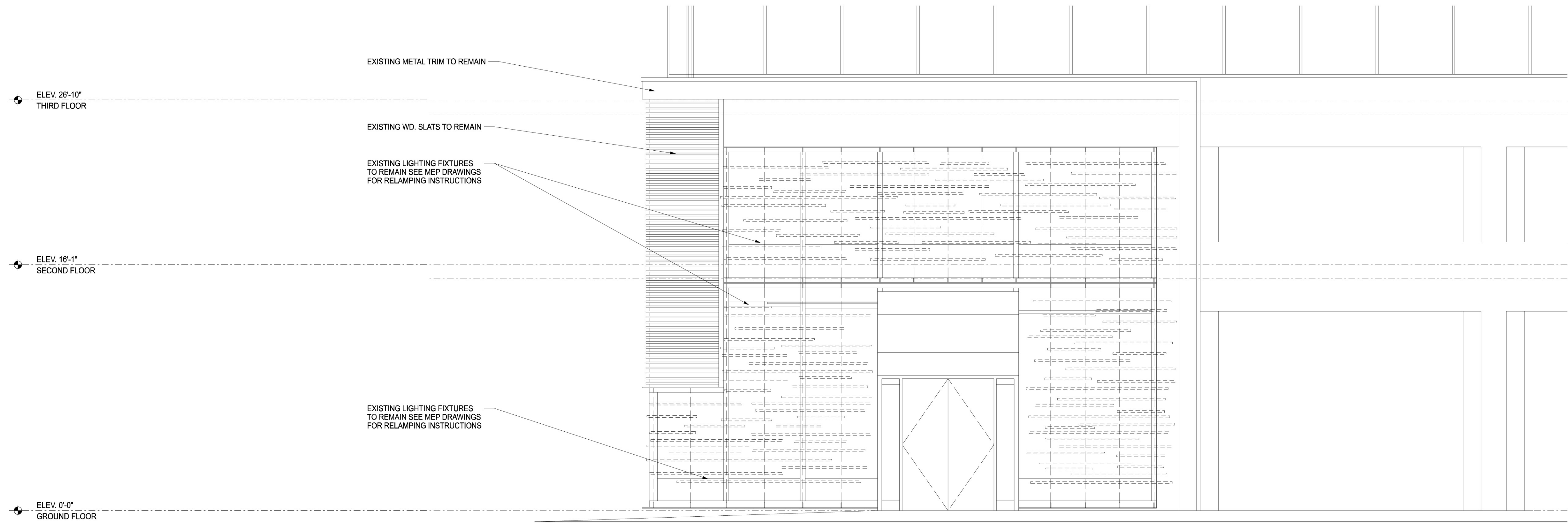


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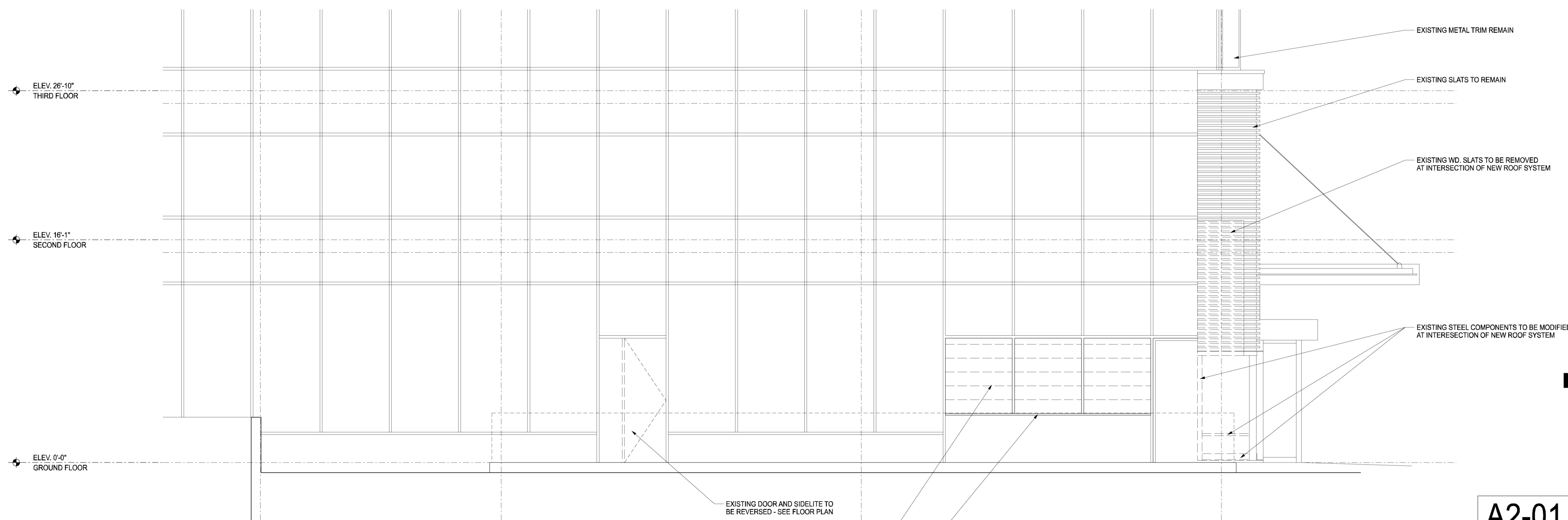
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1 ENLARGED FLOOR PLAN - DINING
A1.12 SCALE: 1/4" = 1'-0"

A1-12
DINING PLAN
1/4" = 1'-0"



1 DEMOLITION - FRONT ELEVATION
A2.01 SCALE: 1/4" = 1'-0"



2 DEMOLITION - SIDE ELEVATION
A2.01 SCALE: 1/4" = 1'-0"

Olympus - Buckhead

3379 Peachtree Road NE
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Project Number: 735.00

ISSUED FOR CONSTRUCTION

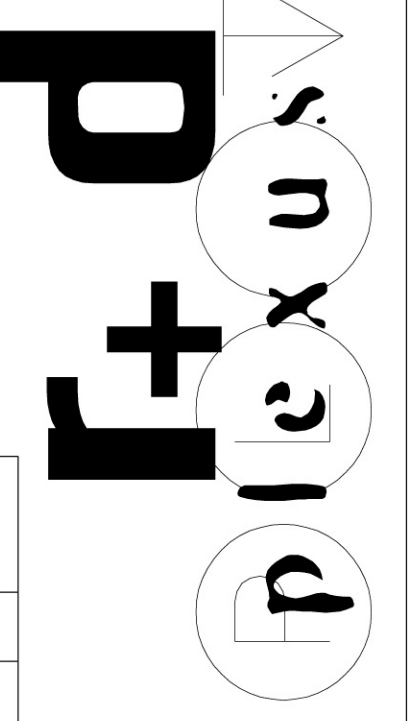
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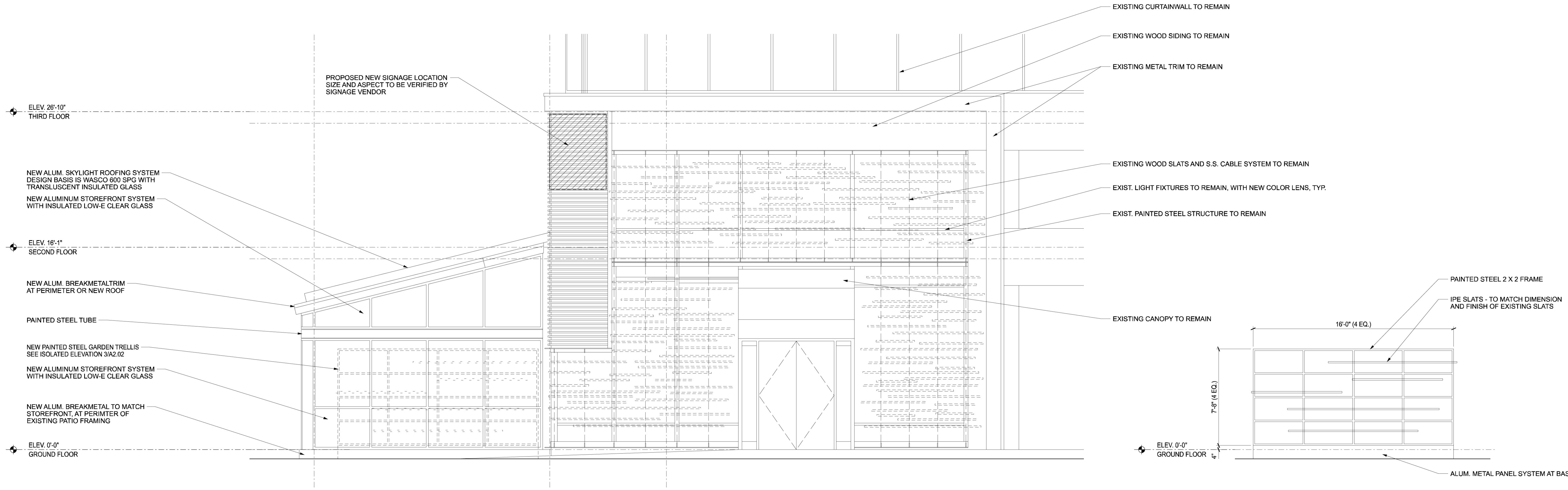
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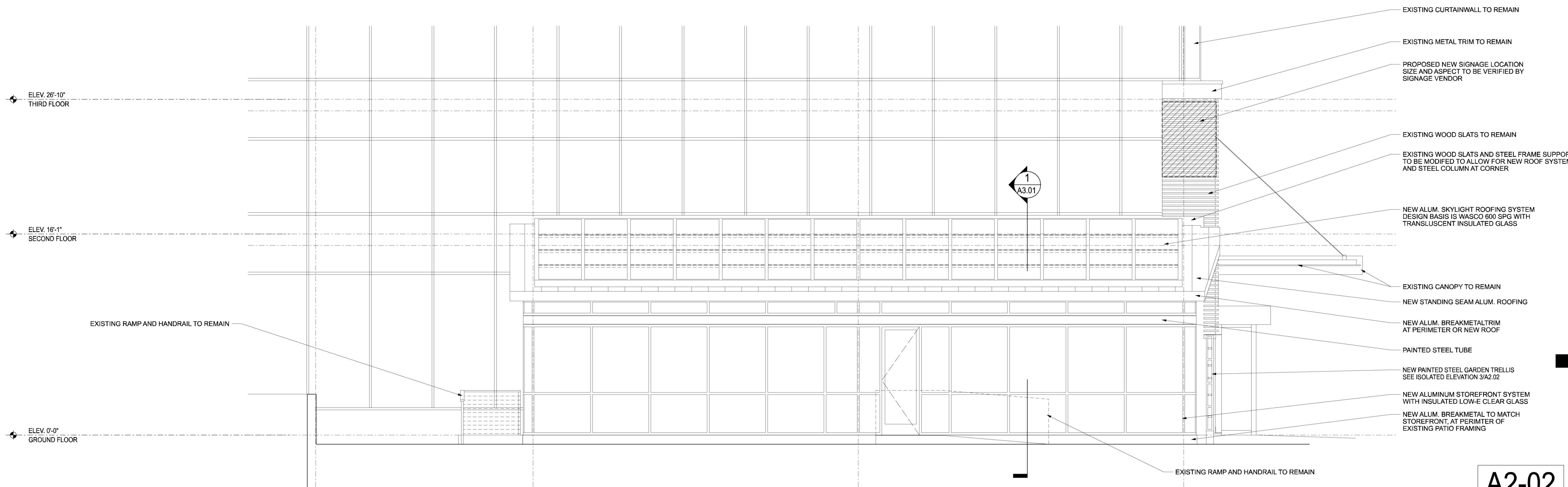
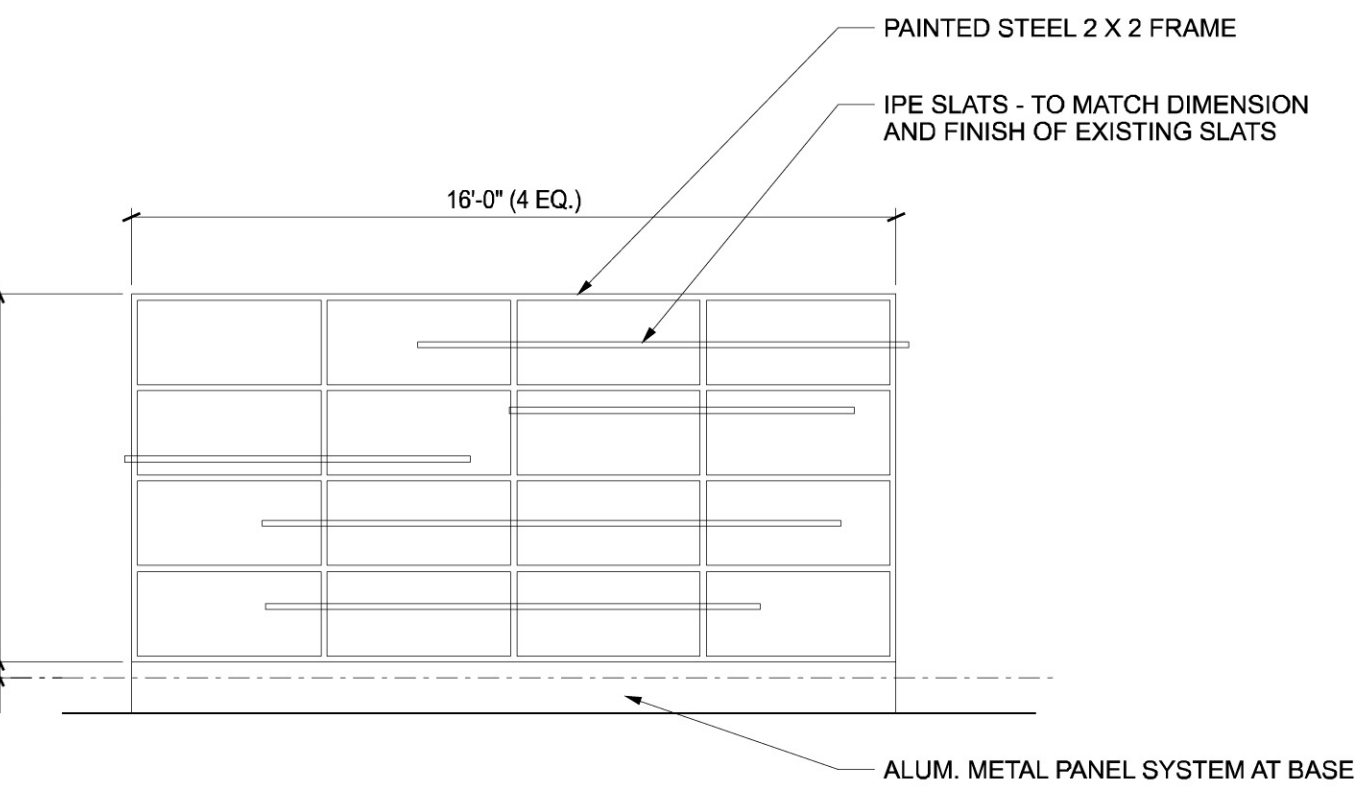
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A2-01
DEMOLITION
EXTERIOR ELEVATIONS
1/4" = 1'-0"



1 PROPOSED - FRONT ELEVATION
A2.02 SCALE: 1/4" = 1'-0"

3 DETAIL ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



2 PROPOSED - SIDE ELEVATION
A2.02 SCALE: 1/4" = 1'-0"

A2-02
PROPOSED
EXTERIOR ELEVATIONS
1/4" = 1'-0"

ISSUES

12.31.20	LANDLORD SET

Olympus - Buckhead
3379 Peachtree Road NE
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ELEV. 26'-10"
THIRD FLOOR

ELEV. 16'-1"
SECOND FLOOR

ELEV. 0'-0"
GROUND FLOOR

NEW SKYLIGHT ROOF PANEL SYSTEM
BASIS OF DESIGN - WASCO 600SPG
WITH TRANSLUCENT INSULATED GLASS

NEW STANDING SEAM METAL ROOFING

NEW ALUM. BREAK METAL TRIM
WITH CONT. HEMMED EDGE AT
PERIMETER OF NEW ROOF

NEW ALUM. STOREFRONT SYSTEM WITH
INSULATED LOW E CLEAR GLAZING

PAINTED STEEL STRUCTURE AT PERIMETER
1 HR RATED, TYP.

NEW ALUM. STOREFRONT SYSTEM WITH
INSULATED LOW E CLEAR GLAZING

NEW PAINTED STEEL STRUCTURAL COLUMN
1 HR RATED, TYP.

NEW ALUM. BREAK METAL TRIM
WITH CONT. HEMMED EDGE AT
PERIMETER OF EXISTING DECK

EXISTING PTD. STL. RAILING

EXISTING CONCRETE RAILING

EXISTING CONCRETE COLUMN BEYOND

EXISTING CONCRETE RAILING

EXISTING CURTAINWALL SYSTEM TO REMAIN

NEW ALUM. BREAKMETAL CLOSURE
ATTACHED TO FACE OF EXIST.
CURTAINWALL MULLION COVER

NEW DECORATIVE PTD. STEEL
BEAMS FOR PLANT SUPPORT

NEW FLOOR FINISH OVER EXISTING
DECK - SEE FINISH SCHEDULE

2
A3.02

1
A3.02

EXISTING CONCRETE SLAB

NEW PAINTED STEEL STRUCTURAL BEAMS
1 HR RATED, TYP. FOR ALL NEW STRUCTURE

EXISTING CURTAINWALL SYSTEM TO REMAIN

NEW PAINTED STEEL STRUCTURAL COLUMN
1 HR RATED, TYP.

EXISTING STEEL BRACING AT COLUMN BEYOND

EXISTING CONCRETE COLUMN BEYOND

ISSUES	
12.31.20	LANDLORD SET

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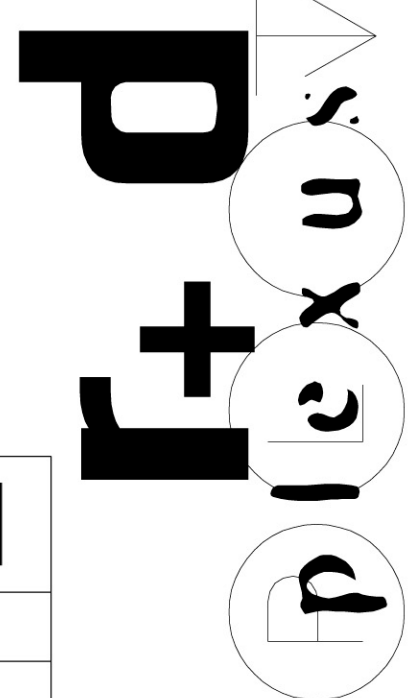
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A3-01
SECTION
1/2" = 1'-0"

1
A3.01 PROPOSED - BUILDING SECTION
SCALE: 1/2" = 1'-0"

ISSUES	
12.31.20	LANDLORD SET

Olympus - Buckhead

3379 Peachtree Road NE
Atlanta, GA 30326

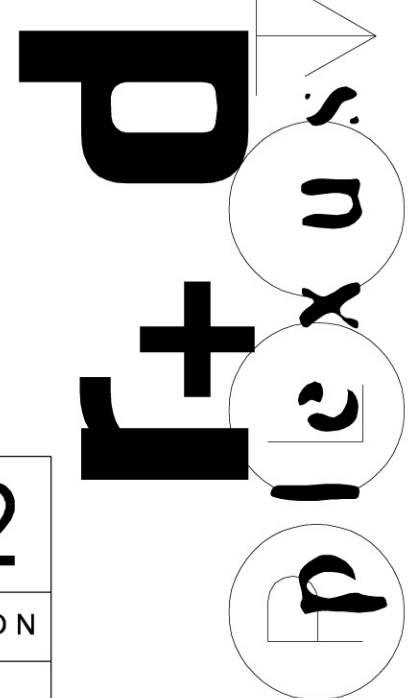
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ISSUED FOR CONSTRUCTION

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Atlanta, Georgia 30307
404.660.6022

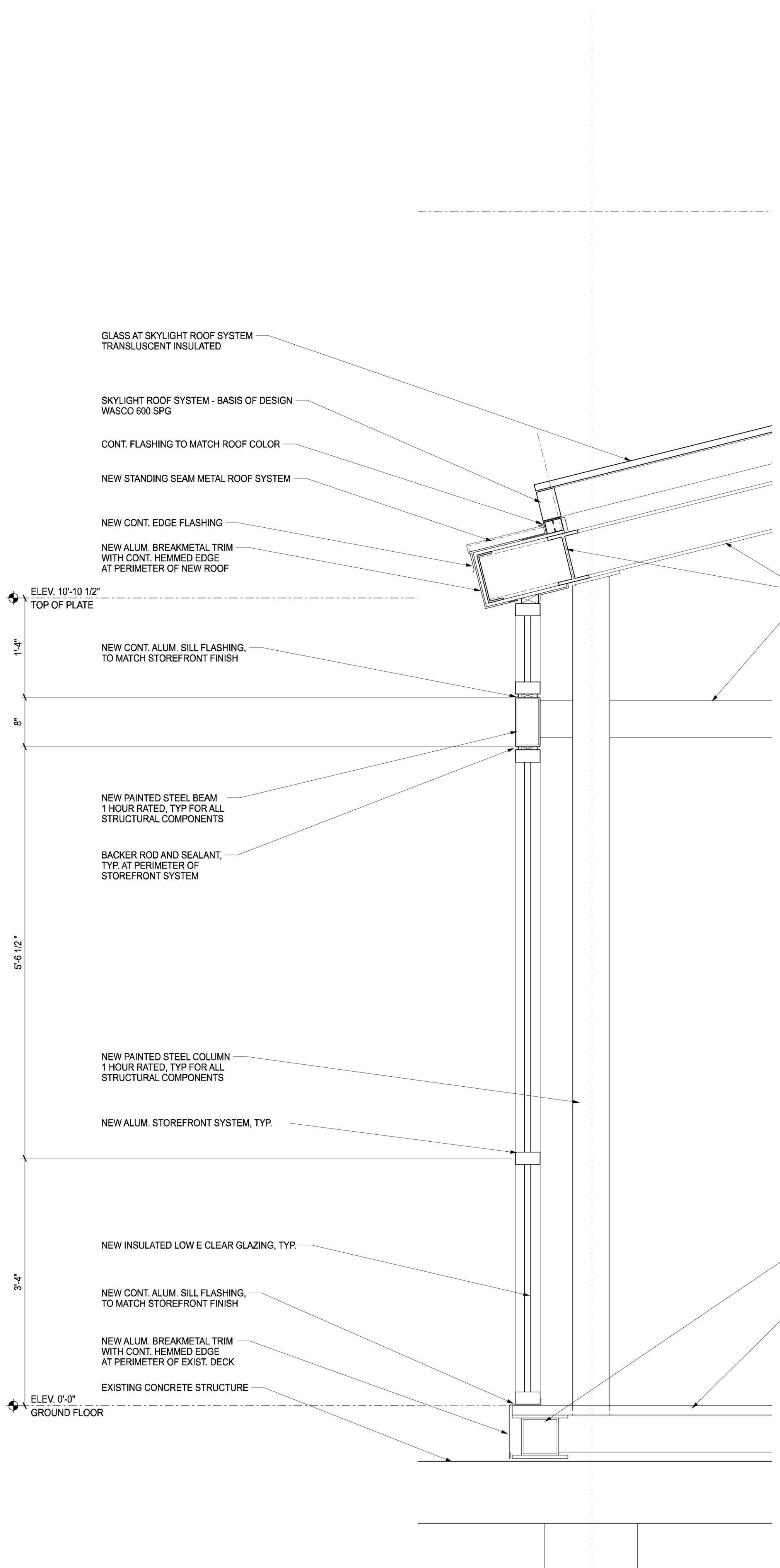
M.E.P. & F.P.
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CIVIL

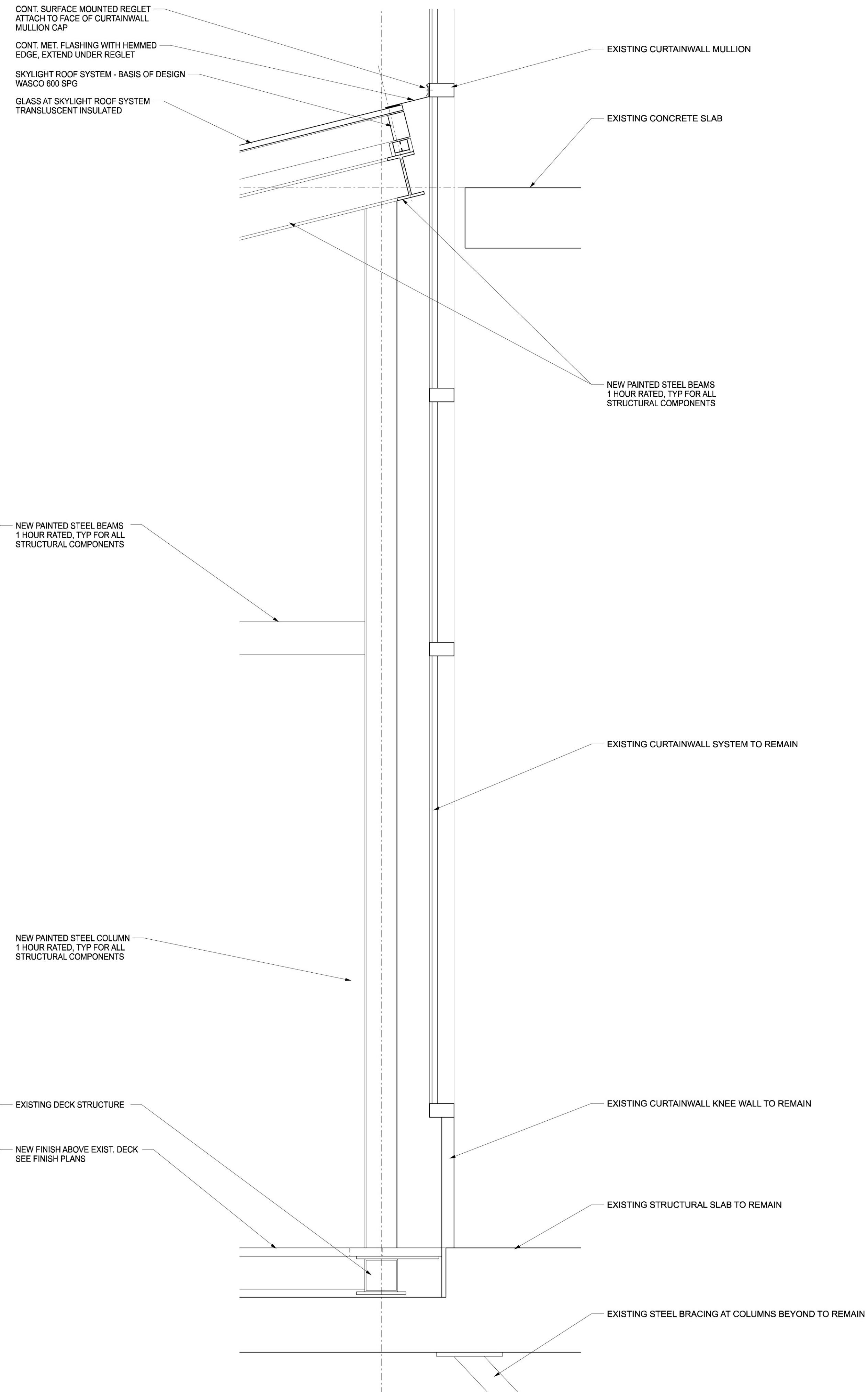


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1 PROPOSED - WALL SECTION
A3.02 SCALE: 1" = 1'-0"



2 PROPOSED - WALL SECTION
A3.02 SCALE: 1" = 1'-0"

A3-02
WALL SECTION
1" = 1'-0"





