

BUCKHEAD PLACE MULTI-FAMILY

01/29/2021







STRONG HORIZONTAL
BALCONY EXPRESSION

UNDULATING
ROOFLINE



SITE DATA CHART

ZONING:
 SP1-9 (BUCKHEAD COMMUNITY IMPROVEMENT DISTRICT)
 SUB AREA 4. CONDITIONS OF ZONING Z-07-109 ALSO APPLY
 PIEDMONT ROAD - TYPE 2 ROAD
 MAPLE DRIVE NE - PRIVATE DRIVE

USE:
 MULTI-FAMILY RESIDENTIAL DEVELOPMENT

GROSS LOT AREA:
 13.99 ACRES (608,854 S.F.)

NET LOT AREA:
 13.00 ACRES (566,097 S.F.)

DEVELOPED AREA:
 MASTER UNIT 2 & 3
 2.16 ACRES (93,926 S.F.)

SETBACKS:
 7' AMENITY ZONE
 10' SIDEWALK ZONE
 5' SUPPLEMENTAL ZONE ALONG PIEDMONT ROAD
 25' MAXIMUM BUILDING SETBACK
 N/A REAR YARD
 N/A SIDE YARD
 N/A TRANSITIONAL YARD

DENSITY:
 MULTI-FAMILY RESIDENTIAL (NET XXX,XXX S.F.)
 DWELLING UNITS PROVIDED: XXX UNITS
UNIT MATRIX:
 35 STUDIOS
 185 ONE BEDROOM
 55 TWO BEDROOMS
 15 THREE BEDROOMS

BULK LIMITATIONS:
 MAX. BUILDING HEIGHT ALLOWED: 225 FT.
 PROVIDED: 80 FT
 MAX. FLOOR AREA RATIO (FAR): 1.2 * GLA = 730,622 S.F.

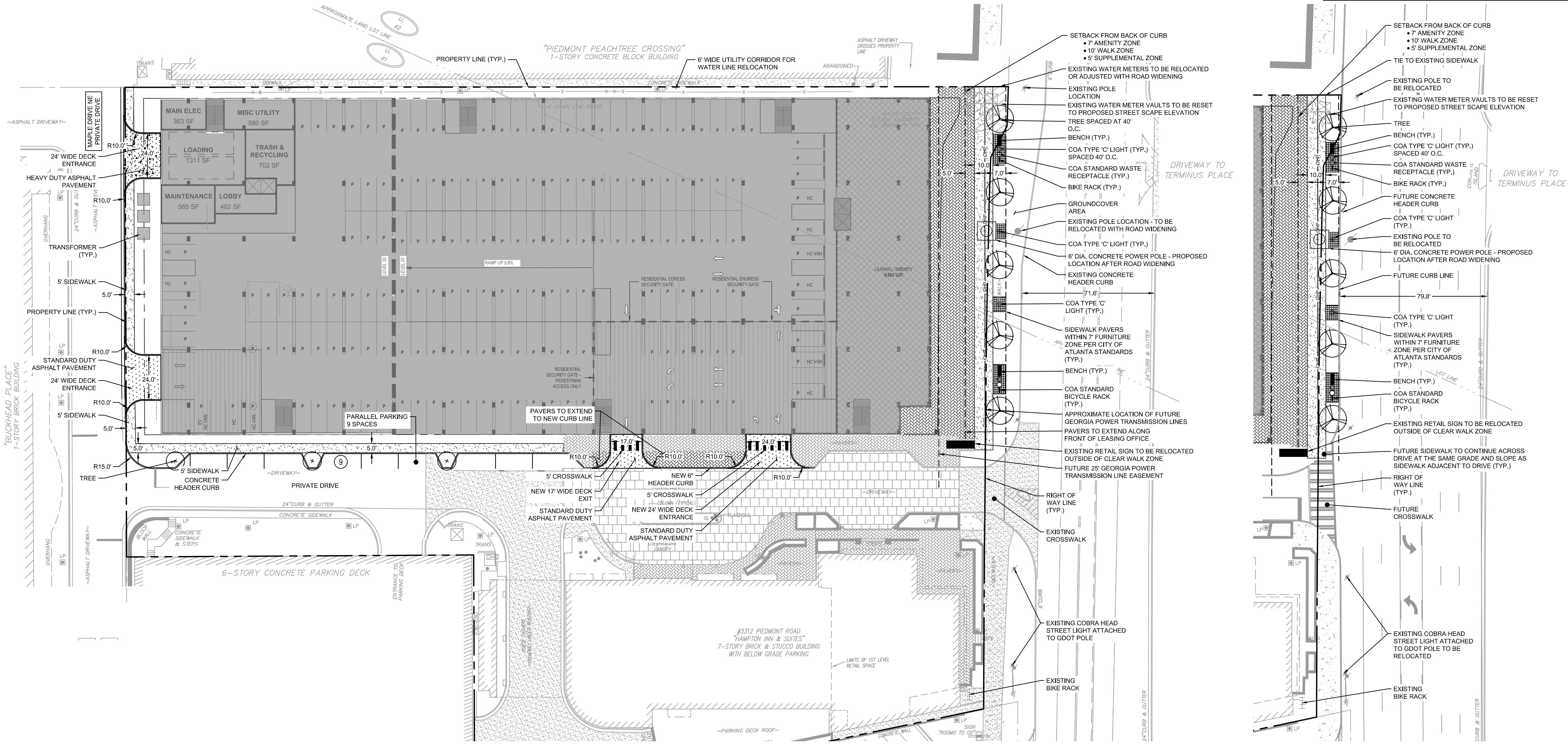
CITY OF ATLANTA NOTES

1. THE STREET FURNITURE AND TREE PLANTING ZONE WILL HAVE BENCHES, LANDSCAPING, TRASH RECEPTACLES AND OTHER PEDESTRIAN FRIENDLY AMENITIES.
2. ALL INTERNAL SIDEWALKS WILL CONNECT TO EXISTING AND PROPOSED STREET SIDEWALKS.
3. BICYCLE RACKS WILL BE PROVIDED AT KEY LOCATIONS.
4. TREE PLANTING SHALL BE 40' ON CENTER.
5. MIN. 1.0 FOOTCANDLE LIGHTING THROUGHOUT PARKING FACILITY

PLAN LEGEND:

- PROPERTY LINE
- [Pattern] SIDEWALK PAVERS
- [Pattern] STANDARD DUTY ASPHALT PAVEMENT
- [Pattern] HEAVY DUTY ASPHALT PAVEMENT
- [Pattern] BRICK PAVERS
- [Pattern] STANDARD DUTY CONCRETE SIDEWALK
- COA TYPE 'C' PEDESTRIAN LIGHT
- COA STANDARD WASTE RECEPTACLE
- COA STANDARD BICYCLE RACK
- COA STANDARD BENCH

01/29/2021



SITE PLAN

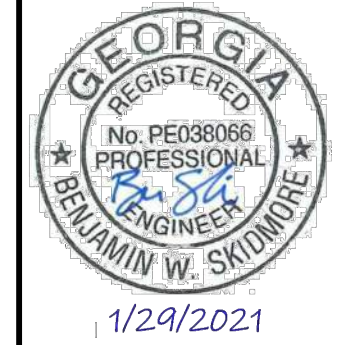
**FUTURE PIEDMONT ROAD WIDENING
 GDOT P.I. #0015000**

Kimley-Horn
 CONSULTING ENGINEERS AND ARCHITECTS, INC.
 817 W. PEACHTREE STREET, NW
 ATLANTA, GEORGIA 30308
 PHONE: (404) 419-9700
 WWW.KIMLEY-HORN.COM

BHP MARKET NORTH
 LLC
 3715 NORTHSIDE PARKWAY, SUITE 400-100
 ATLANTA, GA 30327
 PHONE: 678.298.4071

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

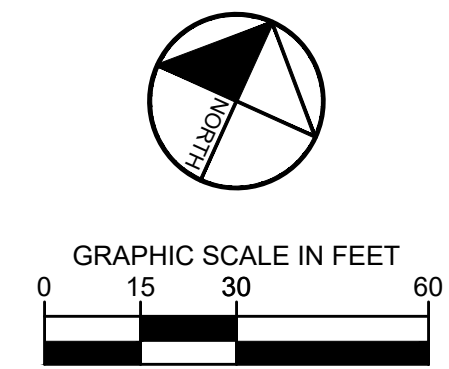
BUCKHEAD PLACE
 3242 PIEDMONT ROAD, ATLANTA, GA
 LAND LOT 61 & 62, 17TH DISTRICT



GSWCC NO. (LEVEL II) 0000077807
 DRAWN BY HED
 DESIGNED BY
 REVIEWED BY MCP
 DATE 12/21/2020
 PROJECT NO. 019986004

TITLE
SAP SITE PLAN
 SHEET NUMBER
SAP-1

Drawing name: K:\AMT_CIVIL\0120095034_ALTA Buckhead\CAD\Plansheets\C2-00_SAP SITE PLAN.dwg C2-00_SAP SITE PLAN Jan 28, 2021 4:29pm by Daniel Kerr

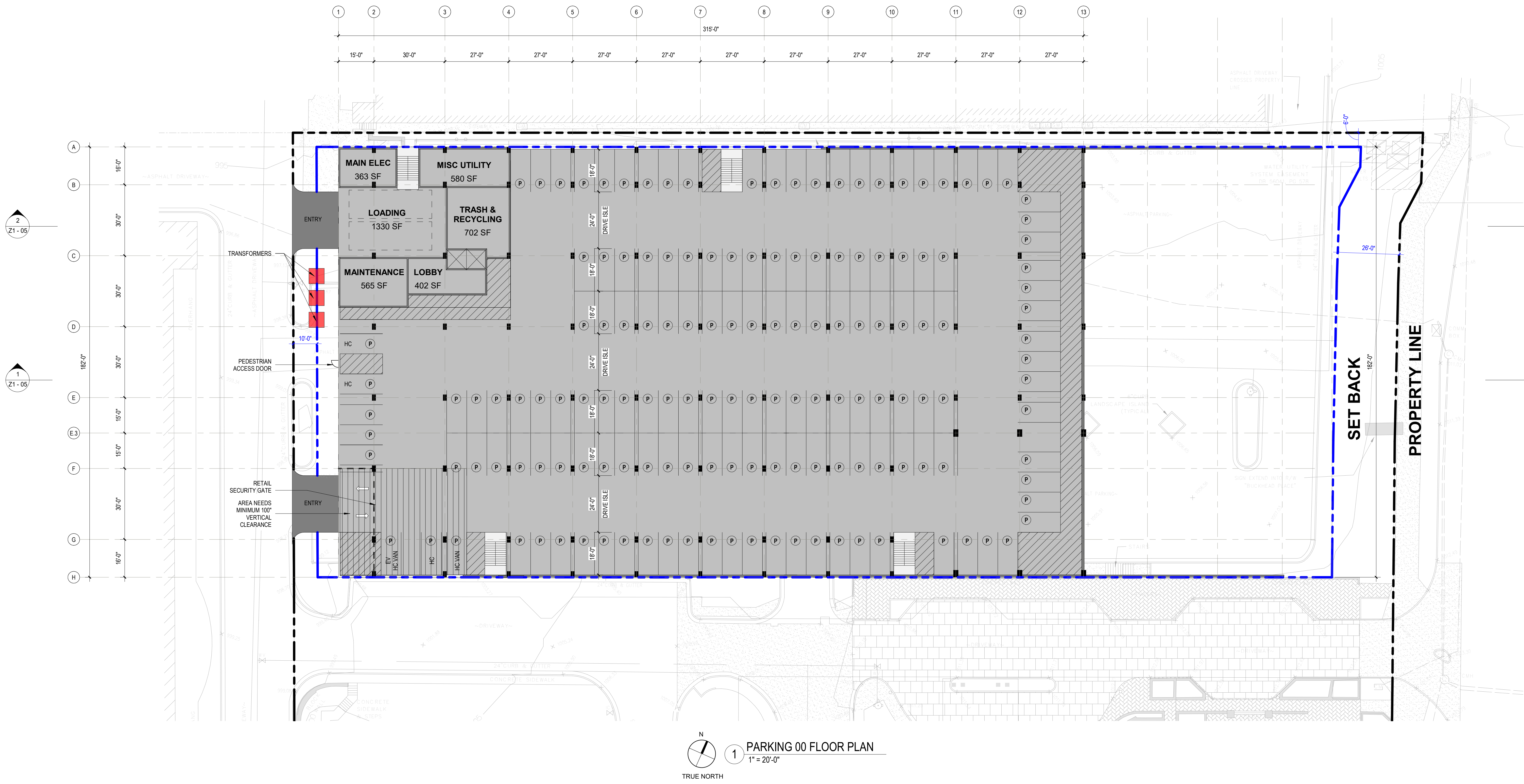


This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

LEVEL	REG SPACE	HC SPACE	HC VAN SPACE	TOTAL
LEVEL 00	146 SPACES	3 SPACES	2 SPACES	151 SPACES
LEVEL 01 + RAMP TO 02*	198 SPACES	7 SPACES	2 SPACES	207 SPACES
LEVEL 02	163 SPACES	6 SPACES	1 SPACES	170 SPACES
TOTAL	507 SPACES	16 SPACES	5 SPACES	528 SPACES

REQUIRED:
 RETAIL: 150 SPACES
 RESIDENTIAL: 377 REQUIRED SPACES
 * (1.3 SPACES * 290 UNITS)
TOTAL : 527 REQUIRED SPACES

*SPACES ON THIS LEVEL OUTSIDE GATE: 13 REG, 1 HC VAN, 1 VAN.
 SPACES BEHIND GATE (RESIDENT): 194 REG, 6 HC, 1 HC VAN.



1 PARKING 00 FLOOR PLAN
 1" = 20'-0"
 TRUE NORTH

REVISIONS

NO	ISSUED FOR	DATE

PROJECT NAME
BUCKHEAD PLACE

ADDRESS
**3314 PIEDMONT ROAD
 ATLANTA, GA
 OWNER**

WOOD PARTNERS

SHEET NAME
PARKING 00 FLOOR PLAN

© 2018 Brock Hudgins Architects, LLC

PROJ. NUMBER
20117

DATE
01/29/2021

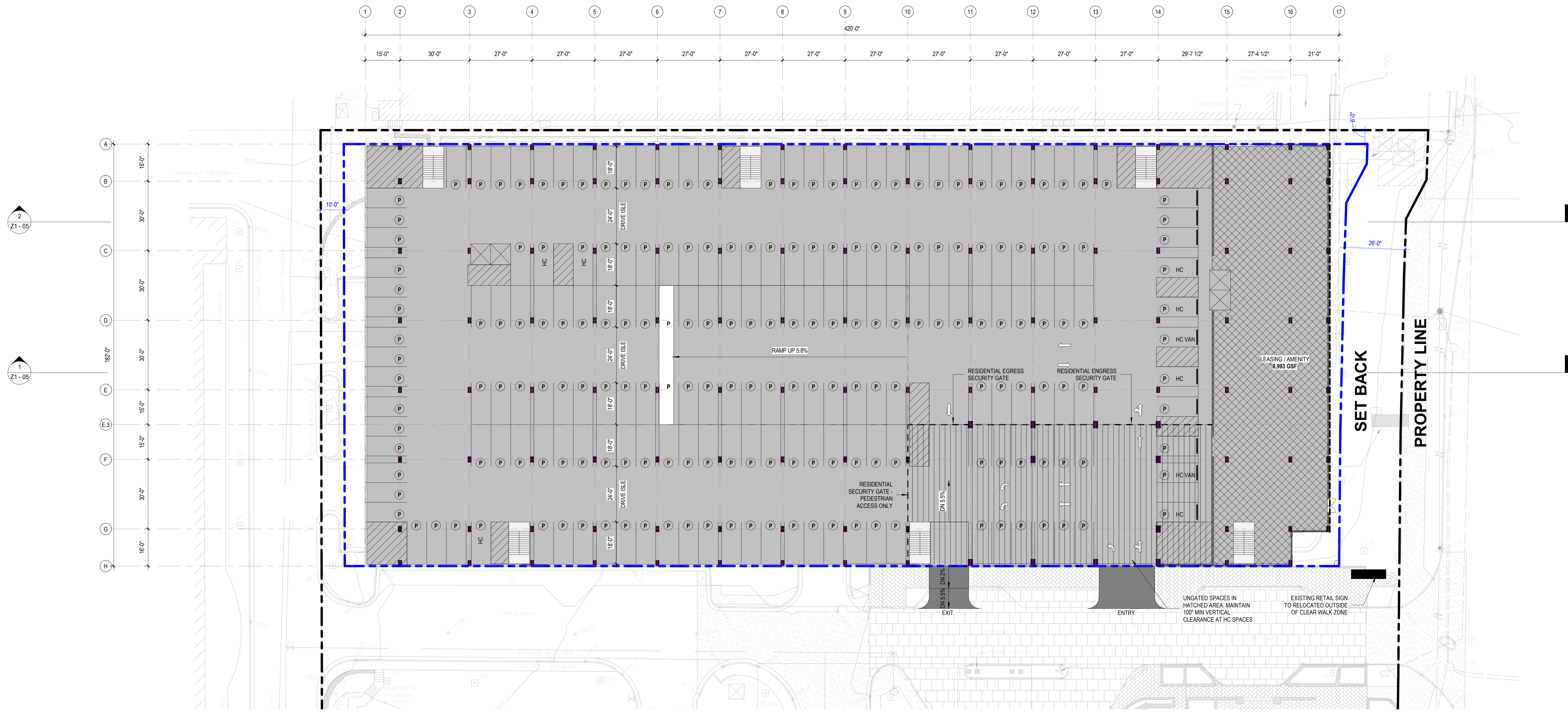
SHEET

Z1 - 00

NOT ISSUED FOR CONSTRUCTION

LEVEL	REG SPACE	HC SPACE	HC VAN SPACE	TOTAL
LEVEL 00	146 SPACES	3 SPACES	2 SPACES	151 SPACES
LEVEL 01 + RAMP TO 02*	198 SPACES	7 SPACES	2 SPACES	207 SPACES
LEVEL 02	163 SPACES	6 SPACES	1 SPACES	170 SPACES
TOTAL	507 SPACES	16 SPACES	5 SPACES	528 SPACES

REQUIRED:
 RETAIL: 150 SPACES
 RESIDENTIAL: 377 REQUIRED SPACES
 * (1.3 SPACES * 290 UNITS)
TOTAL : 527 REQUIRED SPACES
 *SPACES ON THIS LEVEL OUTSIDE GATE: 13 REG, 1 HC VAN, 1 VAN.
 SPACES BEHIND GATE (RESIDENT): 194 REG, 6 HC, 1 HC VAN.



1 PARKING 01 FLOOR PLAN
 1" = 20'-0"
 TRUE NORTH

REVISIONS

NO	ISSUED FOR	DATE

PROJECT NAME
BUCKHEAD PLACE

ADDRESS
**3314 PIEDMONT ROAD
 ATLANTA, GA
 OWNER**

WOOD PARTNERS

SHEET NAME
PARKING 01 FLOOR PLAN

© 2018 Brock Hudgins Architects, LLC

PROJ. NUMBER
20117

DATE
01/29/2021

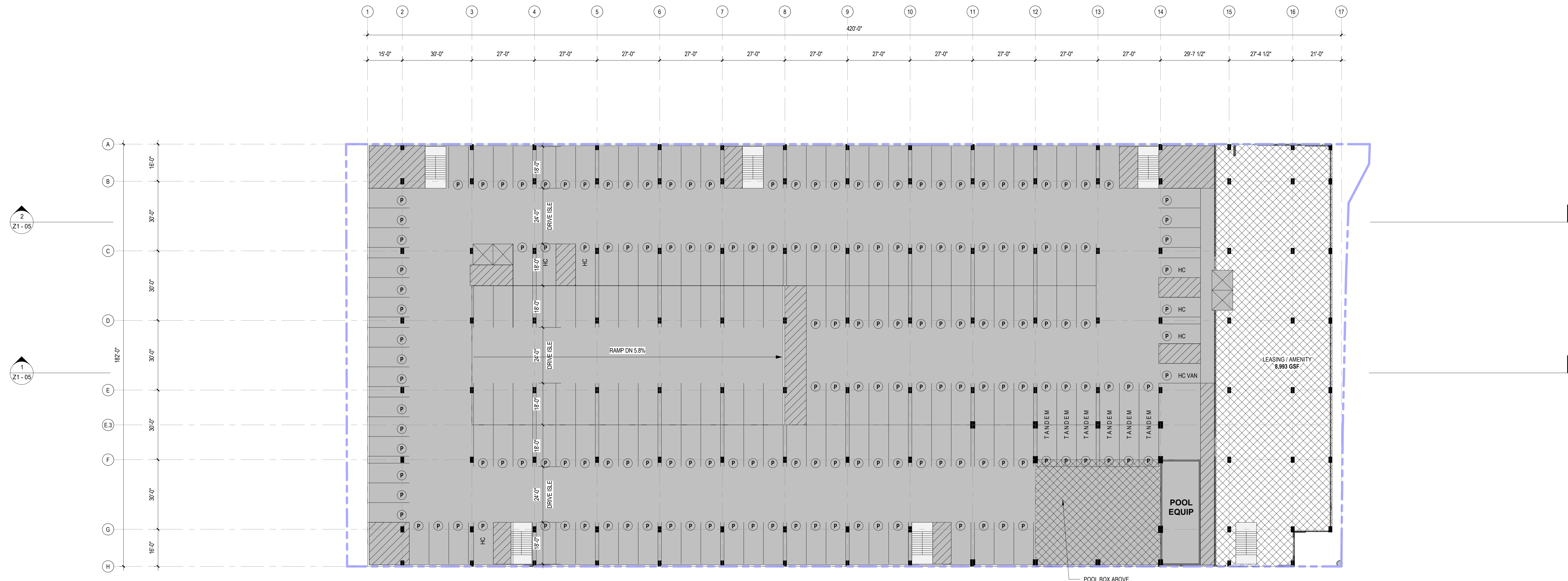
SHEET

Z1 - 01

NOT ISSUED FOR CONSTRUCTION

LEVEL	REG SPACE	HC SPACE	HC VAN SPACE	TOTAL
LEVEL 00	146 SPACES	3 SPACES	2 SPACES	151 SPACES
LEVEL 01 + RAMP TO 02*	198 SPACES	7 SPACES	2 SPACES	207 SPACES
LEVEL 02	163 SPACES	6 SPACES	1 SPACES	170 SPACES
TOTAL	507 SPACES	16 SPACES	5 SPACES	528 SPACES

REQUIRED:
 RETAIL: 150 SPACES
 RESIDENTIAL: 377 REQUIRED SPACES
 * (1.3 SPACES * 290 UNITS)
TOTAL: 527 REQUIRED SPACES
 *SPACES ON THIS LEVEL OUTSIDE GATE: 13 REG, 1 HC VAN, 1 VAN.
 SPACES BEHIND GATE (RESIDENT): 194 REG, 6 HC, 1 HC VAN.



1 PARKING 02 FLOOR PLAN
 1" = 20'-0"
 TRUE NORTH

REVISIONS

NO	ISSUED FOR	DATE

PROJECT NAME
BUCKHEAD PLACE

ADDRESS
**3314 PIEDMONT ROAD
 ATLANTA, GA
 OWNER**

WOOD PARTNERS

SHEET NAME
PARKING 02 FLOOR PLAN

© 2018 Brock Hudgins Architects, LLC

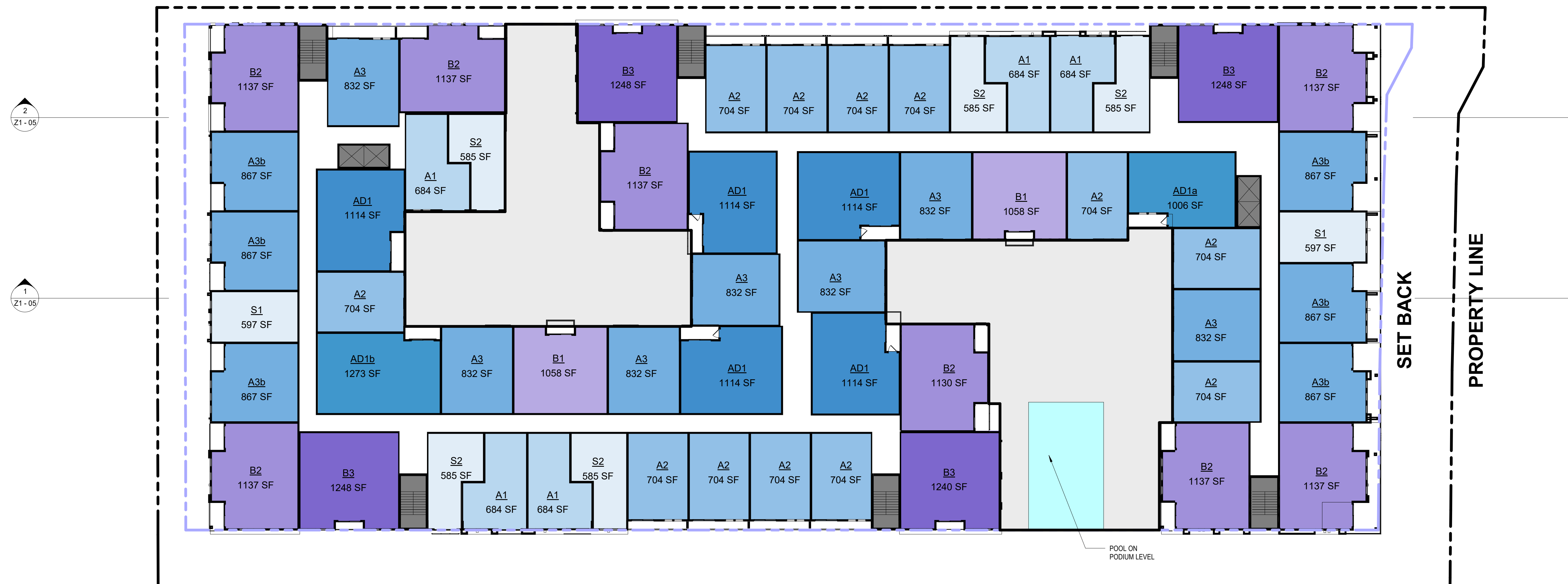
PROJ. NUMBER
20117

DATE
01/29/2021

SHEET

Z1 - 02

NOT ISSUED FOR CONSTRUCTION



1 TYPICAL RESIDENTIAL LEVEL
1" = 20'-0"
TRUE NORTH

REVISIONS		
NO	ISSUED FOR	DATE

PROJECT NAME
BUCKHEAD PLACE

ADDRESS
**3314 PIEDMONT ROAD
ATLANTA, GA**
OWNER

WOOD PARTNERS

SHEET NAME
TYPICAL FLOOR PLAN

© 2018 Brock Hudgins Architects, LLC

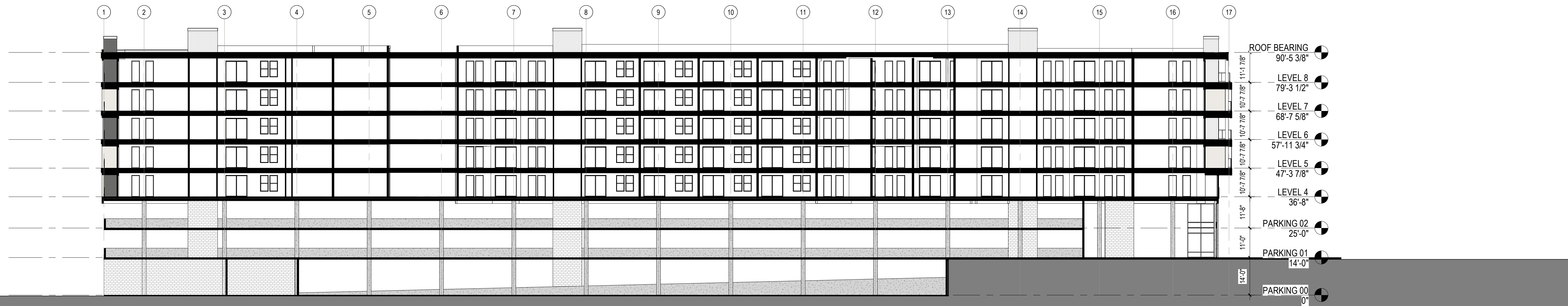
PROJ. NUMBER
20117

DATE
01/29/2021

SHEET

Z1 - 03

NOT ISSUED FOR CONSTRUCTION



2 SECTION THRU DECK
1" = 20'-0"



1 SECTION THRU RAMP
1" = 20'-0"

REVISIONS		
NO	ISSUED FOR	DATE

PROJECT NAME
BUCKHEAD PLACE

ADDRESS
**3314 PIEDMONT ROAD
ATLANTA, GA
OWNER**

WOOD PARTNERS

SHEET NAME
BUILDING SECTIONS

© 2018 Brock Hudgins Architects, LLC

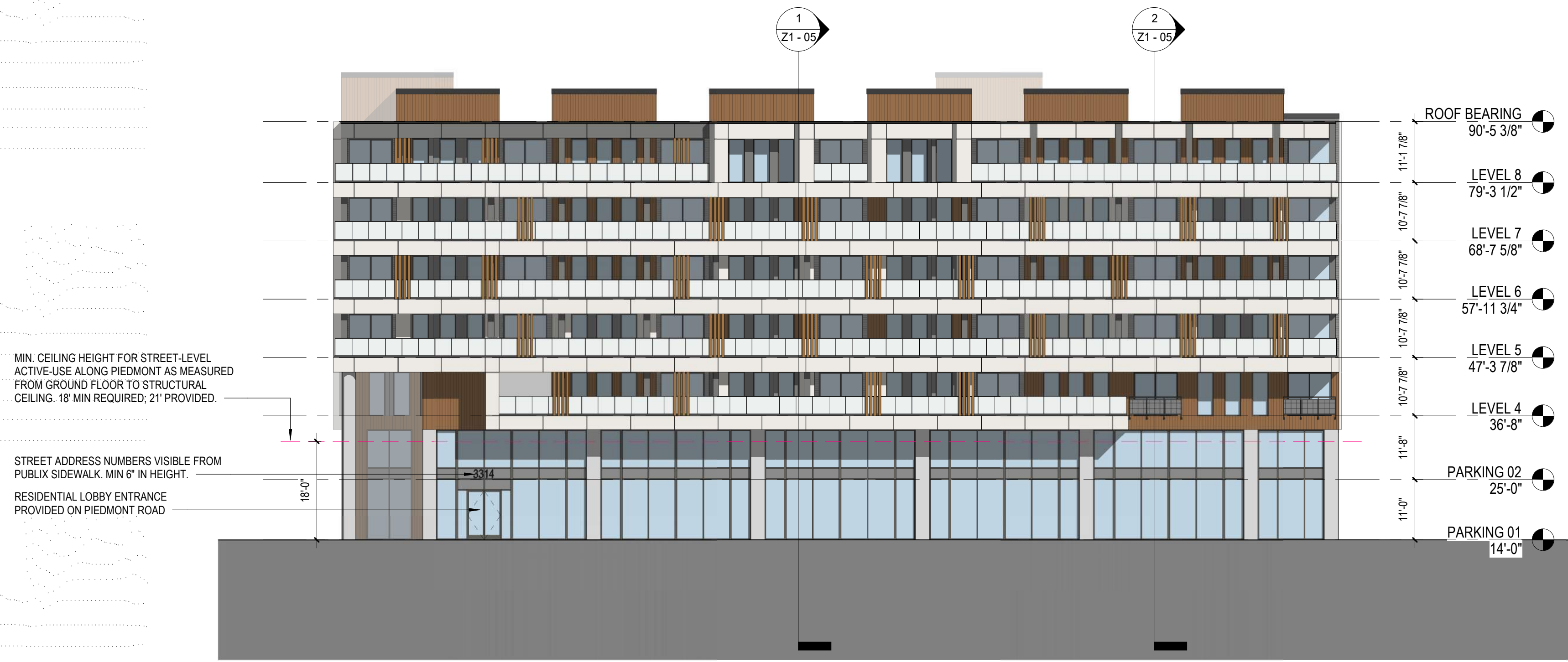
PROJ. NUMBER
20117

DATE
01/29/2021

SHEET

Z1 - 05

NOT ISSUED FOR CONSTRUCTION



4 EAST ELEVATION (PIEDMONT ROAD)
1/16" = 1'-0"



3 WEST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

REVISIONS

NO.	ISSUED FOR	DATE

PROJECT NAME
BUCKHEAD PLACE

ADDRESS
**3314 PIEDMONT ROAD
ATLANTA, GA**
OWNER

WOOD PARTNERS

SHEET NAME
OVERALL BUILDING ELEVATIONS

© 2018 Brock Hudgins Architects, LLC

PROJ. NUMBER
20117

DATE
01/29/2021

SHEET

Z1 - 06

NOT ISSUED FOR CONSTRUCTION