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Date: 05.14.2020

Project Name: SAVI Provisions - AMLI Lenox

Location: AMLI Lenox  
3478 Lakeside Drive NE, Suite A  
Atlanta, GA 30326

To: City of Atlanta : Office of Zoning & Development  
55 Trinity Avenue, Suite 3350  
Atlanta, GA 30303

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To whom it may concern:

The Project Summary for the project referenced above is as follows:

- Note: This project's scope of work shall be limited to the existing patio extent / boundaries set forth by tenant's landlord. Interior work is not included in project scope of work and is to be submitted under a separate permit by others at a future date. Exterior work is to include the following:
  - o Remove and relocate existing side entry storefront door and prepare to re-use & relocate per architectural drawings. Patch opening at old storefront door location with new storefront glazed panel(s) to match existing. Re-work existing storefront if/as needed to accommodate new door location. Reference door detail and schedule on sheet A1.1.
  - o Provide new covered steel-frame pergola at exterior patio. Prepare to provide & install electrical and plumbing connections and fixtures at exterior pergola per architectural drawings.
  - o New Beer Tap Wall millwork & cabinets at covered pergola area to be provided by Beer Tap Wall vendor and installed by TGC per architectural drawings.
  - o Provide new tenant logo sign(s) at exterior locations per plans. T.G.C. shall coordinate w/ sign manufacturer and landlord prior to fabrication and installation. Signage shop drawings to be submitted under a separate submittal by others prior to fabrication and installation.
  - o Provide and install built-in bench seating for 8x people along interior side of existing patio perimeter wall per architectural drawings.
  - o Provide and install digital TV menu boards on Beer Tap millwork at locations shown per plans. This may include adding blocking to millwork / walls to support wall-mounted menu boards.
  - o Extend existing gas line from interior of tenant space to covered pergola ceiling for future ceiling mounted gas heaters.

Sincerely,

*Taylor A. Pitelka*  
Taylor A. Pitelka, Architect



**APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)**  
**For SPI, Beltline, LW, MR, MRC, NC, I-Mix Zoning Districts & Unified Development Plans**  
 City of Atlanta, Office of Zoning and Development (404-330-6145)

File No.: **SAP-20-056**

**APPLICANT (name)** Patti Wallis

**ADDRESS** 3780 Meetings St, Duluth, GA 30096

**PHONE NO.** 678-357-7439 **EMAIL** pwallis@psi-atl-ga.us

**PROPERTY LANDOWNER** PPF Amli Oak Valley Road, LLC

**ADDRESS** 309 E. Paces Ferry Rd, Suite 400, Atlanta, GA 30305

**PHONE NO.** 404-591-6387 **EMAIL** sweinstock@weinstockrd.com

**ADDRESS OF PROPERTY** 3478 Lakeside Drive

**Land District** 17 **Land Lot** 9 **Council District** 7 **NPU** B

Is property within the BeltLine Overlay District? Yes  No  **Zoning Classification** SPI-12 SA2

Is Inclusionary Zoning applicable to this project? Yes  No  Is this a Unified Development Plan? Yes  No

Department of City Planning  
**RECEIVED**  
**DATE:** 05/19/2020

**Submittal Checklist (See detailed checklist on page 2):**

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit one (1) copy. Lot consolidation, re-platting or subdivision may be required prior to approval of SAP.
- Site Plan (released for construction and sealed) and Building Elevations:**
  - a. **Initial Submission:** One(1) site plan & One (1) set of elevations.
  - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form (page 4).
- Notice to Applicant:** Submit attached form with signature and date (page 10).
- Development Controls Specification Form:** Provide the applicable information (pages 7 - 9). No changes to existing site

**Fees (non-refundable):** Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.  Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000.  Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

**I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

**Date** 05/19/2020 **Signature of Applicant** Patricia Wallis

Digitally signed by Patricia Wallis  
 Date: 2020.05.19 06:35:38 -04'00'

**Additional Submittal Requirements (as applicable):**

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Review and complete pages 11-12 of this SAP for certification forms.
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Applicant must send a copy of the filed SAP application to the NPU contact. Afterwards, complete the Notarized Affidavit of NPU Notification form (page 6), and provide a copy of U.S. Postal Service Certificate of Mailing. The NPU has up to 21 days to review the SAP and forward comments to the City.
- **Pre-application Conference with Zoning and Development Staff (prior to SAP submittal):** Required only for the Beltline, but *recommended* for all other districts. To request this meeting contact Krishana Newton at 404-330-6065 or [knewton@atlantaga.gov](mailto:knewton@atlantaga.gov).
- **Development Review Committee (DRC):** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review (See page 3).
- **Development of Regional Impact (DRI) Study:** Mixed-use developments with at least 700,000 s.f. or residential with at least 700 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
  - **Initial submission:** DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is REQUIRED for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: [www.atlantawatershed.org/greeninfrastructure](http://www.atlantawatershed.org/greeninfrastructure)
- **Unified Development Plans:** Applicable to all zoning districts except R-1 to R-5, RLC, PD, & historic bldgs/districts (Section 16-28.030)

The City Code provides that Zoning and Development Director shall review each request for an SAP within 30 days of a filing of a **completed\*** application. (Atlanta Code Chapter 16, Section 16-25). \* **Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.**

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was  **approved** or  **denied** on \_\_\_\_\_

See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Submission Checklist

The following checklist is designed to assist those in preparing required materials for SPI, Beltline Overlay, NC, LW, MRC, and MR districts. **Items omitted will delay applicant's review process.** The following items are required as part of a complete application for a Special Administrative Permit. **NPU Notification and DRC review, as applicable, are required as a part of a completed SAP application.** Please note: \* FINAL APPROVED SAP PLANS ARE REQUIRED WITH THE PERMIT APPLICATION SUBMITTAL TO THE OFFICE OF BUILDINGS.

- 1. **SAP Application Form and Property Landowner Authorization Form:** completed with notarized signatures.
- 2. **Notice to Applicant Form:** with signature and date.
- 3. **Project Summary:** Provide cover letter clearly describing all new construction, alterations, repairs or other changes to the exterior appearance of existing structures or site. **Any administrative variations ARE REQUIRED to be accompanied by a written justification for each variation requested.**
- 4. **Property Survey:** One (1) copy of survey (for new single-family and duplex construction, show existing footprints of principal structures on adjoining lots fronting the same street).
- 5. **Site Plan** (drawn to scale, released and sealed for construction) of proposed improvements showing items listed below\*. **Initial Submission:** One (1) copy for initial staff review.  
**Final Submission (after staff review): One (1) copy.**
  - a) Date, north arrow, and graphic scale.
  - b) Adjacent streets, with street names, property lines and dimensions, and easements.
  - c) Existing conditions to remain: identify all overhead utility poles, transformers, above ground storm water detention areas and inlets.
  - d) Proposed new installations: Identify the number, type and location of new street lights, transformers, AC units and other similar mechanical/accessory equipment at or above grade. Identify such items in the public right-of-way which final approval by Department of Public Works or GDOT is required.
  - e) Specify location and widths for all Sidewalks (street furniture and clear zones) and Supplemental Zones.
  - f) Ground floor layout plan with building and tenant entrances also shown
  - g) Street-front ground floor façade fenestration – vertical/horizontal window dimensions and % of façade length
  - h) Outdoor dining – seating plan, dimensions, and % of business establishment floor area
  - i) Height of structures (including fences/walls)
  - j) Parking, driveway and curb cut layout and dimensions (auto, truck loading, & bicycle/moped)
  - k) Location of parking deck light fixtures. Also indicate amount of foot-candles, and type of light fixture
  - l) Landscape plan: Planting locations including street trees (with tree species and calipers indicated), parking lot and other on-site landscaped areas (with the dimensions and percentage of lot calculated).
  - m) Provide Developmental Control Specification Form (pages 6-8) information on the site plan.
    - Zoning Classification, Net Lot Area & Gross Land Area, Floor Area Ratio (FAR), square footage of structures & individual uses, etc.
- 6. **Rooftop plan** when counted towards open space requirements.
- 7. **Elevations of building facades:** One (1) copy for initial staff review. **Final Submission: One (1) copy.**
- 8. **Section drawing(s)** as needed showing required sidewalks, supplemental zones (with retaining walls), and building façade & finished floor-level dimensioned within 5 feet above the adjacent sidewalk-level.
- 9. **DRI conditions of approval, rezoning legislation, variance or special exception letters** printed on site plan.
- 10. **Transportation Management Plan/Association Membership (where applicable)** required based on the zoning district. See specific zoning regulations for confirmation.
- 11. **Beltline Overly District, NC-2, NC-6, NC-10, NC-11, NC-12, and NC-14** properties:
  - Mail a copy of the submitted SAP application & drawings stamped received by the Office of Zoning and Development to the NPU contact person.
  - Submit a copy of U.S. Postal Service Certificate of Mailing and Notarized Affidavit of NPU Notification (page 5) as soon as possible to complete the application submission and begin the SAP review period.
- 12. **Photographs (buildings/site):** Show existing conditions for alterations to existing building facades and/or site modifications.
- 13. **Shared Off-site Parking:** Requests for approval of off-site parking submit materials on Shared Off-site Parking checklist.
- 14. **Other information** necessary for the SAP as requested by staff.

City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
**DEVELOPMENT/DESIGN REVIEW COMMITTEES (DRC)**

**\*\*CHECK FOR APPLICABILITY\*\* Beltline Overlay and Special Public Interest (SPI) Districts**

File # \_\_\_\_\_

Development / Design Review Committees (DRC) have been established as an advisory group for the purpose of providing to the Director of the Office of Zoning and Development formal recommendations/comments on Special Administrative Permit (SAP) applications within the Beltline Overlay and particular SPI zoning districts. Applicants are required to make a presentation of their project to the applicable DRC committee. DRC review is required as part of a completed SAP application.

Each DRC shall consist of committee members representing the corresponding district stakeholders including: property owner(s), business owner(s) or resident(s), and applicable neighborhood organization(s), among others.

The DRC convenes monthly (or as needed) to comment on SAP applications within a particular district. Each DRC shall provide recommendations to the Office of Zoning and Development Staff and the applicant within 7 business days, unless the applicant is requested to return to the applicable DRC and/or present to respective neighborhood organization(s), or

**DRC Committees (established by City Council Resolution)**

- SPI-1 Downtown (2007)
- SPI-9 Buckhead Village (2010)
- SPI-12 Buckhead/Lenox Stations (2012)
- SPI-15 Lindbergh (2001)
- SPI-16 Midtown (2001)
- SPI-17 Piedmont Avenue (2001)
- Beltline Overlay (2015)

**Meeting Dates and Locations**

Downtown SPI-1

Meetings held the 4<sup>th</sup> Thursday morning monthly  
Central Atlanta Progress, 84 Walton Street NW, Suite 500  
Contact Fredalyn Frasier: [Ffrasier@atlantadowntown.com](mailto:Ffrasier@atlantadowntown.com)  
(404) 307-4286

Midtown SPI-16 & Piedmont Avenue SPI-17

Meetings held the 2<sup>nd</sup> Tuesday evening monthly  
Midtown Alliance, 999 Peachtree Street NE, Suite 730  
Contact Ginny Kennedy: [Ginny@midtownalliance.org](mailto:Ginny@midtownalliance.org)  
(404) 892-4782

Buckhead Village SPI-9 & Buckhead/Lenox SPI-12

Meeting held 1<sup>st</sup> Wednesday afternoon monthly  
BATMA, 3340 Peachtree Road NE  
Tower Place Bld. 100, Suite 1515  
Contact Denise Starling: [Denise@batma.org](mailto:Denise@batma.org)  
(404) 842-2680

Beltline Overlay

Meeting held the 3<sup>rd</sup> Wednesday evening monthly  
Atlanta Beltline Inc.  
100 Peachtree Street NW, Suite 2300  
Contact Lynnette Reid: [LReid@atlbeltline.org](mailto:LReid@atlbeltline.org)  
(404) 477-3551

Lindbergh SPI-15: Meetings coordinated by City of Atlanta Zoning and Development Staff: (404) 330-6145.

**Application Submittal and Review Process**

- 1) Pre-application meeting with Office of Zoning and Development staff. To arrange pre-application meeting, contact Krishanna Newton at 404-330-6065 or [knewton@atlantaga.gov](mailto:knewton@atlantaga.gov).
- 2) Notify the applicable DRC contact (as listed above) to arrange placement on the next scheduled DRC meeting agenda.

**DRC Submittal Requirements**

- 1) Written summary of proposed scope of work (include applicable project information such as total square footage, # and breakout of residential units, and square footage of each commercial use, building height, parking and loading provided, etc.).
- 2) Identification of all administrative variations requested and written justification for each requested.
- 3) PDF Digital drawings (to-scale) of site plans and building elevations as applicable to the scope of work.
- 4) Photographs of the existing property.
- 5) Contact DRC representative to e-mail project information (prior to meeting) and confirm DRC meeting date and time.
- 6) At the DRC meeting:
  - a. Provide hardcopies of cover letter and drawings (in 11"x17" size) for distribution to each committee member.
  - b. Provide drawings on boards for project presentation to committee members or digital PowerPoint presentation (coordinate with DRC representative on the latter).

**Committee Review Responsibilities**

- 1) Make recommendations on project concerning zoning requirements and administrative variations requested.
- 2) Make other design recommendations for consideration concerning an application. Note: these other recommendations are not code requirements.





City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Notarized Authorization by Property Land Owner

File # SAP-20-056

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administrative Permit

I, <sup>PPF</sup> Amu oak valley Road, LLC SWEAR THAT I AM THE LANDOWNER  
owner(s) name

OF THE PROPERTY LOCATED AT: 3478 Lakeside Drive

AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA WHICH IS  
 THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED  
 BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Patti Wallis

ADDRESS: 3780 Meeting St, Duluth, GA 30096

TELEPHONE: 678-357-7439

EMAIL: pwallis@psi-atl-ga.us

*[Handwritten Signature]*

Signature of Property Landowner

Ann Evans Hirst

Print Name of Property Landowner

Personally Appeared  
 Before Me

Gabriel-Lino

Who Swears That The  
 Information Contained  
 In this Authorization  
 Is True and Correct  
 To The Best of His or Her  
 Knowledge and Belief.



Gabriel Lino  
 State of Florida  
 My Commission Expires 03/15/2024  
 Commission No. GG 969221

*[Handwritten Signature]*

Signature of Notary Public

5/15/2020

Date



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Development Controls Specifications (Required)

File # **SAP-20-056**

\*Developmental Controls forms are required to be completed by the applicant, and all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

<b>Definitions and Methods of Calculation</b>						
<ul style="list-style-type: none"> <li><u>Net Lot Area (NLA)</u> = length of property line X width of property line</li> <li><u>GLA for corner lots</u> = (NLA) + [(street "A" right-of-way width ÷2) X (street "A" length of property line)] + [(street "B" right-of-way width ÷2) X (street "B" length of property line)] + [(street "A" right-of-way width ÷2) X (street "B" right-of-way width ÷2)]</li> <li><u>GLA (with only one front yard adjacent to street)</u> = (NLA) + [(street right-of-way width ÷2) X (length of front property line)]</li> <li>GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width.</li> <li>GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts.</li> <li><u>Building Lot Coverage provided</u> = (net lot area minus area of building footprint) ÷ (net lot area)</li> </ul>						
<b>Lot Size (in square footage)</b>						
Gross Land Area (GLA)		No changes to existing				
Net Lot Area (NLA)						
<b>Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input checked="" type="checkbox"/> GLA, or <input type="checkbox"/> NLA</b>						
	Residential FAR Ratio	Residential Square Footage		Non-Residential FAR Ratio	Non-Residential Square Footage	
Base Allowed						
<b>Base Provided</b>						
Bonus Allowed						
<b>Bonus Provided</b>						
<b>Bonus FAR Program (check bonus utilized if applicable)</b>						
Transit Station <input checked="" type="checkbox"/>	Ground Floor Retail <input checked="" type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>		Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>	
<b>Residential Units</b>				<b>Total Provided: _____</b>		
Number of Units Provided (without bonus)						
Number of Bonus Units Provided (without workforce housing)						
Number of Bonus Workforce Housing Units Provided (20% required)						
Total Number of Units per Acre						
<b>Building Coverage <input checked="" type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)</b>						
	Percentage (%)			Square Footage		
Max. Permitted						
Provided						
<b>Fenestration (% of each street-fronting facade calculated separately, per district regulations)</b>						
	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)		
	Local Street	Arterial/Collector	Beltline Corridor	Local Street	Arterial/Collector	Beltline Corridor
Min. Required						
Provided (specify for each street)						



**Residential Open Space Requirements** (refer to Chapter 28 for clarification)

<b>Definitions and Methods of Calculation</b>		
<ul style="list-style-type: none"> <li>• <b>LUI</b> = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations)</li> <li>• <b>TOSR</b> are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides.               <ul style="list-style-type: none"> <li>○ TOSR required = (LUI table) X (GLA).</li> <li>○ TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces).</li> </ul> </li> <li>• <b>UOSR</b> requirements are calculated using the residential FAR (of the <u>corresponding net lot or GLA lot sized used to calculate FAR</u>) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations.               <ul style="list-style-type: none"> <li>○ UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR).</li> <li>○ If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way).</li> </ul> </li> </ul>		
<b>TOSR: Total Open Space Requirements for Residential Only Projects</b>		
<i>(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)</i>		
	Ratio	Total Square Footage
Minimum Required		
Provided		
<b>Square Footage breakout of UNCOVERED TOSR amount provided by the following:</b>		
	GLA minus building square footage	
	Open exterior balconies (per Section 16-28 or district regs)	
	Roof area improved as recreation space	
<b>Square Footage breakout of COVERED TOSR amount provided by the following:</b>		
	Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
<b>UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments</b>		
<i>(These are areas not counted towards Public Space Requirements)</i>		
	Ratio	Total Square Footage
Minimum Required	No changes to existing	
Provided		
<b>Square Footage Breakdown of UOSR amounts provided by the following:</b>		
	Balconies	
	Rooftop Terraces	
	Landscaped Areas and Plazas	
	Portions of Sidewalks on Private Property	
	Portions of Landscaped Areas in Right-of-way adjacent to Property	



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Development Controls Specifications (Required)

File # **SAP-20-056**

**Non-Residential Public Space Requirements** (refer to Chapter 28 for clarification)

<b>PSR: Public Space Requirements for Non-residential &amp; Mixed-use Developments</b>		
<i>(These are areas not counted towards UOSR)</i>		
<b>Public Space provided</b> = (square footage area of exterior space) + (square footage area of interior space)		
	Percentage (%)	Total Square Footage
Minimum Required	No changes to existing	
Provided		
<b>Square Footage Breakdown of PSR amounts provided by the following:</b>		
<b>EXTERIOR</b> (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)		
<b>INTERIOR</b> (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		

**Parking and Loading Requirements** (refer to district regulations and Chapter 28 for clarification)

<b>Residential Unit Breakout</b>				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
<b>On-site Parking Spaces</b>	<b>Residential</b>		<b>Non-residential Uses</b>	
Minimum Required				
Provided				
Maximum Allowed				
<b>Bicycle Parking Spaces</b>	<b>Residential</b>		<b>Non-residential Uses</b>	
Minimum Required				
Provided				
<b>On-site Loading Spaces</b> (see applicable zoning district requirements or Section 16-028.015)				
	<b>Residential/Hotel</b>		<b>Non-residential Uses (break out by use)</b>	
Minimum Required (specify for each use)				
Provided (specify for each use)				





City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Notice to Applicant

File # **SAP-20-056**

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

**It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted.** The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Patti Wallis

Applicant Printed Name

Patricia Wallis Digitally signed by Patricia Wallis  
Date: 2020.05.19 06:42:29 -04'00'

Applicant Signature

05/19/2020

Date





Existing conditions





SAP-20-056

Existing conditions





SAP-20-056

Existing conditions





SAP-20-056

Existing conditions



**GENERAL NOTES**

- GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS AND STRUCTURAL LOCATIONS AT THE JOBSITE, AND BE RESPONSIBLE FOR THE PROPER FITTING OF WORK THERETO. REPORT ANY DISCREPANCIES TO THE ARCHITECT AND TO THE TENANT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- WORK SHALL CONFORM TO APPLICABLE LOCAL CODES AND TO LANDLORD'S REQUIREMENTS, INCLUDING TENANT'S EXECUTED LEASE AND CONSTRUCTION EXHIBITS.
- G.C. SHALL ERECT AND REMOVE TEMPORARY STOREFRONT BARRICADE AS REQUIRED. REMOVAL OF BARRICADE IS TO OCCUR ONLY AFTER APPROVAL IS RECEIVED FROM LANDLORD. VERIFY ALL REQUIREMENTS WITH LANDLORD PRIOR TO CONSTRUCTION. PRIOR TO COMMENCEMENT OF ANY DEMOLITION, LOCATE, PROTECT AND PRESERVE ALL LANDLORD'S EXISTING ELECTRICAL AND MECHANICAL SYSTEMS WITHIN THE SPACE.
- SECURE AND PAY FOR ALL PERMITS, TEMPORARY UTILITIES, AND CARRY LIABILITY INSURANCE AS REQUIRED BY THE FRANCHISEE & L.L.
- THE CONTRACT FOR CONSTRUCTION SHALL BE BETWEEN THE G.C. AND THE TENANT. IN ITS ADVISORY CAPACITY, MANDARIN HOLDINGS LP ASSUME NO LIABILITY UNDER THE AGREEMENT, OR ON BEHALF OF ANY OTHER SUBCONTRACTOR.
- PRIOR TO THE START OF CONSTRUCTION, G.C. SHALL PROVIDE PERFORMANCE, LABOR AND MATERIAL PAYMENT BOND AND GENERAL LIABILITY INSURANCE AS REQUIRED. G.C. SHALL PROVIDE A COPY OF WORKERS COMPENSATION INSURANCE CERTIFICATE TO MANDARIN HOLDINGS LP IN ADDITION TO PERFORMANCE BOND AND GENERAL LIABILITY INSURANCE PRIOR TO COMMENCEMENT OF WORK.
- CHANGE ORDERS, IF ANY, SHALL BE WRITTEN AND AGREED TO BY THE G.C., THE TENANT, LANDLORD AND THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY CHANGES IN THE WORK.
- DEMISING METAL WALL STUDS ARE EXISTING TO REMAIN. G.C. SHALL PROVIDE ONE LAYER 5/8" TYPE "X" FIRE CODING (MINIMUM) AND SEALED TO DECK PER UL DESIGN #465, INCLUDING TENANT'S SIDE OF BULKHEAD, IF NOT EXISTING.
- TYPICAL INTERIOR PARTITIONS SHALL BE 3-5/8" METAL STUDS TO CEILING AT 16" O.C. WITH BRACING TO STRUCTURE AT 48" O.C. MAX. AS REQUIRED. PROVIDE 5/8" GYPSUM BOARD EACH SIDE.
- ANY FLOOR PENETRATIONS MUST BE CORE BORED, SLEEVED, GROUTED AND MADE WATERPROOF. COORDINATE ALL FLOOR PENETRATIONS WITH LANDLORD. G.C. SHALL BE RESPONSIBLE FOR FULL DIRECT AND INDIRECT COSTS TO REPAIR ANY DAMAGE DUE TO, OR ARISING OUT OF TENANT'S CONSTRUCTION WORK.
- ALL FLOOR FINISHES, E.G., RESILIENT TILE, TILE PAVERS OR MALL TILE, SHALL BE LEVEL AND FLUSH AT INTERSECTIONS. PROVIDE TAPERED THRESHOLD AT ANY TRANSITIONS. DO NOT USE THRESHOLDS OR TRANSITION DEVICES AT INTERSECTION OF MALL & STORE FLOORING.
- NON-COMBUSTIBLE MATERIALS ONLY ARE PERMITTED ABOVE CEILING.
- G.C. SHALL BE RESPONSIBLE FOR PROTECTING THE NEUTRAL FIRE EXTINGUISHER(S), THE NEUTRAL BAND, AND THE MALL FLOORING DURING CONSTRUCTION.
- G.C. SHALL COORDINATE INSTALLATION OF SIGNS WITH CONSTRUCTION OF SOFFIT FRAMING TO ENSURE ACCESS TO BULKHEAD FOR SIGN OR TRANSFORMER INSTALLATIONS.
- IF ANY ROOF PENETRATIONS ARE REQUIRED, G.C. SHALL EMPLOY AND PAY FOR LANDLORD'S ROOFING CONTRACTOR TO PERFORM THE CUTTING AND REINFORCING, AND FLASHING OF ROOF OPENINGS, IF ANY.
- IF ANY FIRE SPRINKLER, FIRE ALARM AND/OR FIRE RETARDANT WORK IS TO BE DONE, G.C. SHALL EMPLOY AND PAY FOR LANDLORD'S APPROVED CONTRACTOR TO PERFORM THE WORK.
- G.C. SHALL PROVIDE TO TENANT AND TO LANDLORD A MINIMUM ONE-YEAR WARRANTY, NAMING BOTH FRANCHISEE AND LANDLORD, AGAINST DEFECTS IN WORKMANSHIP, MATERIALS AND EQUIPMENT.
- PRIOR TO THE ANTICIPATED SHIPPING DATE, G.C. SHALL VERIFY WITH THE TENANT THE NAME AND PHONE NUMBER OF THE TRUCKING COMPANY WHICH WILL DELIVER EQUIPMENT FROM THE EQUIPMENT SUPPLIER INTO THE SPACE.
- G.C. SHALL PROVIDE TO THE LANDLORD AS-BUILT DRAWINGS FOR THE HVAC AND THE PLUMBING SYSTEMS INCLUDING ANY AND ALL MODIFICATIONS TO THE DRAWINGS.
- G.C. SHALL CERTIFY THAT NO ASBESTOS CONTAINING MATERIALS (ACMS) WERE USED IN THE CONSTRUCTION OF THE PREMISES.
- G.C. SHALL OBTAIN ALL REQUIRED INSPECTIONS, AND SECURE ALL OFFICIAL APPROVALS OF WORK PERFORMED. THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION AND CERTIFICATE OF OCCUPANCY TO THE TENANT UPON COMPLETION OF THE WORK.
- G.C. SHALL OBTAIN LIEN WAIVERS FROM ALL SUBCONTRACTORS OR SUPPLIERS WHO HAVE A CONTRACT WITH G.C. OR PROVIDE SERVICES OR SUPPLIES, AND SHALL DELIVER LIEN WAIVERS AND G.C.'S LIEN WAIVER TO TENANT WITH EACH PAY REQUEST.
- PROPERLY SEAL ALL FLOORS, WALLS AND CEILINGS AROUND DUCTS, PIPES AND CABLES TO PREVENT VERMIN HARBORAGE. SEAL ALL GAPS, CRACKS, JOINTS AND OPENINGS GREATER THAN 1/4" WIDE WITH PAINTABLE CAULK. USE BACKER ROD BEHIND CAULK WHERE JOINTS EXCEED 1/4". PAINT TO MATCH ADJOINING SURFACES. SEAL ALL FLOOR-MOUNTED EQUIPMENT TO FLOOR UNLESS EQUIPMENT IS MOUNTED ON LEGS AT LEAST 6" HIGH.
- G.C. SHALL BE RESPONSIBLE FOR ALL FINISH WORK UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ALL PAINTING REQUIRED SHALL BE THREE-COAT SEMI-GLOSS ENAMEL UNLESS OTHERWISE INDICATED IN THE DRAWINGS. FOLLOWING THE INSTALLATION OF CONTRACTOR SUPPLIED CABINETS, THE CONTRACTOR SHALL PROVIDE FACINGS AND COVERINGS INDICATED.
- AT THE COMPLETION OF THE WORK, G.C. SHALL FURNISH TO THE ARCHITECT, ONE SET OF DRAWINGS MARKED IN RED WHERE CHANGES WERE MADE TO THE DRAWINGS, WHERE SUGGESTIONS OR COMMENTS MIGHT HAVE IMPROVED OR CLARIFIED THE DOCUMENTS, OR WHERE FUTURE DETAILS ON FUTURE SETS OF DOCUMENTS COULD BE IMPROVED. THESE ARE FOR THE ARCHITECT'S ON-GOING DOCUMENT QUALITY ENHANCEMENT PROGRAM.
- PROVIDE MINIMUM OF ONE, MAXIMUM OF TWO (2A RATING) FIRE EXTINGUISHER(S), TO COMPLY WITH REQUIREMENTS OF THE NFPA, THE LOCAL FIRE DEPARTMENT, AND THE LANDLORD'S INSURANCE COMPANY.

**SCOPE OF WORK**

- PROJECT DESCRIPTION: SEE ATTACHED SCOPE OF WORK LETTER
- PROVIDE NEW COVERED PERGOLA AT EXTERIOR PATIO. REFERENCE STRUCTURAL DRAWINGS FOR MORE INFORMATION. PREPARE TO PROVIDE & INSTALL ELECTRICAL, PLUMBING, etc. AT EXTERIOR PERGOLA PER ARCHITECTURAL DRAWINGS.
- EXISTING STOREFRONT SYSTEM(S) AND ALUMINUM & GLASS ENTRY DOORS TO REMAIN TO THE GREATEST EXTENT POSSIBLE. T.G.C. SHALL REMOVE EXISTING SIDE ENTRY STOREFRONT DOOR AND PREPARE TO RE-USE & RELOCATE PER ARCHITECTURAL DRAWINGS. RE-WORK EXISTING STOREFRONT IF/AS NEEDED TO ACCOMMODATE NEW DOOR LOCATION.

**ABBREVIATIONS**

AL.	ALUMINUM ABOVE FINISHED FLOOR	MATL.	MATERIAL
A.F.F.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
BD.	BUILDING	MD.	MEDIUM DENSITY FIBER BOARD
BLDG.	BUILDING	MECH.	MECHANICAL
BRG.	BLOCKING BEARING	MIN.	MINIMUM
CAB.	CABINET	MIR.	MIRROR
CLG.	CEILING	MISC.	MISCELLANEOUS
CONC.	CONCRETE	MO.	MASONRY OPENING
CONSTR.	CONSTRUCTION	MTL.	METAL
CONT.	CONTINUOUS OR CONTINUE	N.I.C.	NOT IN CONTRACT
CPT.	CARPETTED	NOM.	NOMINAL
CT.	COUNTER	NTS.	NOT TO SCALE
C.T.	CERAMIC TILE	OA.	OVERALL
C.J.	CONTROL JOINT	OPNG.	OPENING
C.O.	CASED OPENING	OPR.	OPPOSITE
DA.	DIAMETER	ON CENTER	ON CENTER
DM.	DIAMENSION	P.L.	PLASTIC LAMINATE
DSP.	DISPENSER	PLAM.	PLASTIC LAMINATE
DN.	DOWN	PR.	PAIR
DR.	DRIVE	PT.	PAINT
DS.	DOWNSPOUT	PW.D.	PRESSURE TREATED PLYWOOD
DTL.	DETAIL	QT.	QUARRY TILE
DWG.	DRAWING	RA.	RETURN AIR
DWR.	DRAWER	RE.	REFERENCE / REFER TO
EA.	EDGE	RD.	ROOF DRAIN
ELEC.	ELECTRICAL	REFR.	REFRIGERATOR
EL.	ELEVATION	REFR.	REFRIGERATOR
EMER.	EMERGENCY	REQ.	REQUIRED (D) (ING)
EQUIP.	EQUIPMENT	REQS.	REQUIREMENTS
EQ.	EQUAL	RES.	RESILIENT
EXH.	EXHAUST	RO.	ROUGH OPENING
EXIST.	EXISTING	SCH.	SCHEDULE
EXP.	EXPANSION	SC.	SECTION
EXT.	EXTERIOR	SEC.	SECTION
E.J.	EXPANSION JOINT	S.F.	SQUARE FEET
FA.	FIRE ALARM	SFTG.	SEATING
FD.	FLOOR DRAIN	SH.	SHIELD
FE.	FIRE EXTINGUISHER	SH.	SHIELD
FIN.	FINISHED	SH.	SHIELD
FLR.	FLOORING	SPEC.	SPECIFICATION
FLR.	FLOORING	SPK.	SIMILAR
FOF.	FACE OF FINISH	SO.	SQUARE
FOM.	FACE OF MASONRY	SST.	STAINLESS STEEL
FOS.	FACE OF STUD	STL.	STEEL
FRF.	FIBERGLASS REINFORCED PANEL	STOR.	STORAGE
FT.	FOOTING	SUPP.	SUPPLIER
FT.	FOOT OR FEET	SUSP.	SUSPENDED
FUR.	FURRED	TEL.	TELEPHONE
F.R.	FIRE RESISTANT	TEN.	TENANT OWNER / FRANCHISEE TYPICAL
GALV.	GALVANIZED	T.C.C.	TENANTS CABINET CONTRACTOR
GAU.	GRADE	T.E.C.	TENANT'S ELECTRICAL CONTRACTOR
GD.	GRADE OR GRADING	T.G.C.	TENANTS GENERAL CONTRACTOR
GL.	GLASS	U.N.O.	UNLESS NOTED OTHERWISE
GYP.	GYPSUM	VCT.	VINYL COMPOSITION TILE
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
GWB.	GYPSUM WALL BOARD	VT.	VINYL TILE
HC.	HOLLOW CORE	V.I.F.	VERIFY IN FIELD
HC.	HOLLOW CORE	WC.	WATER CLOSET
HM.	HOLLOW METAL	WD.	WOOD
HORIZ.	HORIZONTAL	WWF.	WELDED WIRE FABRIC
ID.	INSIDE DIAMETER	W.	WITH
INST.	INSTALLER	W/O.	WITHOUT
INSUL.	INSULATION		
INT.	INTERIOR		
JT.	JOINT		
LAM.	LAMINATE		
LAV.	LAVATORY		
LL.	LANDLORD		

**DRAWING SYMBOL KEY**

- DOOR NUMBER (SEE DOOR SCHEDULE)
- REVISION TAG (SEE PROJECT TRACKING)
- REVISION CLOUD (DENOTES AREA OR ITEM ON DRAWING AFFECTED BY REVISION)
- (ITEM DENOTED) ELEVATION MARK (ELEVATION OF ITEM)
- DETAIL REFERENCE TAG
- WALL SECTION REFERENCE TAG
- INTERIOR ELEVATION REFERENCE TAGS

**PROJECT DATA**

- APPLICABLE CODES:
- 2018 INTERNATIONAL BUILDING CODE w/ STATE OF GEORGIA AMENDMENTS (2020)
  - 2018 INTERNATIONAL PLUMBING CODE w/ STATE OF GEORGIA AMENDMENTS (2020)
  - 2018 INTERNATIONAL MECHANICAL CODE w/ STATE OF GEORGIA AMENDMENTS (2020)
  - 2018 INTERNATIONAL FUEL GAS CODE w/ STATE OF GEORGIA AMENDMENTS (2020)
  - 2018 INTERNATIONAL FIRE CODE w/ STATE OF GEORGIA AMENDMENTS (2020)
  - 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/ STATE OF GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
  - 2017 NFPA 70: NATIONAL ELECTRIC CODE (NEC)
  - 2018 NFPA 101 LIFE SAFETY CODE w/ STATE OF GEORGIA AMENDMENTS (2020)
  - 2010 ADA ACCESSIBILITY CODE

<b>SHELL BUILDING SUMMARY:</b>	
CONSTRUCTION TYPE:	I-A
OCCUPANCY CLASSIFICATION:	ASSEMBLY, A-2
FIRE SEPARATION:	2-HR (VERTICAL SHAFTS)
SPRINKLERS:	1-HR (TENANT SEPARATION)
FIRE ALARM:	YES (NFPA13)
<b>TENANT SPACE SUMMARY:</b>	
CONSTRUCTION TYPE:	I-A
OCCUPANCY CLASSIFICATION:	MERCANTILE, 'M'
FIRE SEPARATION:	1-HR MIN.
SPRINKLERS:	YES (NFPA13)
FIRE ALARM:	YES (AUTOMATIC)
MAX. TRAVEL DISTANCE:	250' (SPRINKLERED)
TOTAL LEASED AREA (PER LANDLORD):	3,127 S.F. + 11,124 S.F. (Patio)
TOTAL OCCUPANCY:	Retail = 1,625 / 30 = 55 persons Queuing = 50 / 5 = 10 persons Kitchen = 350 / 200 = 2 persons Assembly = 1,124 / 15 = 75 persons (Exterior Patio)
OCCUPANT LOAD:	Storage = 1,075 / 300 = 4 persons (Mezzanine, Walk-ins)
Total occupant load: 146 persons	

- EGRESS REQUIREMENTS:**
- NUMBER OF EGRESS / EXITS PROVIDED: 2
  - NUMBER OF EGRESS / EXITS REQ'D: 2
  - EXIT WIDTH REQ'D - [146 Occ \* (0.15)]: 21.9"
  - EXIT WIDTH PROVIDED: 36" CLEAR MIN.
  - MAX. ALLOWED TRAVEL DISTANCE: 250'-0" MAX.
  - MAX. TRAVEL DISTANCE: SEE LSP1-1
  - ALLOWED COMMON PATH OF TRAVEL: 75'-0" MAX. (SPRINKLERED)

Department of City Planning

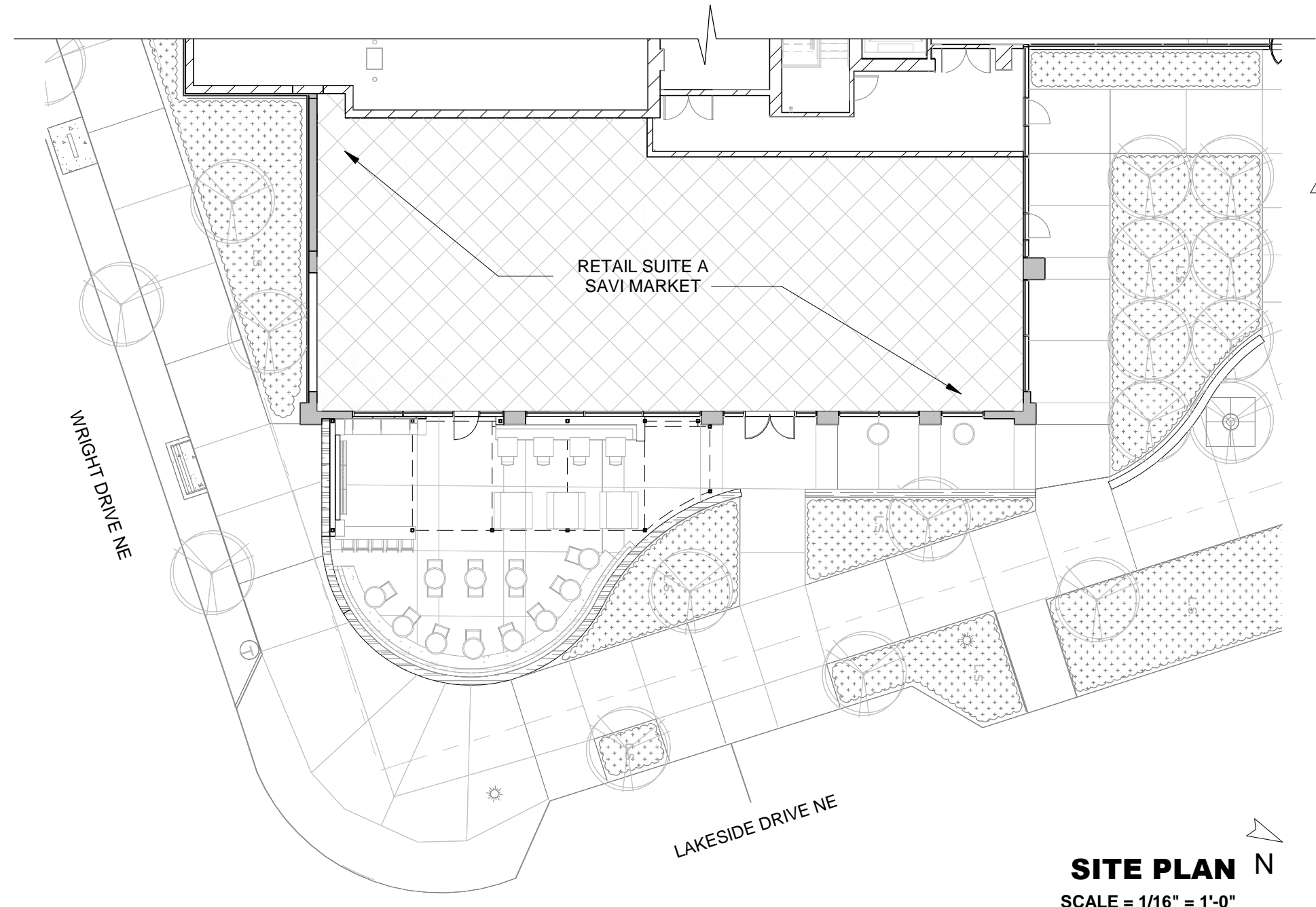
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DATE: 05/19/20

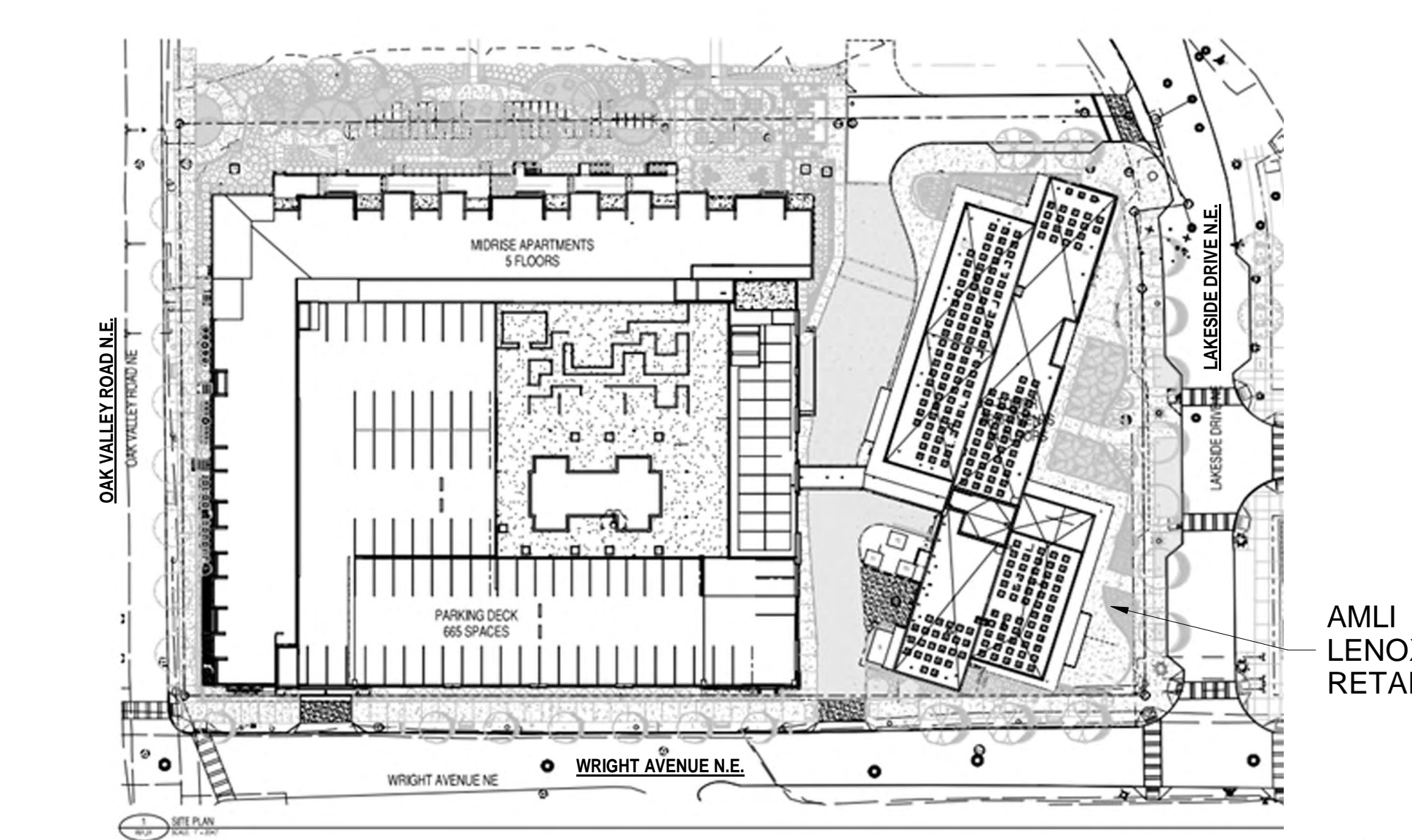
SAP-20-056



**AMLI LENOX  
SUITE A  
3478 LAKESIDE DRIVE  
ATLANTA, GA 30326**



**SITE PLAN**  
SCALE = 1/16" = 1'-0"



**KEY PLAN**  
NTS

**PROJECT DIRECTORY**

<b>PROJECT:</b>	Savi Provisions 3478 Lakeside Drive Suite A Atlanta, GA 30326 taylor@tap-dg.com	<b>STRUCTURAL ENGINEER:</b>	Richard Carr richardecarr@bellsouth.net
<b>ARCHITECT:</b>	TAP Design Group Attn: Taylor Pitelka, Architect 830 Glenwood Ave SE, Suite 510-248 Atlanta, GA 30303 404.584.1683 taylor@tap-dg.com	<b>BUILDING DEPARTMENT:</b>	City of Atlanta: Office of Buildings 55 Trinity Avenue Suite 3300 Atlanta, GA 30303 404.330.6150
<b>TENANT / OWNER:</b>	Nair Industries Attn: Paul Nair Atlanta, GA pnair@nairindustries.com	<b>DEPARTMENT OF AGRICULTURE</b>	Georgia Department of Agriculture Attn: Retail Program Manager 19 MLK Jr. Drive, Room 308 Atlanta, GA 30334 404.656.3627 Chris.Peasley@agr.georgia.gov
<b>TENANT COORDINATION</b>	Weinstock Realty & Development Attn: Shaun Weinstock, Principal 309 East Paces Ferry Rd., Suite 400 Atlanta, GA 30305 404.591.6387 sweinstock@weinstockrd.com		

**PROJECT TRACKING**

DATE	DESCRIPTION	REVISION
4-15-2020	LL SUBMITTAL NO. 1	
4-30-2020	FINALS FOR PERMIT	
5-14-2020	REVISION NO. 1 - SAP	

NOTE: TENANT'S GENERAL CONTRACTOR TO CHECK IN WITH LANDLORD'S TENANT COORDINATOR PRIOR TO START OF WORK

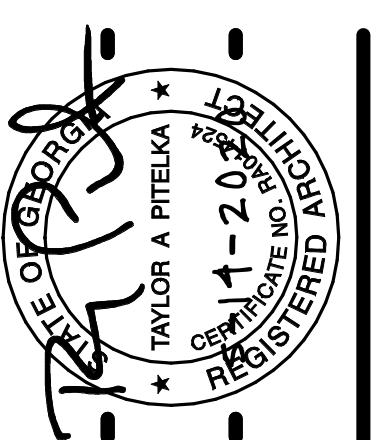
SEE INDEX FOR SHEETS AFFECTED BY REVISIONS

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**DEFERRED SUBMITTALS**

- SIGNAGE SHOP DRAWINGS
  - SPRINKLER DRAWINGS
  - ...
- NOTE: THE ABOVE ARE TO BE SUBMITTED BY TRADE CONTRACTORS/ FABRICATORS FOR APPROVAL UNDER SEPARATE PERMIT

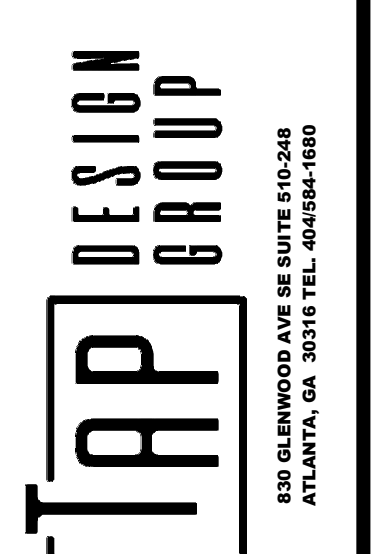
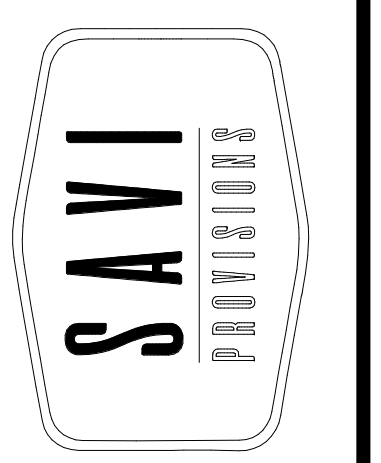


DATE: 4-30-2020

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	5-14-2020	

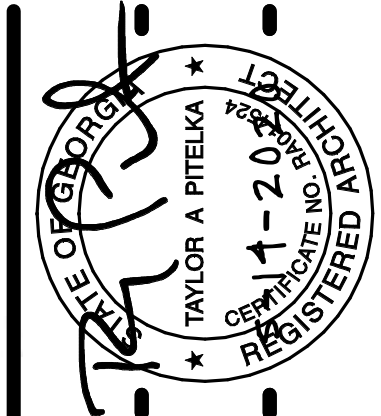
SAVI PROVISIONS  
AMLI LENOX  
SUITE A, 3,127 SF  
3478 LAKESIDE DRIVE  
ATLANTA, GA 30326



COVER SHEET

T1

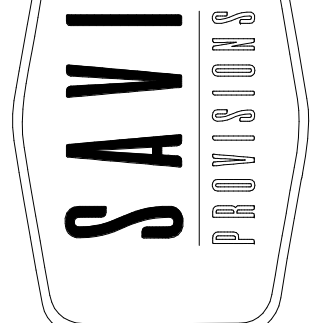




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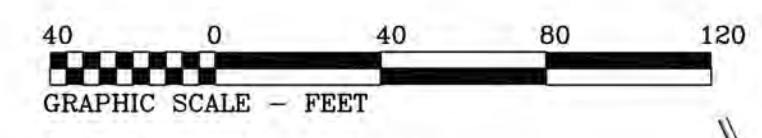
REVISION	NO.	DATE	DESCRIPTION
1	1	4-30-2020	ISSUED FOR CONSTRUCTION

SAVI PROVISIONS  
AMLI LENOX  
SUITE A, 3,127 SF  
3478 LAKESIDE DRIVE  
ATLANTA, GA 30326



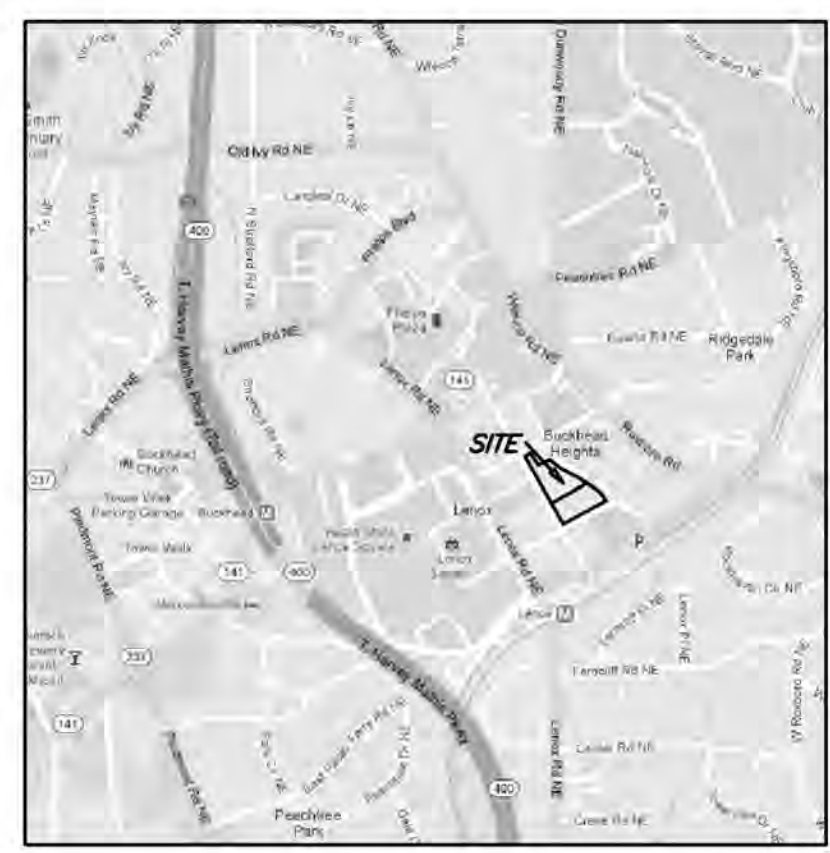
LAND SURVEY

LS1.0



- LEGEND:**
- IPF IRON PIN FOUND
  - IPSS IRON PIN SET
  - REBAR OPEN TOP PIPE
  - R/W RIGHT OF WAY
  - MH MANHOLE
  - CB CATCH BASIN
  - DI DROP INLET
  - J BOX JUNCTION BOX
  - RTDI RAISED TOP DROP INLET
  - HW HEADWALL
  - CMF CORRUGATED METAL PIPE
  - PCP REINFORCED CONCRETE PIPE
  - WM WATER METER
  - WV WATER VALVE
  - GV GATE VALVE
  - 24" C & G 24" CURB & GUTTER
  - PP POWER POLE
  - TP TELEPHONE POLE
  - LP LIGHT POLE
  - SL SEWER LINE
  - K- FENCE
  - T- TELEPHONE LINE
  - P- POWER LINE
  - W- WATER LINE
  - 11R 11 REGULAR PARKING SPACES
  - 11H/C 11 HANDICAP PARKING SPACE
  - TR TRANSFORMER
  - FI FIRE HYDRANT
  - PT POWER & TELEPHONE LINE
  - W GUY WIRE
  - BC BACK OF CURB
  - PINE 14 14" PINE TREE
  - OAK 14 14" OAK TREE
  - HW 12 12" HARDWOOD TREE
  - SG 14 14" SWEETGUM

- REFERENCES:**
- ALTA/ACSM LAND TITLE SURVEY FOR TRG GEORGIA CITYPLACE, LLC BY TRAVIS PRUITT & ASSOCIATES, INC. DATED NOVEMBER 3, 2005
  - CONSOLIDATION PLAT BY TRAVIS PRUITT AND ASSOCIATES, INC. RECORDED IN PLAT BOOK 316, PAGE 144.
  - ALTA/ACSM LAND TITLE SURVEY FOR CITY PLACE BUCKHEAD, LLC BY TECHNICAL SURVEY SERVICES, INC. DATED OCTOBER 31, 2012.



**LEGAL DESCRIPTION**  
Parcel B  
All that tract or parcel of land lying in Land Lots 9 and 45 of the 17th District, City of Atlanta, Fulton County, Georgia and being more particularly describes as follows:

To reach the True Point of Beginning, commence at an iron pin set at the intersection of the southerly Right of Way of Kingsboro Road (Variable R/W) and the easterly Right of Way of Oak Valley Road (Variable R/W), from point thus established and running thence along said Right of Way of Oak Valley Road South 24° 53' 47" East a distance of 499.90 feet to the TRUE POINT OF BEGINNING, thence leaving said Right of Way and running North 65° 06' 13" East a distance of 442.29 feet to a point on the westerly Right of Way of Lakeside Drive (Variable R/W); thence along said Right of Way of Lakeside Drive South 57° 36' 09" East a distance of 50.06 feet to an iron pin set; thence South 57° 30' 29" West a distance of 25.36 feet to a point on the westerly Right of Way of an Unnamed Right of Way; thence along said Right of Way the following courses: thence running along a curve to the right an arc length of 36.84 feet, (said curve having a radius of 209.45 feet, with a chord bearing of South 29° 54' 45" East, and a chord length of 36.79 feet) to a point; thence South 24° 52' 27" East a distance of 193.64 feet to a point on the northerly Right of Way of Wright Avenue (Variable R/W); thence along said Right of Way of Wright Avenue South 65° 34' 34" East a distance of 447.36 feet to a point on the easterly Right of Way of the aforementioned Oak Valley Road; thence along said Right of Way of Oak Valley Road North 24° 53' 47" West a distance of 272.07 feet to the TRUE POINT OF BEGINNING. Said parcel contains 2.821 acres (122,895 square feet).

**LEGAL DESCRIPTION**  
Parcel C  
All that tract or parcel of land lying in Land Lots 9 and 45 of the 17th District, City of Atlanta, Fulton County, Georgia and being more particularly describes as follows:

BEGINNING at an iron pin set at the intersection of the southerly Right of Way of Kingsboro Road (Variable R/W) and the easterly Right of Way of Oak Valley Road (Variable R/W), from point thus established and running thence along the southerly Right of Way of Kingsboro Road North 65° 13' 24" East a distance of 88.15 feet to a 1/2" rebar found; thence South 25° 15' 59" East a distance of 148.44 feet to an iron pin set; thence North 65° 09' 00" East a distance of 80.34 feet to a point; thence North 65° 13' 49" East a distance of 72.94 feet to an iron pin set; thence along a curve to the left having a radius of 177.51 feet and an arc length of 101.16 feet, being subtended by a chord of South 41° 15' 41" East a distance of 99.80 feet to a point; thence South 58° 36' 33" East a distance of 42.67 feet to a point; thence South 60° 57' 55" East a distance of 99.83 feet to a point; thence South 57° 36' 09" East a distance of 165.32 feet to a point; thence South 65° 06' 13" West a distance of 442.29 feet to a point on the easterly Right of Way of Oak Valley Road (Variable R/W); thence running along said Right of Way North 24° 53' 47" West a distance of 499.90 feet to the POINT OF BEGINNING. Said parcel contains 2.955 acres (128,730 square feet).

The above legal description describes the same property as contained in First American Title Insurance Company Commitment for Title Insurance, Commitment Number NCS-784625-ATL, effective date March 15, 2016.

**UTILITY NOTE**  
UNDERGROUND UTILITIES SHOWN WERE LOCATED AS FLAGGED BY AN UNDERGROUND UTILITY LOCATOR ON MARCH 29, 2016. TECHNICAL SURVEY SERVICES, INC. DOES NOT CERTIFY OR ASSUME RESPONSIBILITY TO THE EXACT LOCATION OR THE ACCURACY OF THE TYPE OF THOSE UTILITIES SHOWN.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 284.61 FEET AND AN ANGULAR ERROR OF .02" PER ANGLE AND WAS ADJUSTED USING THE COMPASS RULE.

A TOPCON GTS 3005 TOTAL STATION AND AN ALLIGRO DATA COLLECTOR WERE USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 230.987 FEET.

**FLOOD NOTE**  
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM MAP NUMBER 1312100251 F, SEPTEMBER 18, 2013. THE SUBJECT PROPERTY LIES WITHIN A ZONE "X", WHICH IS DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN."

**TOPOGRAPHIC INFORMATION NOTE**  
TOPOGRAPHIC INFORMATION SHOWN IS A GROUND RUN SURVEY BY TECHNICAL SURVEY SERVICES, INC. THE VERTICAL DATUM IS NAVD 88.

**ZONING NOTE**  
SOURCE: CITY OF ATLANTA ZONING MAP  
THE SUBJECT PROPERTY IS ZONED SPF-12 SA1 AND SA2 BUCKHEAD/LENOX STATIONS SPECIAL PUBLIC INTEREST DISTRICT  
MAX. HEIGHT = BASE = 225 PLUS ADDITIONAL 225 FEET PER FOLLOWING FORMULA: 160,000/BLOCK AREA SQ.FT.  
MIN. OPEN SPACE  
NON-RESIDENTIAL = NO MINIMUM  
RESIDENTIAL = 25%  
PARKING REQUIREMENTS  
MULTIFAMILY: 2 SPACES/UNIT + 1/2 SPACE/UNIT WITH 3 OR MORE BEDROOMS + 1/3 SPACE/UNIT FOR GUEST PARKING  
RETAIL: 1 SPACE PER 200 SQ.FT. OF FLOOR AREA

**NOTES**

- NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. NO OBSERVED EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- TECHNICAL SURVEY SERVICES, INC. AT THE TIME OF THIS SURVEY HAS A PROFESSIONAL LIABILITY POLICY IN THE AMOUNT OF \$1,000,000 PER CLAIM AND \$1,000,000 POLICY AGGREGATE, WITH A \$5,000 DEDUCTIBLE PER CLAIM. THE PROPERTY SHOWN BELOW IS RECOGNIZED AS ONE TAX PARCEL BY THE CITY OF ATLANTA. THE LOT CONFIGURATION SHOWN IS FOR A PROPOSED SUBDIVISION.
- PARCEL B & C ROAD ACCESS TO INCLUDE ONLY ROADS THAT ABOUT EACH INDIVIDUAL PROPERTY.

**EXCEPTIONS IN TITLE COMMITMENT**  
FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT NUMBER: NCS-784625-ATL  
COMMITMENT DATE: MARCH 15, 2016

1. Easement from Edward C. Martin to Georgia Power Company dated August 14, 1967, filed for record August 26, 1967, and recorded in Deed Book 2268, Page 190, Fulton County, Georgia records. (Does NOT Affect Subject Property)
2. Right-of-Way Easement from George H. Horne to Georgia Power Company, dated July 23, 1948, filed for record August 12, 1948, and recorded in Deed Book 2345, Page 560, aforesaid records. (Does NOT Affect Subject Property)
3. Easement from Ethel Agnes Horne to Atlanta Gas Light Company, a Georgia corporation, dated September 11, 1951, filed for record September 20, 1951, and recorded in Deed Book 2682, Page 505, aforesaid records. (Does NOT Affect Subject Property)
4. Easement as contained in that certain Warranty Deed from J. Lamar Pierson to Alvin E. Bindig dated November 3, 1952, filed for record November 19, 1952 and recorded in Deed Book 2792, Page 22, aforesaid records. (Does Affect Subject Property (Parcel C only) as Shown Hereon)
5. Easement (sewer purposes) from John Holcomb to James W. McKensie, dated July 9, 1954, filed for record July 27, 1954, and recorded in Deed Book 2906, Page 167, aforesaid records. (Does NOT Affect Subject Property)
6. Right-of-Way Easement from R.H. Barber to Georgia Power Company, dated February 23, 1956, filed for record May 28, 1956, and recorded in Deed Book 3119, Page 250, aforesaid records. (Does Affect Subject Property, Not Plottable)
7. Permit for Anchors, Guy Poles and Wires from R.H. Barber to Georgia Power Company, dated September 20, 1956, filed for record October 20, 1956 and recorded in Deed Book 3164, Page 201, aforesaid records. (Does Affect Subject Property, Not Plottable)
8. Right-of-Way Easement from Alfred F. Green, Jr. to Georgia Power Company, dated June 20, 1957, filed for record July 26, 1957, and recorded in Deed Book 3244, Page 41, aforesaid records. (Does Affect Subject Property, Not Plottable)
9. Right-of-Way Easement from Virginia J. Edens to Georgia Power Company, dated March 13, 1959, filed for record April 16, 1959, and recorded in Deed Book 3442, Page 570, aforesaid records. (Does Affect Subject Property, Not Plottable)
10. Permit for Anchors and Wires from E.E. Noble to Georgia Power Company, dated May 2, 1966, filed for record December 1, 1966, and recorded in Deed Book 4670, Page 153, aforesaid records. (Does Affect Subject Property, Not Plottable)
11. Permit for Anchors and Wires from E.E. Noble to Georgia Power Company, dated January 23, 1968, filed for record March 5, 1968, and recorded in Deed Book 5034, Page 133, aforesaid records. (Does Affect Subject Property, Not Plottable)
12. Sewer Easement from Atlanta Title Company, a municipal corporation of the State of Georgia, dated October 6, 1972, filed for record October 31, 1972, and recorded in Deed Book 5658, Page 255, aforesaid records. (Does Affect Subject Property (Parcel C only) as Shown Hereon)
13. Terms and provisions of that certain Declaration of Easements, by Vantage Properties, Inc. dated August 28, 1985, filed for record August 29, 1985 and recorded in Deed Book 6884, Page 165, aforesaid records, as amended by that certain First Amendment to Declaration of Easements by and between Vantage Properties, Inc., a Texas corporation and Marriott Corporation, a Delaware corporation, dated December 30, 1987, filed for record December 30, 1987, and recorded in Deed Book 11247, Page 116, aforesaid records, as affected by that certain Affidavit by Alan E. Klein, dated for record August 18, 2000, recorded in Deed Book 29581, Page 563, aforesaid records. (Does NOT Affect Subject Property)
14. Terms and provisions of that certain Easement Agreement, by and among Lenox Holdings I, Ltd., a Georgia limited partnership, E.E. Noble, as Trustee for the Ed Noble Trust U/A dated August 3, 1983, Ben Edward Noble, a/k/a Benne E. Noble, Vivian Noble Richardson, Bennie T. Estes, as Trustee U/A dated June 1, 1980 for the benefit of Ben Edward Noble, Bennie T. Estes, as Trustee U/A dated June 1, 1980 for the benefit of Vivian Noble Richardson, dated December 15, 1986, filed for record December 23, 1986, and recorded in Deed Book 10514, Page 120, aforesaid records, as affected by that certain Partial Termination of Easement Agreement by and among 5387 Lenox Road, LLC, a Delaware limited liability company ("Starwood") as successor in interest to Lenox Holdings I, Ltd., a Georgia limited partnership and PPF AMJ Roxboro Road, LLC, a Delaware limited liability company, City Place Buckhead Association, Inc., a Georgia non-profit corporation, et al. dated for record July 30, 2015, and recorded in Deed Book 55216, Page 314, aforesaid records. (Does Affect Subject Property, Not Plottable)
15. Terms and provisions of that certain Declaration and Easement Agreement, by and among The Travelers Insurance Company, a Connecticut corporation, TOW Land and I Holding Company, a California corporation, the City of Atlanta, a Georgia municipal corporation, dated August 16, 1995, filed for record August 25, 1995 and recorded in Deed Book 19554, Page 326, aforesaid records. (Does NOT Affect Subject Property)
16. Reservation of easements as contained in that certain Quitclaim Deed from City of Atlanta, a municipal corporation to TRG Georgia CityPlace, LLC dated December 28, 2001, filed for record December 28, 2001, and recorded in Deed Book 46159, Page 160, aforesaid records. (Does Affect Subject Property (Parcels B & C) as Shown Hereon)
17. Terms and provisions of that certain Storm Water Management Inspection and Maintenance Agreement, by and between TRG Georgia CityPlace, LLC and the City of Atlanta, dated October 24, 2007, filed for record November 1, 2007, and recorded in Deed Book 45914, Page 83, aforesaid records. (Does NOT Affect Subject Property)
18. Terms and provisions of that certain Storm Water Management Inspection and Maintenance Agreement, by and between TRG Georgia CityPlace, LLC and the City of Atlanta, dated October 24, 2007, filed for record November 1, 2007, and recorded in Deed Book 45914, Page 91, aforesaid records. (Does NOT Affect Subject Property)
19. Conservation Easement from TRG Georgia CityPlace, LLC to Georgia Department of Natural Resources, dated November 9, 2007, filed for record November 20, 2007, and recorded in Deed Book 45996, Page 198, aforesaid records. (Does NOT Affect Subject Property)
20. Terms and provisions of that certain Declaration of Easement, by TRG Georgia CityPlace, LLC dated December 27, 2007, filed for record February 14, 2008, and recorded in Deed Book 46341, Page 389, aforesaid records. (Does Affect Subject Property, Not Plottable)
21. Reservation of easements as contained in that certain Quitclaim Deed from City of Atlanta, Georgia to City Place Buckhead, LLC dated April 1, 2013, filed for record April 1, 2013, and recorded in Deed Book 52456, Page 106, aforesaid records. (Does Affect Subject Property, Not Plottable)
22. Reservation of easements as contained in that certain Quitclaim Deed from City Place Buckhead, LLC to City of Atlanta, Georgia dated April 1, 2013, filed for record April 1, 2013, and recorded in Deed Book 52456, Page 639, aforesaid records. (Does Affect Subject Property (Parcel B only) as Shown Hereon)
23. Terms and provisions of that certain Declaration of Covenants, Conditions, and Restrictions for City Place Buckhead by City Place Buckhead, LLC dated November 22, 2013, filed for record November 27, 2013, and recorded in Deed Book 53372, Page 1, aforesaid records, as amended by that certain First Amendment to Declaration of Temporary Construction Easement, dated November 12, 2014, filed for record November 18, 2014, and recorded in Deed Book 54388, Page 286, aforesaid records. (Does NOT Affect Subject Property)
24. Matters as shown on that certain plat recorded in Plat Book 316, Page 144, aforesaid records.

PARCEL C = 2.955 ACRES 128,730 SQ.FT.

LL 9

PARCEL B = 2.821 ACRES 122,895 SQ.FT.

LL 45

**SURVEYOR'S CERTIFICATE**  
TO PPF AMJ DEVCO LLC, PPF AMJ OAK VALLEY ROAD, LLC, FIRST AMERICAN TITLE INSURANCE COMPANY & CITY PLACE BUCKHEAD, LLC:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA and NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1., 2., 3., 4., 6(a), 8., 11., 13., 16., 17. and 20., of Table A thereof. The fieldwork was completed on April 7, 2016.



Aubrey J. Akin, R.L.S. #3138  
Date of Plat: June 13, 2016

SAP-20-056

Department of City Planning

RECEIVED

DATE: 05/19/20

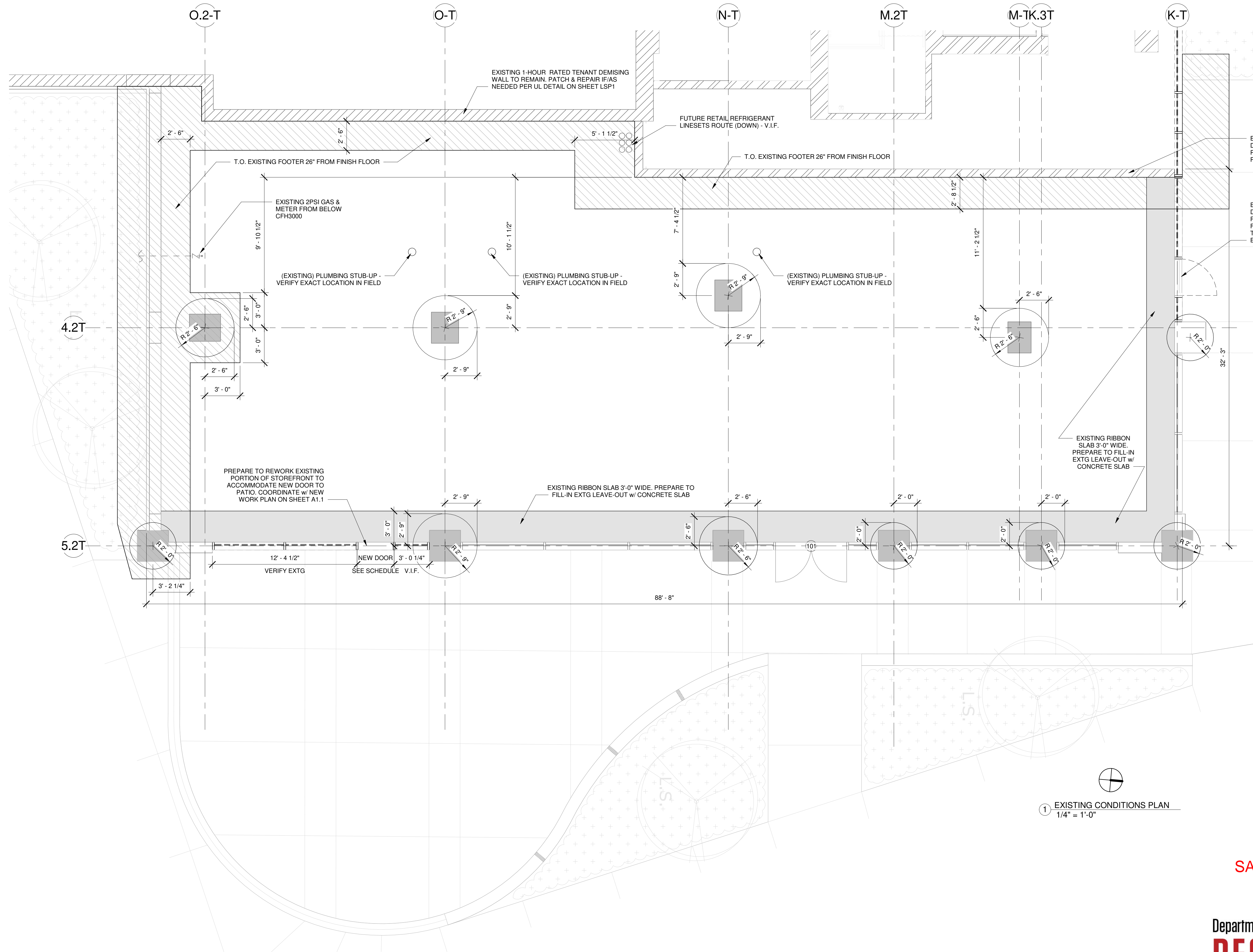
ALTA/NSPS LAND TITLE SURVEY  
FOR  
PPF AMJ DEVCO LLC,  
PPF AMJ OAK VALLEY ROAD, LLC,  
FIRST AMERICAN TITLE INSURANCE COMPANY  
& CITY PLACE BUCKHEAD, LLC  
OF  
PARCELS B & C

LAND LOTS 9 AND 45  
FULTON COUNTY CITY OF ATLANTA 17TH DISTRICT  
GEORGIA SCALE: 1" = 40'

OCTOBER 31, 2012: ORIGINAL BOUNDARY  
MARCH 24, 2016: BOUNDARY SURVEY OF B AND C  
MARCH 24, 2016: REMOVE INTERNAL ROAD PARCEL  
MARCH 29, 2016: ADD TOPD  
APRIL 14, 2016: UPDATE TO ALTA SURVEY  
MAY 19, 2016: UPDATE TO ALTA SURVEY  
MAY 13, 2016: REVISED PER COMMENTS  
OCTOBER 27, 2016: REVISED PER ENGINEER COMMENTS  
APRIL 18, 2017: CHECK TREES & REVISE AT SW CORNER

TECHNICAL SURVEY SERVICES, INC.  
Land Surveyors  
794 WEST CIRCLE, SW Telephone (770) 922-6391  
CONYERS, GEORGIA 30012 FAX (770) 922-0767  
JOB: 2012-038 CTRPLACRD SCREEN FILE: CTRPLACRD

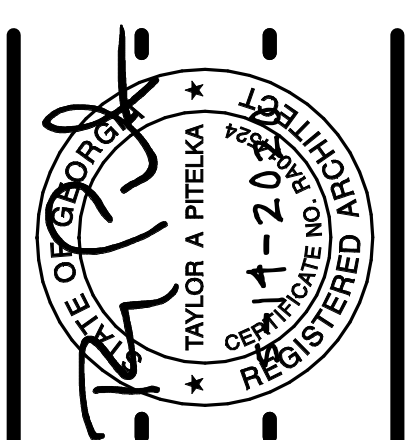




① EXISTING CONDITIONS PLAN  
1/4" = 1'-0"

SAP-20-056

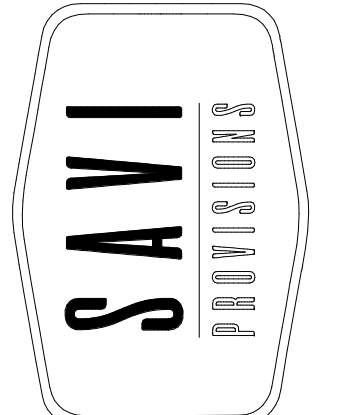
Department of City Planning  
**RECEIVED**  
DATE: 05/19/20



DATE  
4-30-2020  
RELEASED FOR  
CONSTRUCTION

REVISION	NO.	DATE

**SAVI PROVISIONS**  
AMLI LENOX  
SUITE A, 3,127 SF  
3478 LAKESIDE DRIVE  
ATLANTA, GA 30326



**TAP DESIGN GROUP**  
830 GLENWOOD AVE SE SUITE 510-248  
ATLANTA, GA 30316 TEL: 404-558-1600

EXISTING CONDITIONS  
PLAN

**A1.0**

DOOR SCHEDULE											
NO.	ROOM / LOCATION	TYPE	DESCRIPTION	DOOR RATING	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE	SUPPLY BY	NOTES
101	EXTERIOR	A	STOREFRONT ENTRY DOOR (DOUBLE)	EXTG - VERIFY	ALUM/GLASS	EXTG	EXTG	EXTG	Existing - Verify hardware meets local code	EXTG	VERIFY TEMPERED GLASS AT DOOR PER LOCAL CODE
102	EXTERIOR	B	STOREFRONT ENTRY DOOR (SINGLE)	EXTG - VERIFY	ALUM/GLASS	EXTG	EXTG	EXTG	Existing - Verify hardware meets local code	EXTG	VERIFY TEMPERED GLASS AT DOOR PER LOCAL CODE. EXISTING EXTERIOR STOREFRONT DOOR TO BE RE-USED AND RELOCATED PER ARCHITECTURAL FLOOR PLAN. REWORK EXISTING STOREFRONT SYSTEM IF/AS NEEDED. VERIFY EXACT SIZE & LOCATION.
103	TOILET ROOM	C	NEW INTERIOR SINGLE DOOR	N/A	MTL	PT	MTL	PT	Hardware: Lever Handle lock set w/ thumb turn dead bolt. 1-1/2" pr. butt hinges, wall stop w/ automatic door closer	GC	GC SHALL VERIFY NEW DOOR MEETS ADA ACCESSIBILITY STANDARDS
104	TOILET ROOM	C	NEW INTERIOR SINGLE DOOR	N/A	MTL	PT	MTL	PT	Hardware: Lever Handle lock set w/ thumb turn dead bolt. 1-1/2" pr. butt hinges, wall stop w/ automatic door closer	GC	GC SHALL VERIFY NEW DOOR MEETS ADA ACCESSIBILITY STANDARDS
105	STORAGE	C	INTERIOR DOOR - STORAGE	N/A	MTL	PT	MTL	PT		GC	GC SHALL VERIFY NEW DOOR MEETS ADA ACCESSIBILITY STANDARDS

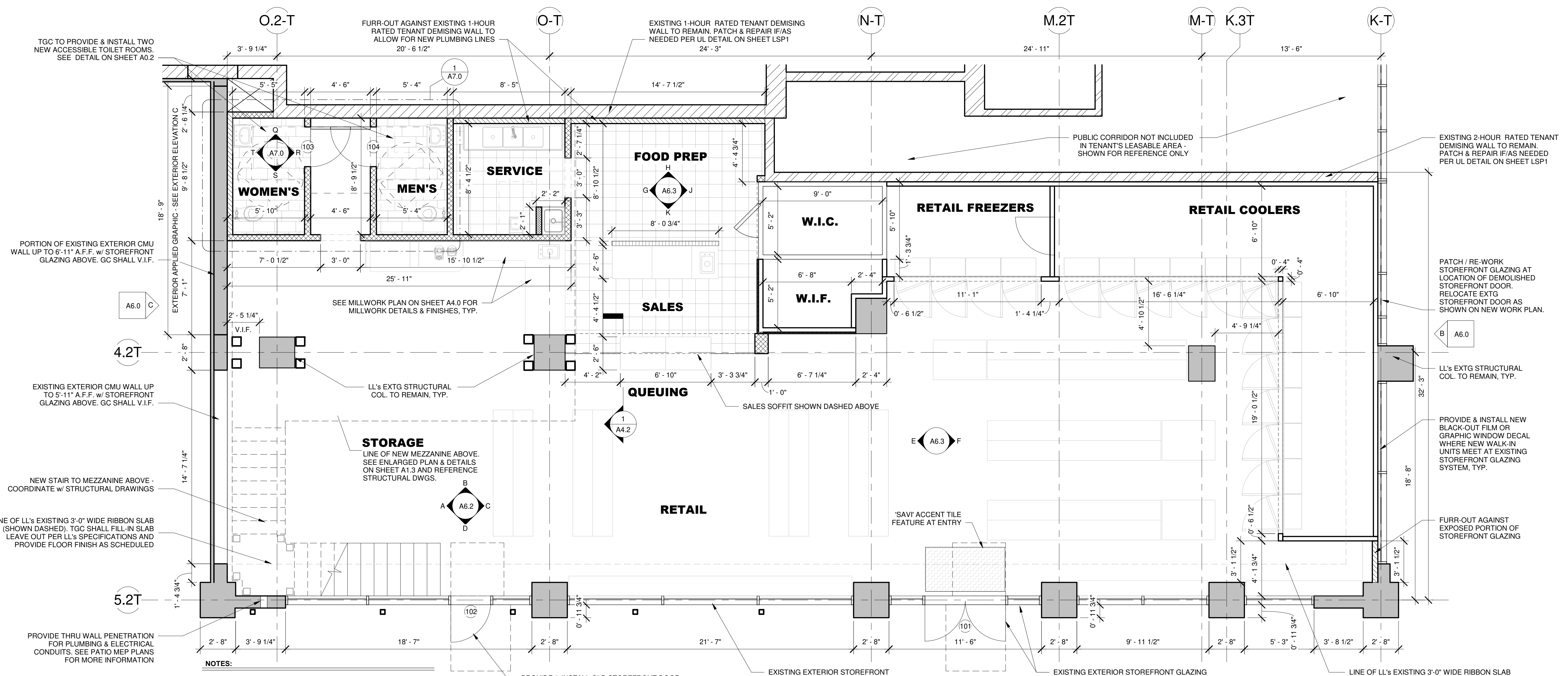
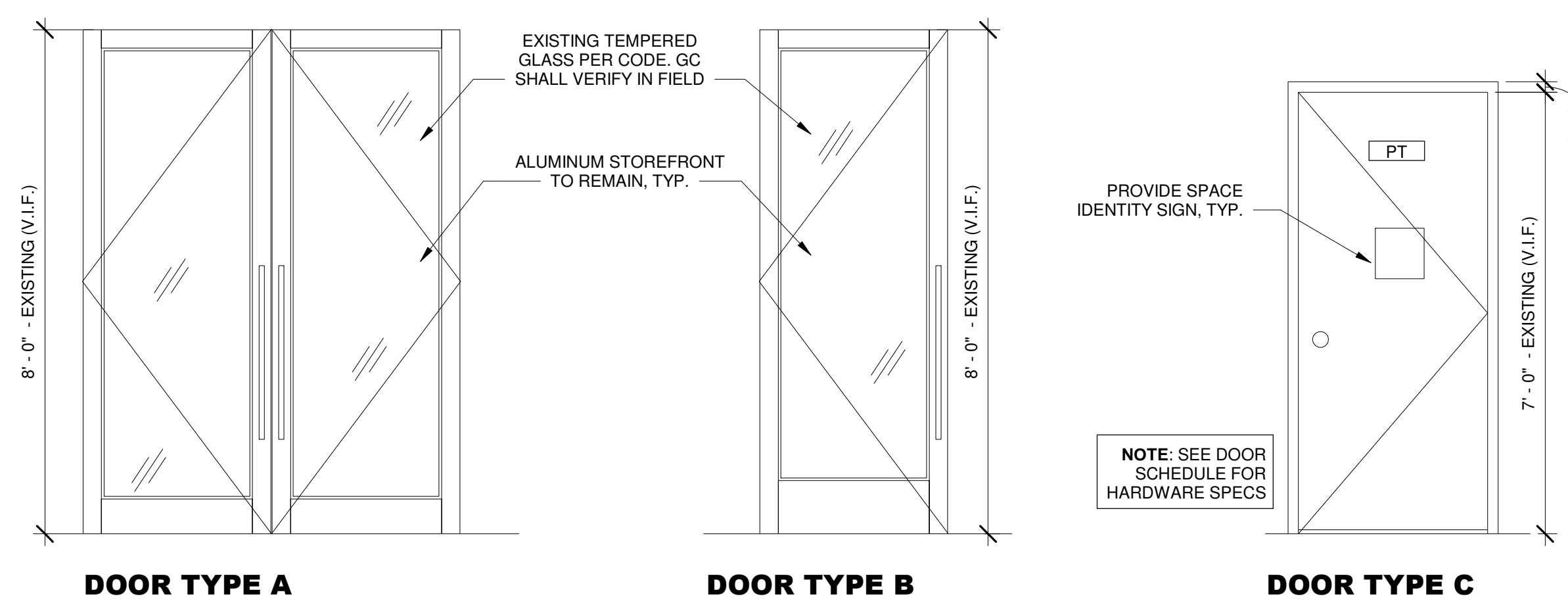
**PARTITION KEY:**

- NEW PARTIAL HEIGHT INTERIOR MOP-SINK PARTITION: SEE MOP SINK PLATFORM DETAIL ON SHEET P1.0
- PRE-FABRICATED WALL PANELS AT RETAIL COOLERS BY EQUIPMENT PROVIDER / MANUFACTURER. SEE SHOP DWGS.
- NEW INTERIOR PARTITION: 3-5/8" METAL STUDS AT 16" O.C. WITH 1 LAYER GYPSUM BOARD EACH SIDE. EXTEND TO UNDERSIDE OF LAY-IN CLG. ABOVE.
- NEW PARTIAL HEIGHT WALL AT SALES AREA MILLWORK. SEE MILLWORK PLAN FOR MORE INFORMATION.
- NEW INTERIOR FURR-OUT FLUSH AGAINST EXISTING TENANT DEMISING WALL: 3-5/8" METAL STUDS AT 16" O.C. WITH 1 LAYER GYPSUM BOARD FINISH SIDE. EXTEND TO UNDERSIDE OF LAY-IN CLG. ABOVE.
- NEW INTERIOR DECORATIVE METAL CLADDING WALL PANELS ATTACHED TO 1 1/2" MTL STUDS @ 16" O.C. w/ THREADED RODS UP TO B.O. OF SLAB ABOVE SEE DETAIL 3/A1.2.
- EXISTING 1-HR FIRE RATED TENANT DEMISING WALL. PRESERVE DURING CONSTRUCTION AS NOTED. GC SHALL REPAIR ANY DAMAGE AND VERIFY ASSEMBLY IS IN ACCORDANCE W/ UL-465 AND WL-1001, SEE DTL SHEET LSP1.1.
- EXISTING 2-HR FIRE RATED TENANT DEMISING WALL. PRESERVE DURING CONSTRUCTION AS NOTED. GC SHALL REPAIR ANY DAMAGE AND VERIFY ASSEMBLY IS IN ACCORDANCE W/ UL-465 AND WL-1001, SEE DTL SHEET LSP1.1.

**PARTITION NOTES:**

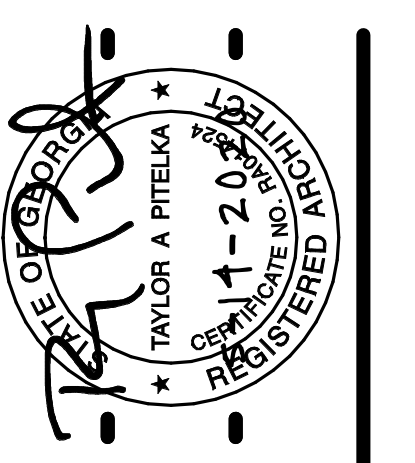
- ALL TENANT PARTITION CONSTRUCTION SHALL HAVE TAPED JOINTS. ALL WALLS EXPOSED TO PUBLIC VIEW SHALL BE FINISHED WITH A MIN OF THREE (3) COATS OF JOINT COMPOUND AND SANDED SMOOTH. WHERE FIRE RESISTIVE RATINGS ARE REQUIRED, CAULKING MATERIAL SHALL BE UL LISTED.
- WOOD TRIM AND WALL COVERINGS SHALL HAVE A MINIMUM FIRE SPREAD RATING (NOT GREATER THAN 200 PER ASTM E840 AND SMOKE DEVELOPED RATING (NOT GREATER THAN 450 PER ASTM E84). ANY WALL PENETRATIONS THRU 1 HOUR RATED PARTITIONS SHALL COMPLY WITH UL - WL-1001.

- GENERAL FINISH NOTES:**
- ALL FINISHES SHALL BE CLASS A, B OR C.
  - TENANT'S GENERAL CONTRACTOR (TGC) SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS PRIOR TO ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
  - INSTALL ALL MATERIALS PER MANUFACTURER'S REQUIREMENTS. GRAY DEVICES AND STAINLESS STEEL COVER PLATES SHALL BE USED THROUGHOUT.
  - MITER ALL INSIDE CORNERS OF TILE BASE AT 45 DEGREES.
  - ALL CEILINGS AND SOFFIT S SHALL BE MINIMUM CLASS "A" NON-COMBUSTIBLE TYPE.
  - GROUT: WALL TILE GROUT SHALL BE NON-SANDED UNLESS NOTED OTHERWISE. FLOOR TILE GROUT SHALL BE EPOXY, SANDED, AND SHALL NOT EXCEED 1/8" IN WILD. ALL GROUT SHALL COMPLY WITH ANSI A118.6 WITH INSTALLATION IN ACCORDANCE WITH ANSI A108.10.
  - DOORS: DOOR FRAMES SHALL BE 16 GA COLD ROLLED STEEL PER ASTM A386. ENTRANCE DOORS, IF APPLICABLE, SHALL BE PREMIUM GRADE SOLID CORE, GLUED BLOCK, CONFORMING TO AWI 1300 AND NWMA INDUSTRY STANDARD I.S.1. INTERIOR DOORS (OTHER THAN ELIASON) SHALL BE 1-3/8" SOLID CORE STANDARD GRADE. FINISH PER DOOR SCHEDULE.
  - WOOD BLOCKING: ALL WOOD BLOCKING USED WITHIN TENANT SPACE SHALL BE FIRE RETARDANT.



- NOTES:**
- COVERED SEATING & PATIO NOT SHOWN IN VIEW. SEE PATIO FLOOR PLAN ON SHEET A1.2
  - GRAPHIC MARKETING CLINGS TO BE PROVIDED AND INSTALLED AT EXISTING STOREFRONT GLAZED PANELS UP TO 12'-0" A.F.F. REFERENCE EXTERIOR BUILDING ELEVATIONS ON SHEET A6.0

1 GROUND FLOOR PLAN  
1/4" = 1'-0"



DATE: 4-30-2020  
RELEASED FOR CONSTRUCTION

REVISION	NO.	DATE

**SAVI PROVISIONS**  
AMLI LENOX  
SUITE A, 3,127 SF  
3478 LAKESIDE DRIVE  
ATLANTA, GA 30326



**TAP DESIGN GROUP**  
830 GLENWOOD AVE SE SUITE 510-248  
ATLANTA, GA 30316 TEL: 404-554-1690

GROUND FLOOR PLAN

**A1.1**



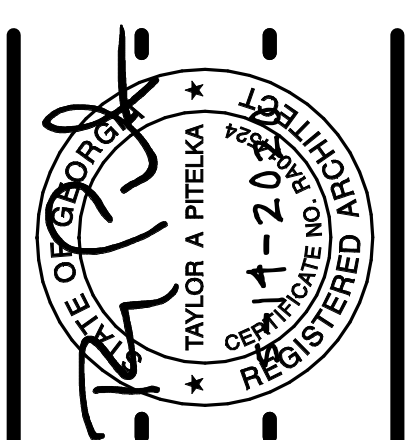








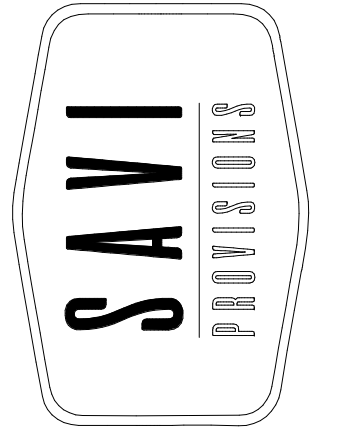




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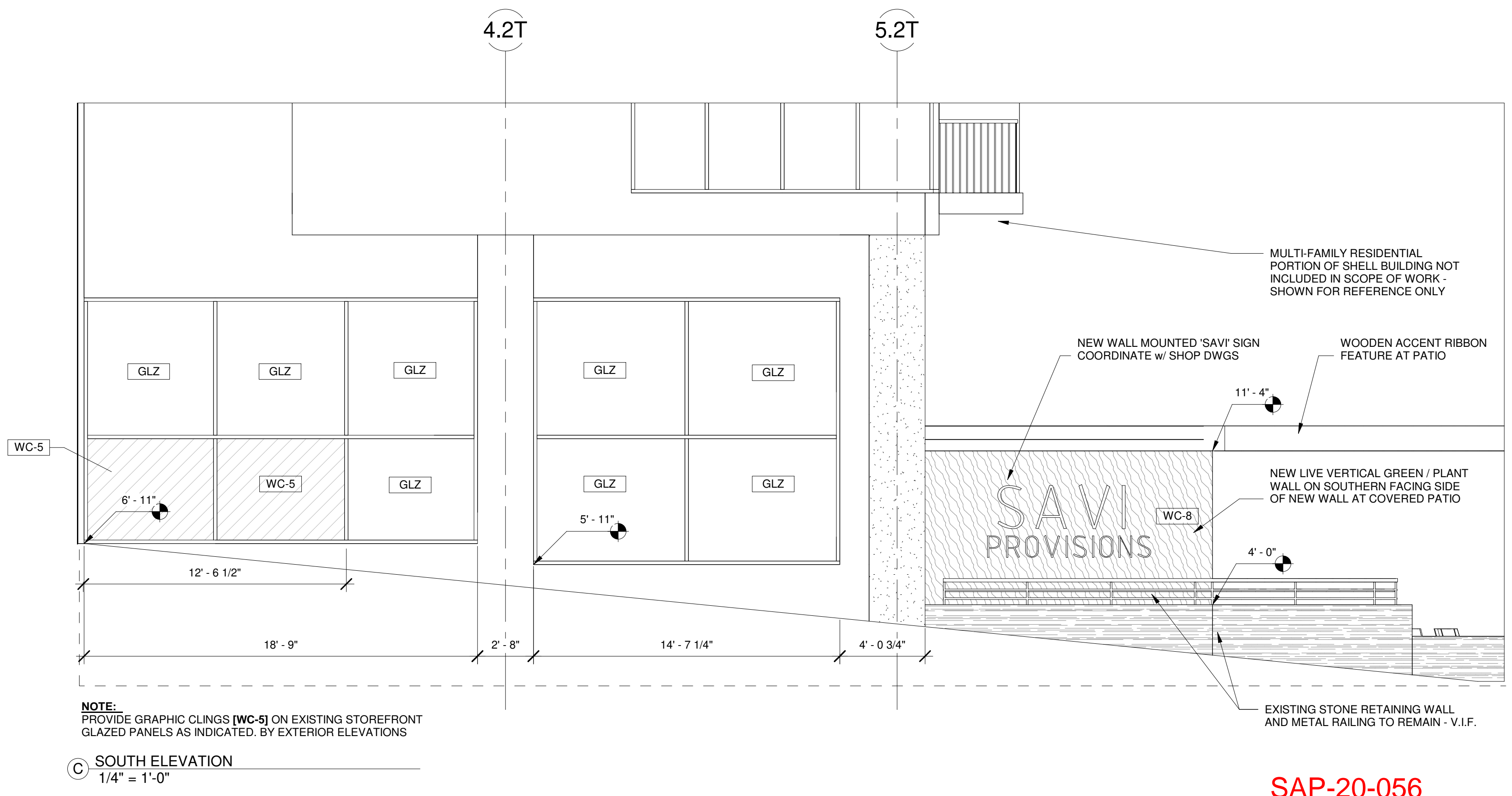
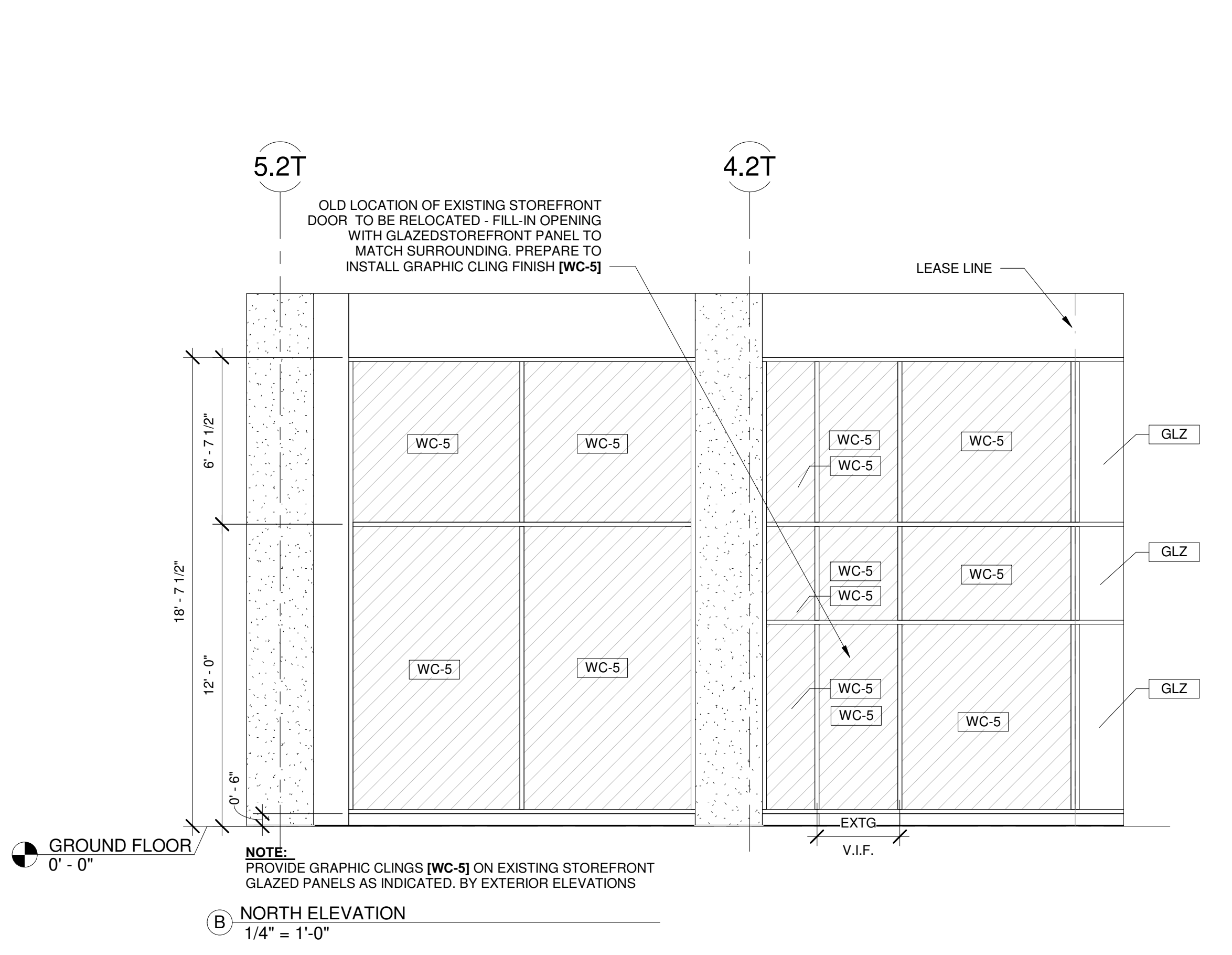
**SAVI PROVISIONS**  
 AMLI LENOX  
 SUITE A, 3, 127 SF  
 3478 LAKESIDE DRIVE  
 ATLANTA, GA 30326



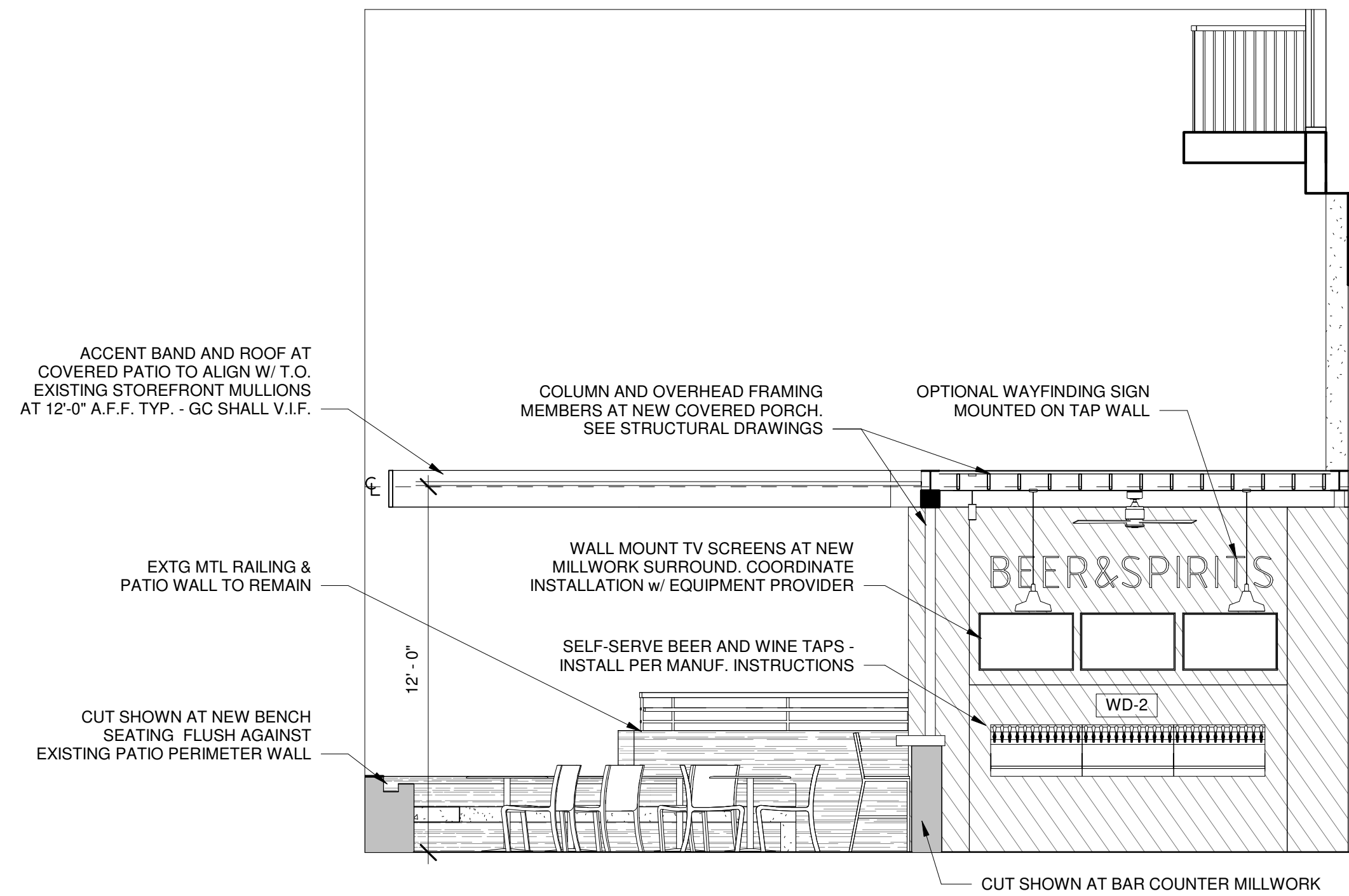
**TAP DESIGN GROUP**  
 830 GLENWOOD AVE SE SUITE 510-248  
 ATLANTA, GA 30316 TEL: 404-584-1890

BUILDING ELEVATIONS

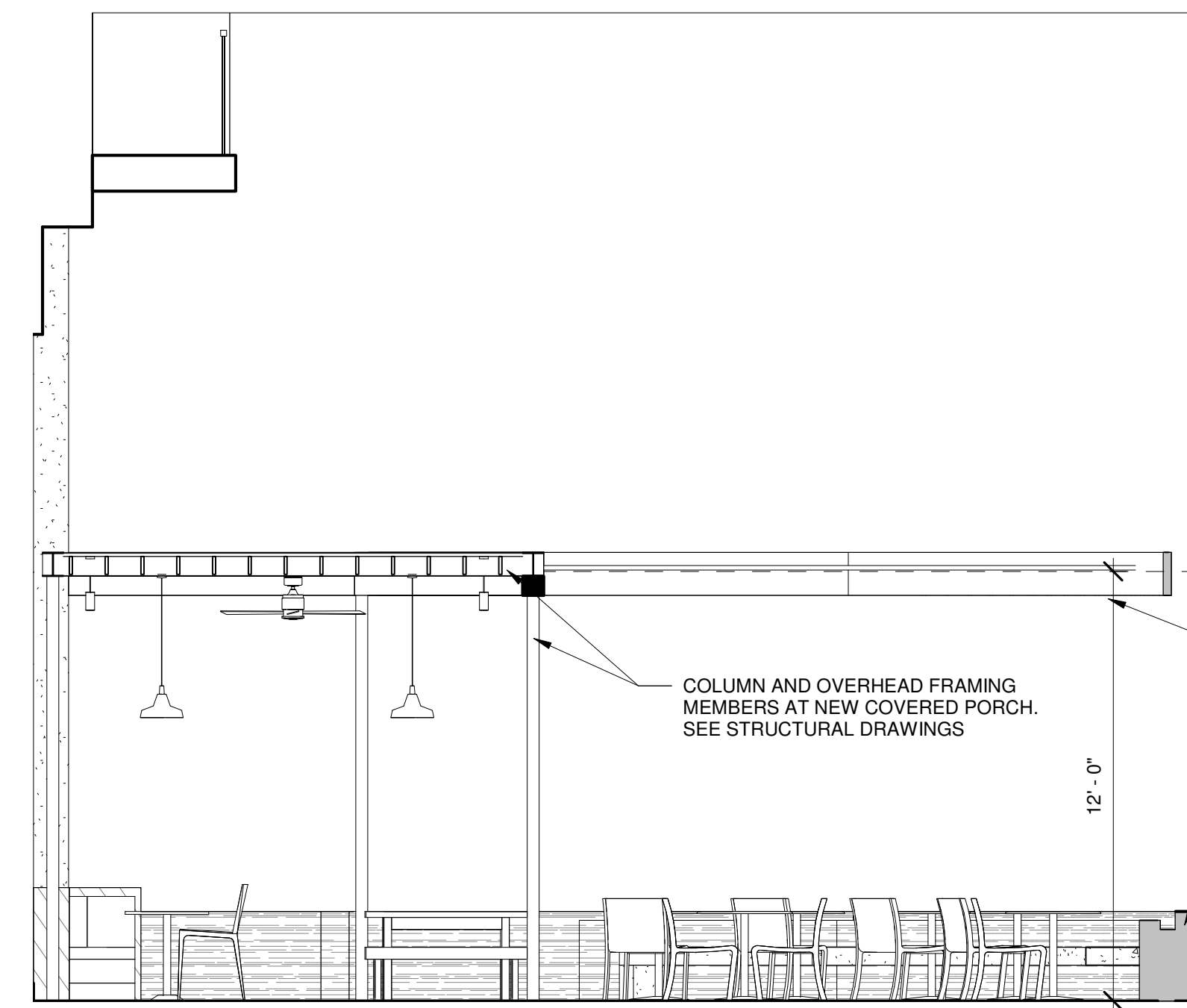
**A6.0**



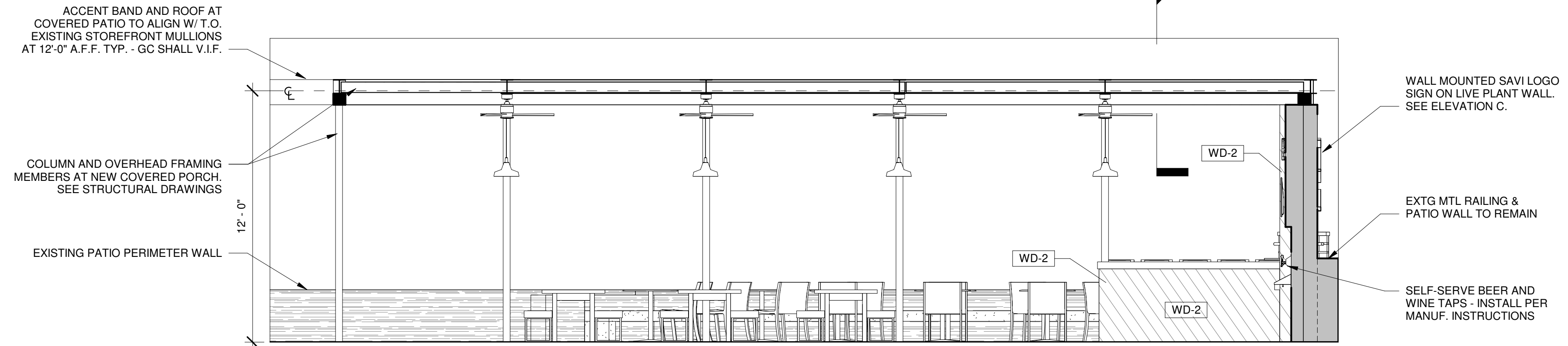
SAP-20-056  
 Department of City Planning  
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 DATE: 05/19/20



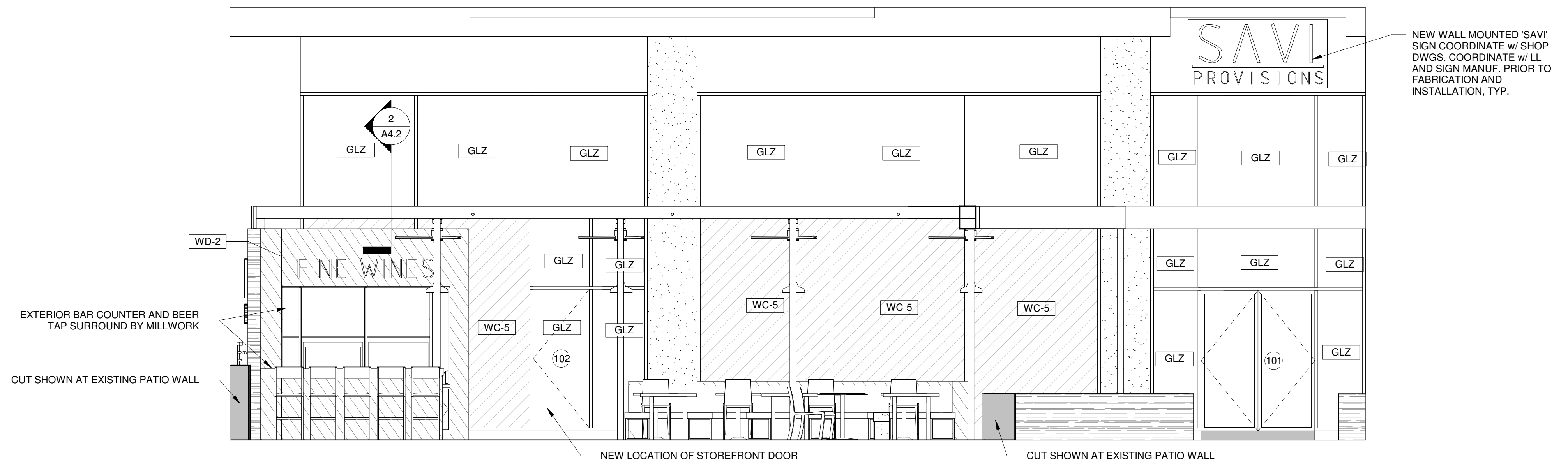
F PATIO NORTH ELEVATION  
1/4" = 1'-0"



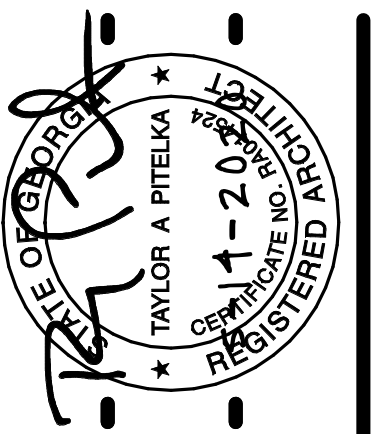
D PATIO SOUTH ELEVATION  
1/4" = 1'-0"



E PATIO WEST ELEVATION  
1/4" = 1'-0"



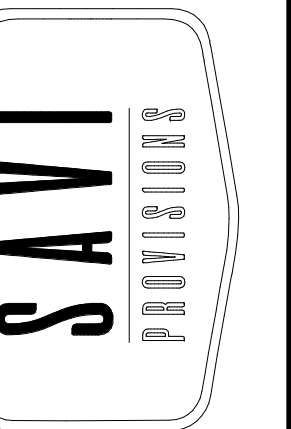
G PATIO EAST ELEVATION  
1/4" = 1'-0"



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830 GLENWOOD AVE SE SUITE 510-248  
ATLANTA, GA 30316 TEL: 404-584-1690

PATIO ELEVATIONS

A6.1





COVERED SEATING AND SELF-SERVE BEER & WINE TAPS



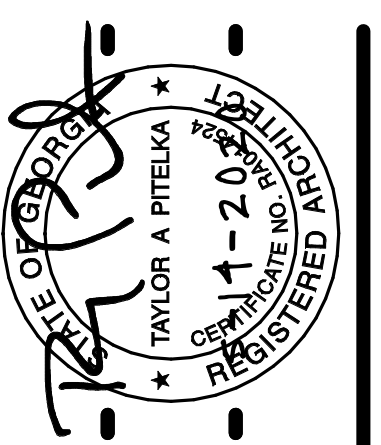
VIEW OF COVERED PATIO FROM MAIN ENTRANCE



PERSPECTIVE VIEW FROM LAKESIDE DRIVE N.E.



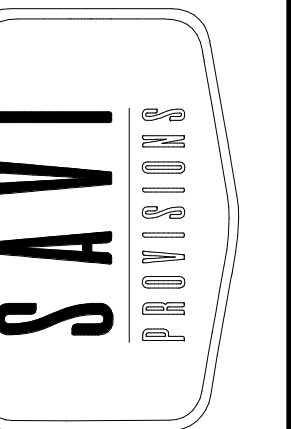
PERSPECTIVE VIEW FROM SIDEWALK



DATE  
4-30-2020  
RELEASED FOR  
CONSTRUCTION

REVISION	NO.	DATE	SCHEDULE
1	1	5-14-2020	

**SAVI PROVISIONS**  
AMLI LENOX  
SUITE A, 3,127 SF  
3478 LAKESIDE DRIVE  
ATLANTA, GA 30326



830 GLENWOOD AVE SE SUITE 510-248  
ATLANTA, GA 30316 TEL: 404-584-1890

PERSPECTIVE VIEWS -  
EXTERIOR

**A6.5**