#### SAP Application 359 East Paces Ferry Road

#### I. **Project Summary.**

This special administrative permit application proposes the redevelopment of 359 East Paces Ferry Road with a new building containing office and retail uses and accessory parking. The program includes approximately 127,440 square feet of office with 8,000 square feet of sidewalk level retail use. Parking will be provided in a new parking structure and on street parking spaces will also be accommodated. A similar development was previously approved for construction pursuant to application SAP-15-066.

#### II. <u>Variations List and Responses.</u>

A. Section 16-18I.007(6). Reduce the active use requirement on Buckhead Avenue to allow loading and service areas to be provided on this frontage. (Prior approved variation)

The property is less than an acre in size and has three right of way frontages. The opportunity for loading and service areas is challenged based on these two site features. A variation is needed to allow a loading and service area for the project.

B. Section 16-18I.012 (Development Controls Table). Increase the maximum setback from back of required sidewalk from 20 feet to 54 feet at the corner of Grandview Avenue and East Paces Ferry Road.

The project includes significant plaza space on both East Paces Ferry Road and Grandview Avenue. Although the building is setback father than allowed per SPI-9, the benefit of the outdoor plaza will accommodate the same aesthetic benefit that the building placement requirement is intended to ensure.

- C. Section 16-18I.016 Supplemental Zone.
  - i. <u>Section 16-18I.016(1)</u>. <u>Increase allowable height of the supplemental zone</u> from 30 inches to 84 inches on Grandview Avenue.

Due to topographical constraints on the property, the supplemental zone will be taller than 30 inches on Grandview Avenue.

ii. <u>Section 16-18I.016(2)</u>. <u>Increase the allowable height of the plaza on</u> Grandview Avenue from 30 inches to 84 inches.

Due to topographical constraints, the plaza on Grandview Avenue is terraced into two levels. A variation is needed to accommodate inclusion of the plaza.

D. Section 16-18I.017(6)(a)(iii). Increase the allowable retaining wall height from 24 inches to 54 inches on Grandview Avenue.

Due to the sloping topography on Grandview Avenue, a retaining wall system is necessary to develop the property. The retaining wall has been minimized to the extent possible.

E. Section 16-18I.020(2)(b). Decrease the allowable distance between curb cuts or intersections from 100 feet to 15 feet on East Paces Ferry Road.

The project frontage on East Paces Ferry Road is 214 feet. The development design prioritizes the intersection of East Paces Ferry Road and Grandview Avenue for curb cut placement. A variation is needed to accommodate access to the site.

F. Section 16-18I.017(5). Decrease the required fenestration percentage on East Paces Ferry Road and Buckhead Avenue from 65% to 48%. (Prior approved Variation)

On East Paces Ferry Road the project provides a vehicular curb cut and pedestrian access opening at the sidewalk level. Due to the relatively short façade length, there is not another opportunity to provide fenestration on East Paces Ferry Road.

Similarly, on Buckhead Avenue the project provides fenestration but there is a loading curb cut. Due to the relatively short façade length, the 65% fenestration requirement cannot be met.

































SERVICE LEVEL FLOOR PLAN



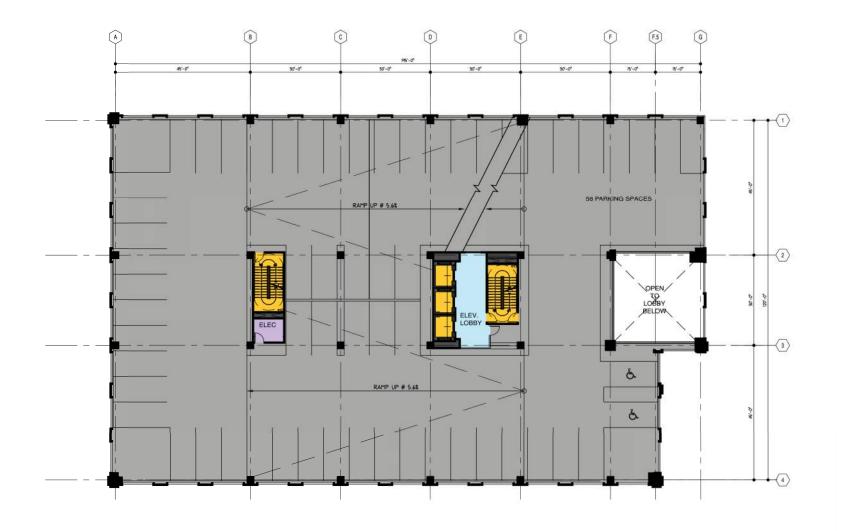










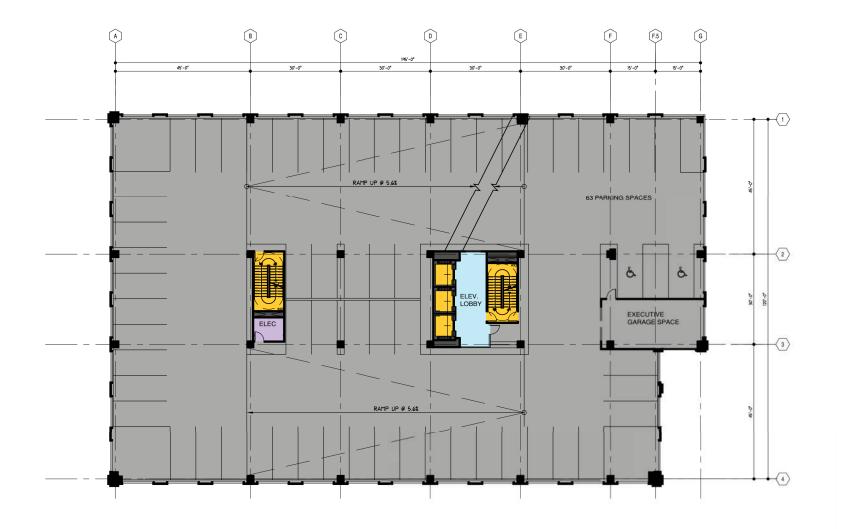


LEVEL 2 PARKING FLOOR PLAN







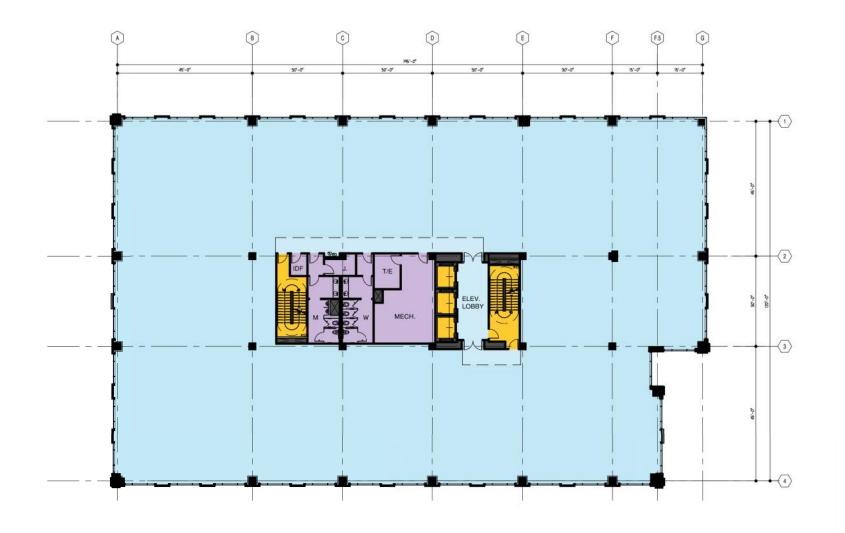


TYP. PARKING PARKING FLOOR PLAN (3-5)









TYP. OFFICE FLOOR PLAN (7-12)







This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SAP File Number: SAP - XX-XXX PRIOR APPROVED SAP FILE NUMBER SAP - 15-066 APPROVED: 06/24/16 AMENDED: 11/02/15 AMENDED: 12/15/15 AMENDED: 01/05/17 Zoning Classification SPI-9 Subarea Type 1

#### Adjacent Strees:

East Paces Ferry Road - Street Type 3 Grandview Avenue - Street Type 3 Buckhead Avenue - Street Type 3

#### **GENERAL NOTES:**

- ADDRESS NUMBERS ARE TO BE PROVIDED ON BUILDING AND BE A MINIMUM OF 6" IN HEIGHT.
- 2. MINIMUM (1) 12' X 35' LOADING ZONES REQUIRED.

#### **BIKE RACK NOTES:**

- 1. 5 BIKE RACKS (10 SPACES) PROVIDED ON THE SITE WITHIN THE STREETSCAPE FURNITURE ZONE.
- 2. 16 BIKE RACKS (32 SPACES) PROVIDED WITHIN THE PARKING DECK. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

#### LOT SIZE:

NET LOT AREA (NLA) = 0.96 ACRES (41,646 SF) GROSS LOT AREA (GLA) = 1.38 ACRES (60,311 SF)

#### **OPEN SPACE CALCULATIONS:**

- USEABLE OPEN SPACE REQUIRED = NOT REQUIRED (SITE IS UNER 1.0 ACRE)
- ÙSEABLE OPEN SPACE PROVIDED = N/A
- PUBLIC SPACE CALCULATIONS:
- 3. TOTAL PUBLIC SPACE REQUIRED (50% UOSR) = NOT REQUIRED (NO USEABLE OPEN SPACE REQUIREMENT)
- 4. TOTAL PUBLIC SPACE PROVIDED = N/A

CHAST. T

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#### LOT SIZE:

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#### OPEN SPACE CALCULATIONS:

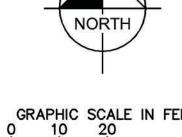
- USEABLE OPEN SPACE REQUIRED = NOT REQUIRED (SITE IS UNER 1.0 ACRE)
- USEABLE OPEN SPACE PROVIDED = N/A

#### **PUBLIC SPACE CALCULATIONS:**

- 3. TOTAL PUBLIC SPACE REQUIRED (50% UOSR) = NOT REQUIRED (NO USEABLE OPEN SPACE REQUIREMENT)
- 4. TOTAL PUBLIC SPACE PROVIDED = N/A

CHAST

SAP PLAN



#### SURVEY NOTES

EQUIPMENT USED: A TOPCON 223 TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS. A TRIMBLE R-8 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.

CLOSURE STATEMENT: THIS SURVEY HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 129,339 FEET.

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED, ARE WITHIN THE POSITIONAL TOLERANCES ALLOWED FOR ALTA/ACSM LAND TITLE SURVEYS PER THE 2011 MINIMUM TECHNICAL STANDARDS ESTABLISHED BY ALTA AND

ACSM AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT ONE FOOT INTERVALS.

ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING.

THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND. SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE.

THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF

STATE WATERS AND BUFFERS AS SHOWN OR NOT HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON. TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON MARCH 17, 2015.

## TITLE NOTES

ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF FULTON COUNTY, GEORGIA (PANEL NUMBER 13121C0234 F), DATED SEPTEMBER 18, 2013; NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY. SUBJECT PROPERTY HAS DIRECT VEHICULAR ACCESS TO THE PUBLIC RIGHT OF WAY OF GRANDVIEW AVENUE AND BUCKHEAD AVENUE, AS WELL AS PEDESTRIAN ACCESS TO GRANDVIEW AVENUE, BUCKHEAD AVENUE AND EAST PACES FERRY ROAD.

## PROPERTY DESCRIPTION

L THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 61 OF THE 17TH DISTRICT, CITY OF ATLANTA, FULTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A PK NAIL WITH WASHER "LSF000810" SET AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF GRANDVIEW AVENUE (HAVING AN APPARENT 50' RIGHT-OF-WAY) AND THE SOUTHERLY RIGHT-OF-WAY LINE OF EAST PACES FERRY ROAD (HAVING AN APPARENT VARIABLE RIGHT-OF-WAY); THENCE, LEAVING THE AFORESAID POINT AND CONTINUING WITH THE AFORESAID RIGHT-OF-WAY LINE OF EAST PACES FERRY ROAD

1. SOUTH 73° 14' 32" EAST, 214.09 FEET TO A 1/4 INCH REBAR FOUND; THENCE, LEAVING THE SAID RIGHT-OF-WAY LINE OF EAST PACES FERRY ROAD AND RUN WITH PROPERTY NOW OR FORMERLY OWNED BY G&Z REALTY COMPANY PER DEED BOOK 9782 PAGE 182 RECORDED AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA

2. SOUTH 08° 51' 28" WEST, 217.12 FEET TO A 1/2 INCH REBAR FOUND (BENT) ON THE NORTHERLY RIGHT-OF-WAY LINE OF BUCKHEAD AVENUE (HAVING AN APPARENT 50' RIGHT-OF-WAY); THENCE, LEAVING THE AFORESAID PROPERTY OF G&Z REALTY COMPANY AND CONTINUE WITH THE SAID RIGHT-OF-WAY LINE OF BUCKHEAD AVENUE 3. 155.65 FEET ALONG THE ARC OF A CURVE DEFLECTING TO THE LEFT, HAVING A RADIUS

OF 584.18 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 81° 14' 47" WEST, 155,19 FEET TO A PK NAIL WITH WASHER "LSF000810" SET AT THE POINT OF INTERSECTION WITH THE AFORESAID RIGHT-OF-WAY LINE OF GRANDVIEW AVENUE; THENCE, LEAVING THE AFORESAID RIGHT-OF-WAY LINE OF BUCKHEAD AVENUE AND CONTINUE WITH THE SAID RIGHT-OF-WAY LINE OF GRANDVIEW AVENUE

 NORTH 04° 07' 02" WEST, 253.30 FEET TO THE POINT OF BEGINNING, CONTAINING 41,646 SQUARE FEET OR 0.9561 ACRES OF LAND, MORE OR LESS. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY BOTH RECORDED

DATED APRIL 19, 2006 RECORDED IN DB. 42453 PG. 456 AMONG THE LAND RECORDS OF FULTON COUNTY, GEORGIA 2. QUITCLAIM DEED TO G&Z REALTY COMPANY

DATED MARCH 29, 2013 RECORDED IN DB. 52480 PG. 630

AFORESAID RECORDS

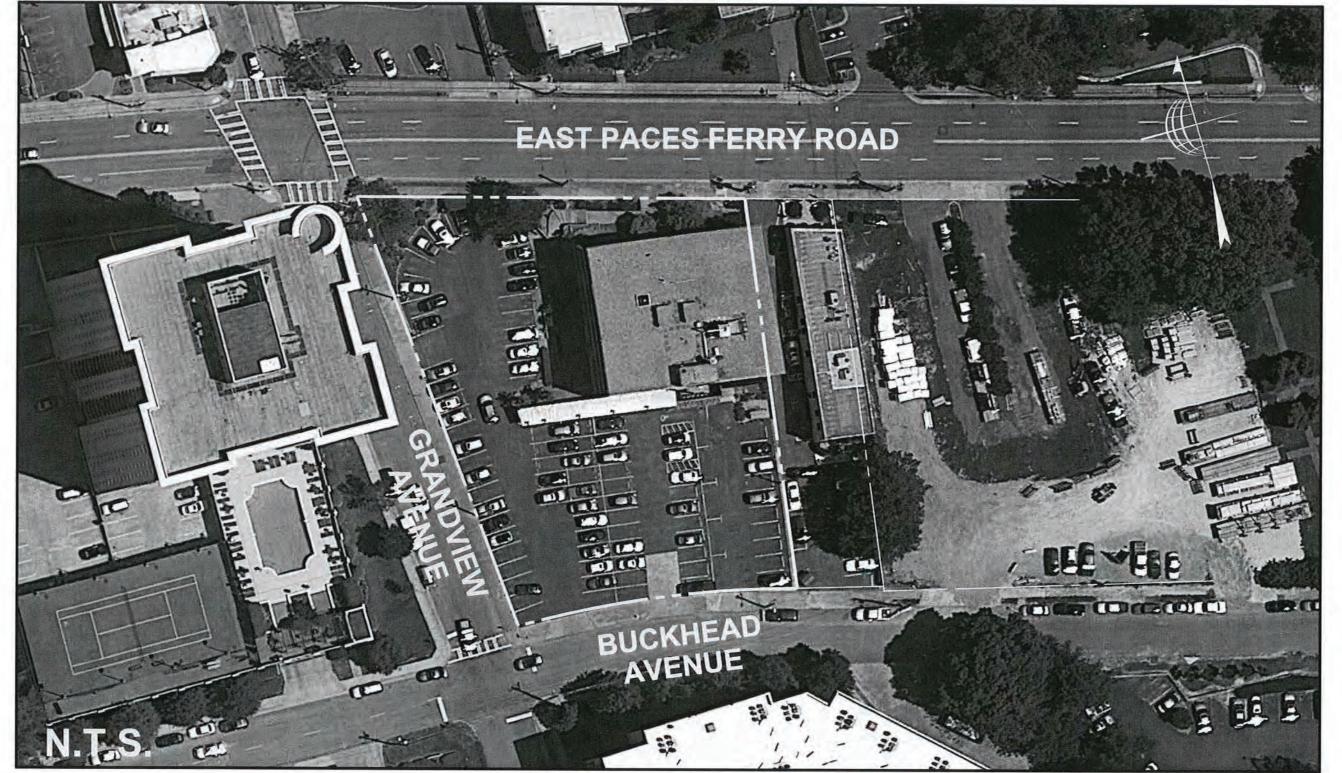
3. LIMITED WARRANTY DEEDS TO 367-371 EAST PACES FERRY ROAD, LLC DATED NOVEMBER 9, 2006 RECORDED IN DB. 43883 PG. 358 & DB. 43883 PG. 365 AFORESAID RECORDS

# ALTA/ACSM LAND TITLE SURVEY THE LOUDERMILK COMPANIES & 359 EAST PACES, LLC

## (359 EAST PACES FERRY ROAD)

LOCATED IN LAND LOT 61, 17TH DISTRICT CITY OF ATLANTA, FULTON COUNTY, GEORGIA

SITE MAP



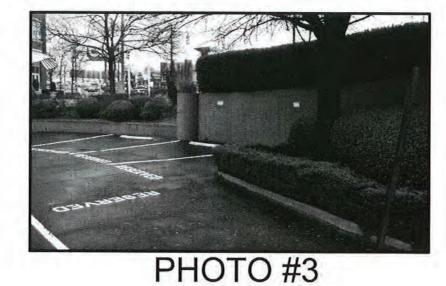
AERIAL IMAGE PROVIDED BY GOOGLE EARTH IMAGERY DATED MAY 5, 2014



PHOTO #1

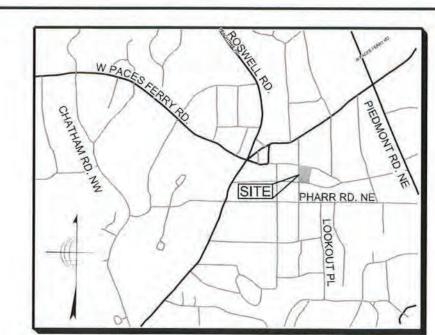








**PHOTO #6** 



**LOCATION MAP** 

NOT TO SCALE LAT - 33°50'18.62" N LONG - 84°22'33.51" W



#### SITE INFORMATION

TAX PARCEL ID # 17-006100090696

ADDRESS: 359 EAST PACES FERRY ROAD ZONING: SPI-9 SAI (BUCKHEAD VILLAGE DISTRICT) JURISDICTION: CITY OF ATLANTA

BUILDING AND DEVELOPMENT CONTROLS SUCH AS BUILDING SETBACKS, MINIMUM LOT SIZES, MAXIMUM BUILDING HEIGHTS, ETC. ARE DETERMINED BY SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION AND APPROVAL PARKING COUNT:

REGULAR PARKING -HANDICAPPED PARKING -TOTAL PARKING COUNT - 8

### **UTILITY NOTES**

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:

514 DUNELLA LANE PEACHTREE CITY, GA. 30269 PHONE: 404-312-6912 ATTENTION: HANS WONNEBERGER

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER, AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC. UTILIZING RADIO FREQUENCY TECHNIQUE AND IN ACCORDANCE TO LEVEL "B"UTILITY LOCATION CRITERIA. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES. SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN- SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THI TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATEL AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

#### **UTILITY PROVIDERS**

ATLANTA GAS LIGHT COMPANY AGL 10 PEACHTREE STREET NE ATLANTA, GA 30309 MARTIN MAREK (404) 584-4126

823 JEFFERSON STREET

ATLANTA, GA 30318 (404) 506-4569 IKE COLLINS

COMCAST (770) 559-6879 SANDRA ANDREWS GEORGIA POWER COMPANY

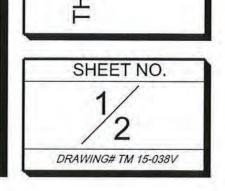
CITY OF ATLANTA DEPARTMENT OF WATERSHED MANAGEMENT 651 14TH STREET ATLANTA, GA 30318

COMMUNICATION

JAMES BOSTWICK

TO: THE LOUDERMILK COMPANIES & 359 EAST PACES, LLC THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS (1,2,3,4,5,6(b),7(a),7(b)),7(C),8,9,11 13,14,16,17,18,19,20(a) AND 21 OF TABLE A THEREOF, THE FIG ON MARCH 17, 2015. THE DATE OF THE PLAT OR MAP MARC





REFERENCE MATERIAL 1. LIMITED WARRANTY DEED TO 359 EAST PACES, LLC

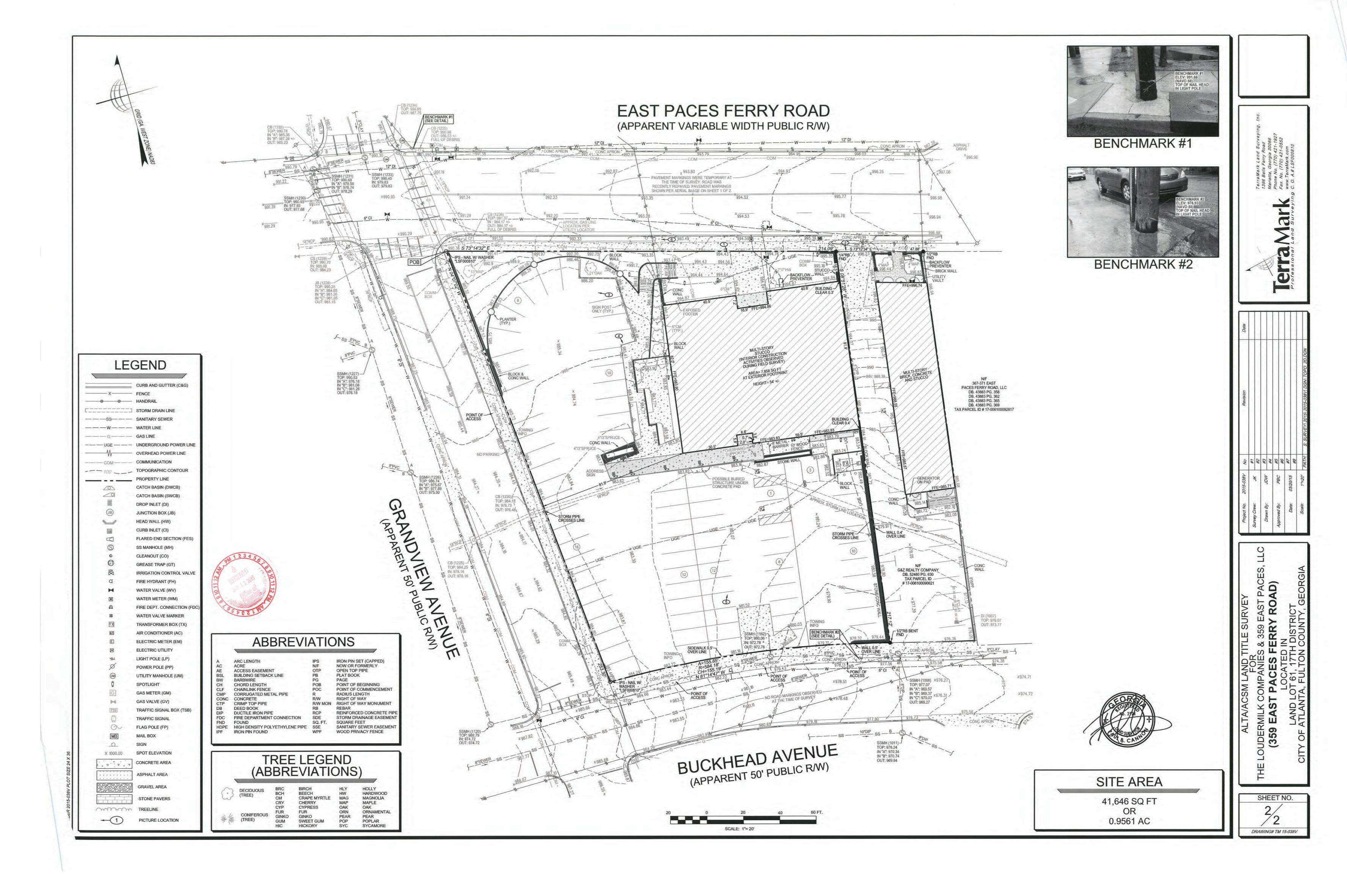


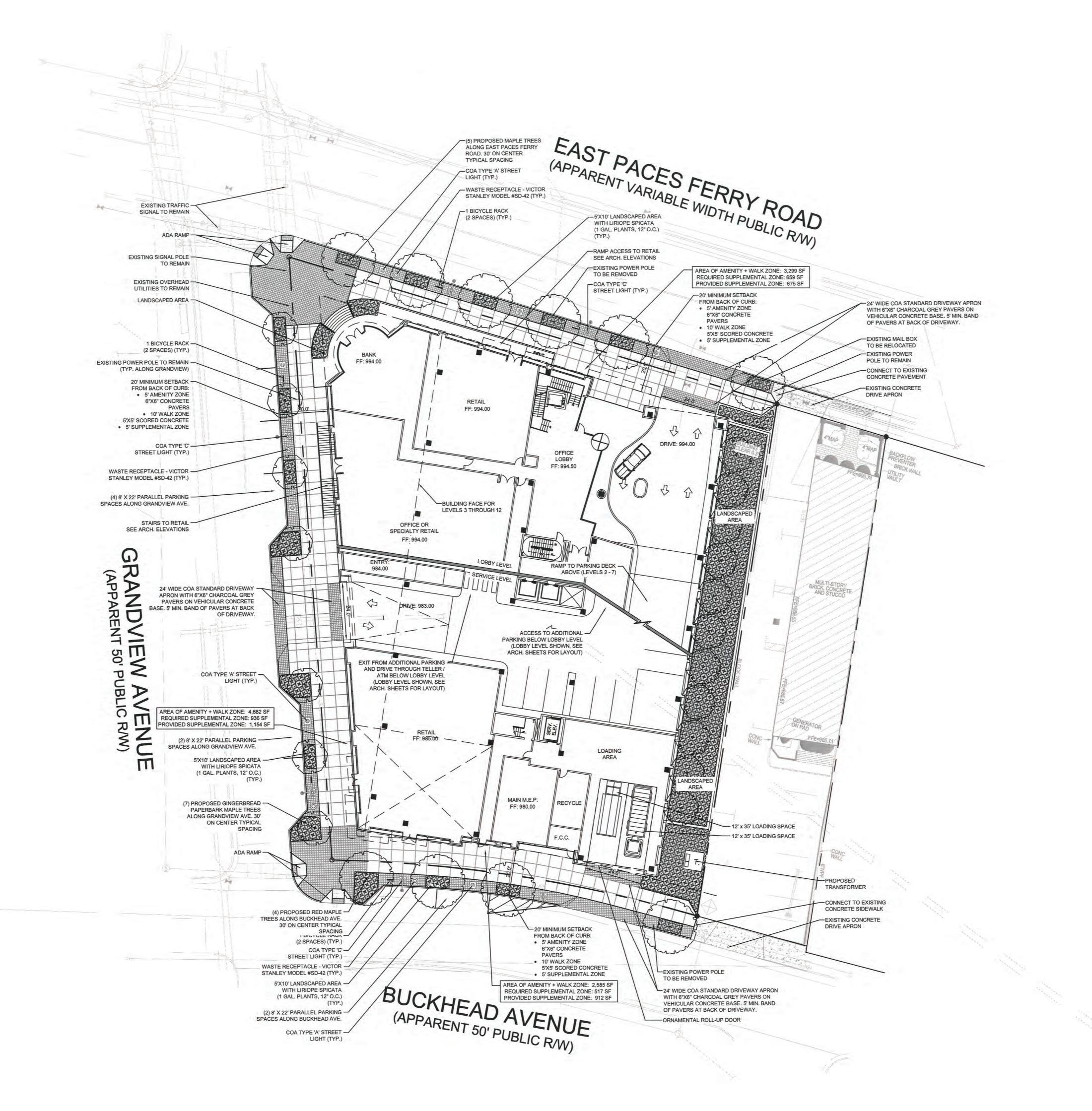


PHOTO #4



PHOTO #5





SAP File Number: SAP - \_ - \_ - \_ Zoning Classification SPI-9 Subarea Type 1

Adjacent Strees:
East Paces Ferry Road - Street Type 3
Grandview Avenue - Street Type 3
Buckhead Avenue - Street Type 3

Kimley-MHOrn
© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
817 WEST PEACHTREE ST, NW SUITE 601
ATLANTA, GEORGIA 30308-1121

#### GENERAL NOTES:

- ADDRESS NUMBERS ARE TO BE PROVIDED ON BUILDING AND BE A MINIMUM OF 6" IN HEIGHT.
- 2. 2 12' X 35' LOADING ZONES PROVIDED.

#### BIKE RACK NOTES:

- 5 BIKE RACKS (10 SPACES) PROVIDED ON THE SITE WITHIN THE STREETSCAPE FURNITURE ZONE.
- 20 BIKE RACKS (40 SPACES) PROVIDED WITHIN THE PARKING DECK. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

#### LOT SIZE:

NET LOT AREA (NLA) = 0.96 ACRES (41,646 SF) GROSS LOT AREA (GLA) = 1.38 ACRES (60,311 SF)

#### OPEN SPACE CALCULATIONS:

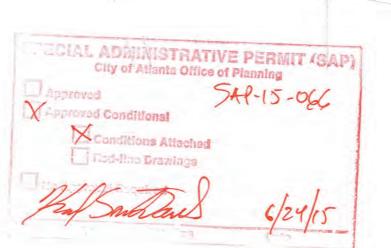
- USEABLE OPEN SPACE REQUIRED = NOT REQUIRED (SITE IS UNER 1.0 ACRE)
- 2. USEABLE OPEN SPACE PROVIDED = N/A

#### PUBLIC SPACE CALCULATIONS:

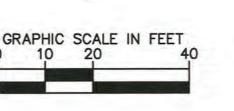
- TOTAL PUBLIC SPACE REQUIRED (50% UOSR) = NOT REQUIRED (NO USEABLE OPEN SPACE REQUIREMENT)
- 4. TOTAL PUBLIC SPACE PROVIDED = N/A

		359 East Paces Ferry			
Net Lot Area (NLA)	41,646 5	F / 0.96 Acres			
Gross Land Area (GLA)	60,311 S	F / 1.38 Acres			
	Bu	ilding Square Footage			
Proposed Residential SF	0 SF				
Proposed Non-Residential SF	147,118	SF			
	F	loor Area Ratio (FAR)			
Proposed Residential FAR <sup>1</sup>	0				
Proposed Non-Residential FAR	3.53 (NL/	4)			
		UOSR <sup>2</sup>			
Required UOSR	N/A - Sit	e is under 1 acre NLA			
UOSR Provided					
		Public Space			
Required Public Space	N/A - Sit	e is under 1 acre NLA			
Public Space Provided					
		Unit Information			
Total Number of Units	N/A				
Number of studio/1BR units	N/A				
Number of 2BR units	N/A	- Special			
Number of 3B units	N/A				
		Parking			
Minimum Required	Office - I	No Minimum; Retail – 35 spaces			
Maximum Residential	N/A				
Maximum Non-Residential	Office - 3	328 spaces; Retail – 47 spaces			
Total Maximum	375				
Parking Provided	Office - 3	803; Retail – 47; Total - 350			
		Bicycle Parking <sup>3</sup>			
Minimum required (1 per 5 units)	50				
Provided	50				
		Truck Loading			
Minimum Required	2 - 12'x3	5'; 1 – 12'x55'			
Provided	2 - 12'x3	5'			
		Fenestration			
R	equired	Provided			
East Paces Ferry	65%	81.7%			
Grandview Drive	65%	78.1%			
Buckhead Avenue	65%	65%			
1) Identify which lot size (NLA or C		1.1			

359 East Paces Ferry				
	Variations	SPI-9 code requirement		
1	Reduce active use along the eastern portion of Buckhead avenue to allow for loading and mechanical space.	16-181.007.6		
2	Eliminate one required 121' x 55' bay and provide the two required 12' x 35' loading dock bays.	16-181.019		







O5/13/2015

SCALE (H): AS SHOWN

SCALE (V): AS SHOWN

DESIGNED BY: ALF

DRAWN BY: JPR

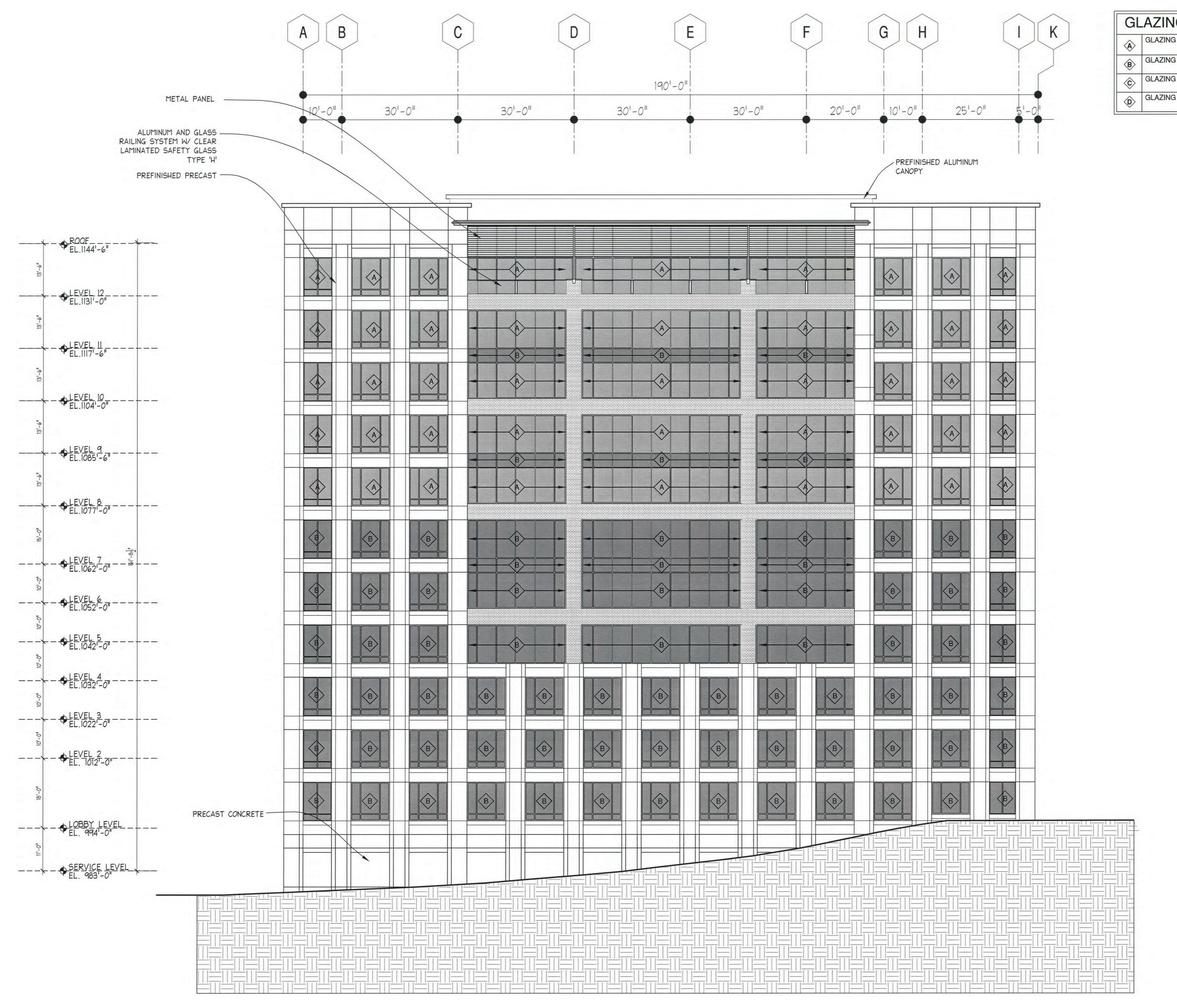
CHECKED BY: ALF

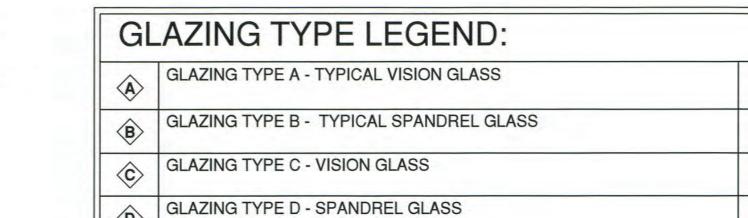
DATE: 05/13/2015

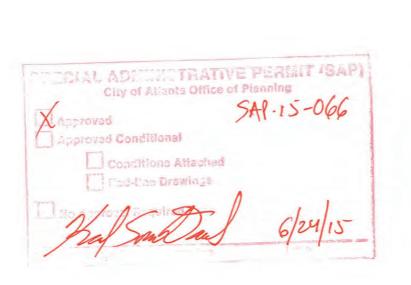
KHA PROJECT NO.:
019919002

SHEET NUMBER

C9-00









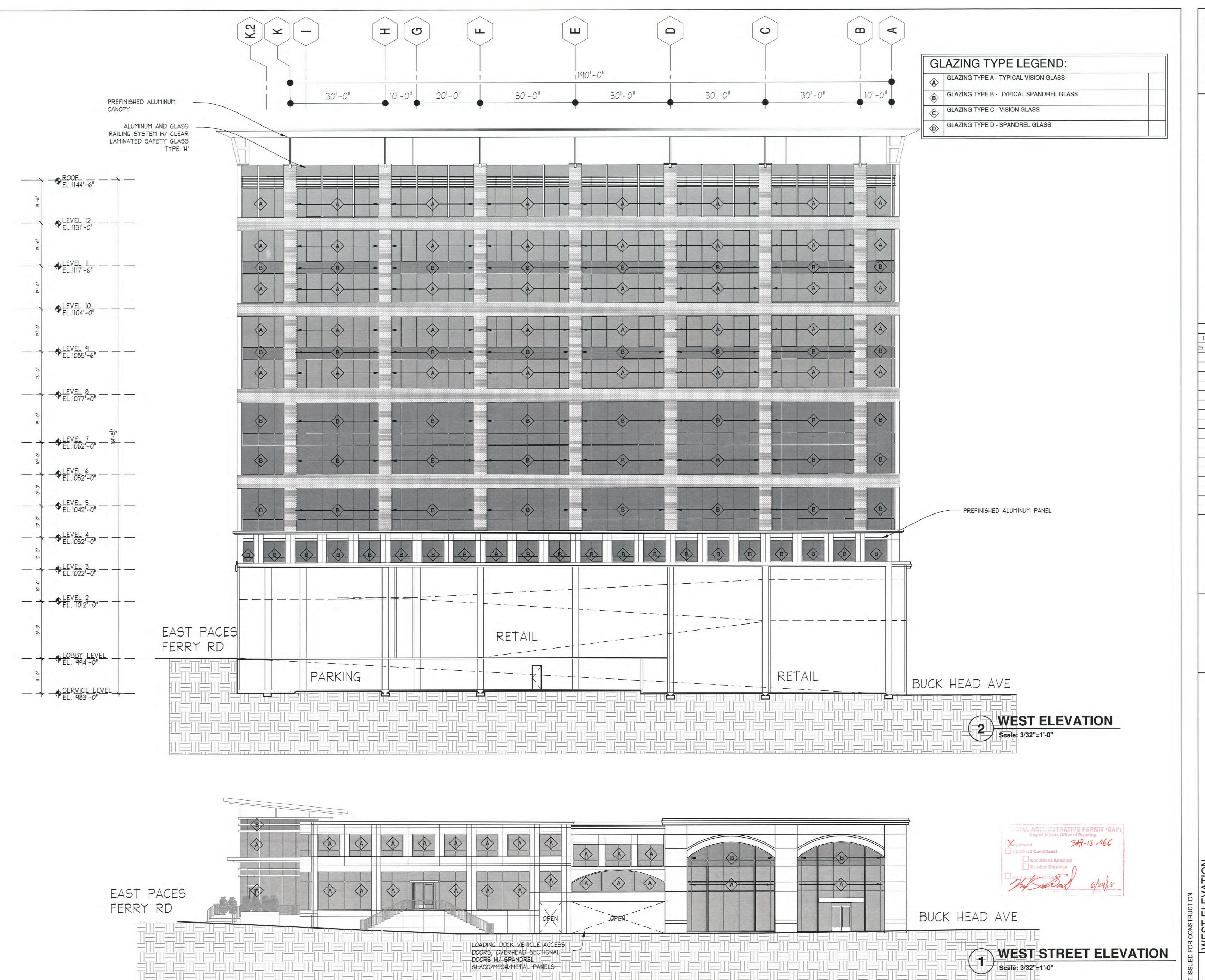
RUBIO ... OY TRAMMELL ARCHITECTURE -RULE

DATE 05.13.2015	ISSUE/REVISIO
05.13.2015	
	SAP SUBMIT

FERF CES 口

NOT ISSUED FOR CONSTRUCTION

EAST ELEVATION COMMISSION NO: 14-096,00 DRAWING NO:



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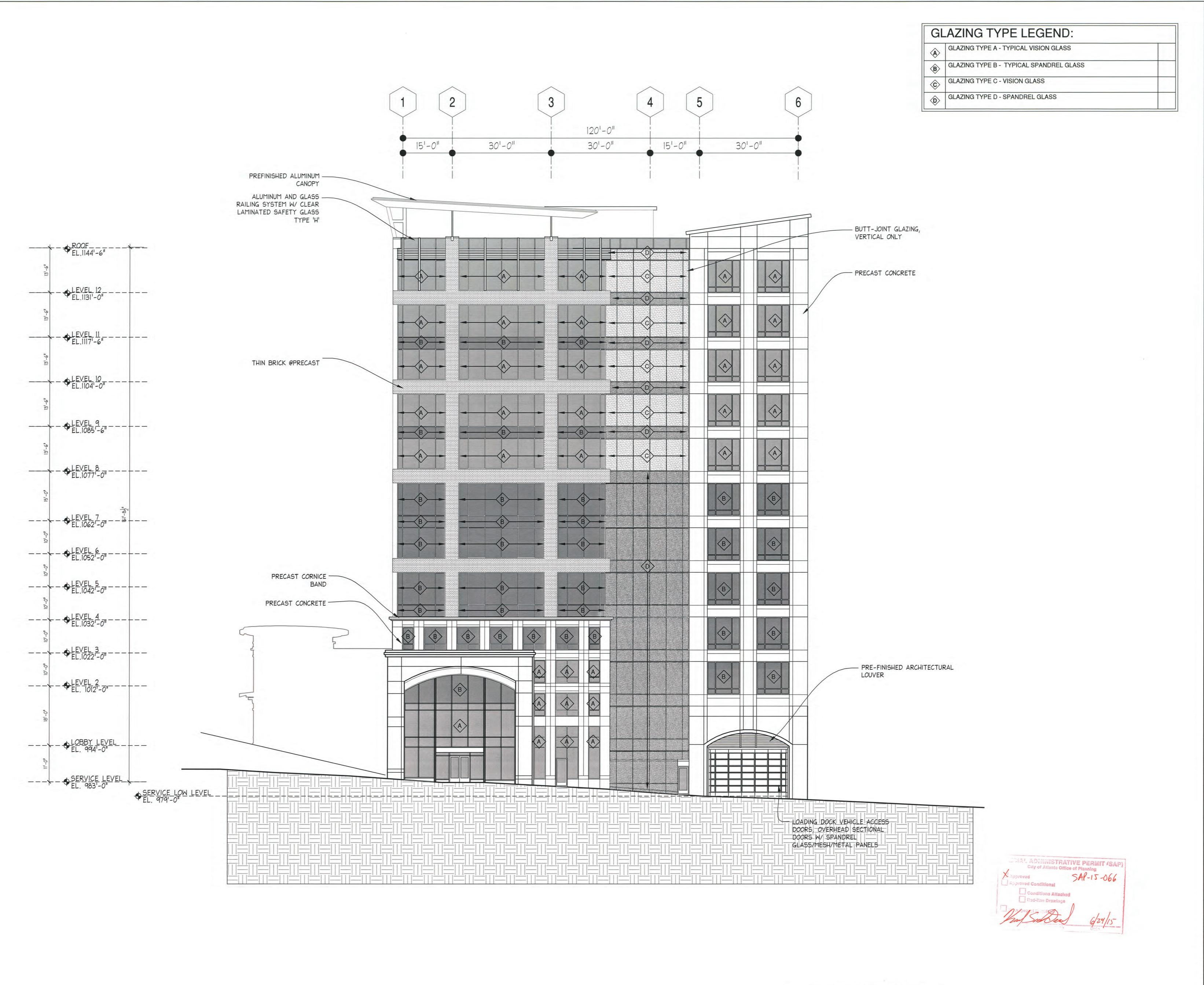
X PRINTED DATE | ISSUE/REVISION 05.13.2015 SAP SUBMIT

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WEST ELEVATION 口

3 COMMISSION NO: 14-096.00 DRAWING NO: A5-03

0



**SOUTH ELEVATION** 

Scale: 3/32"=1'-0"

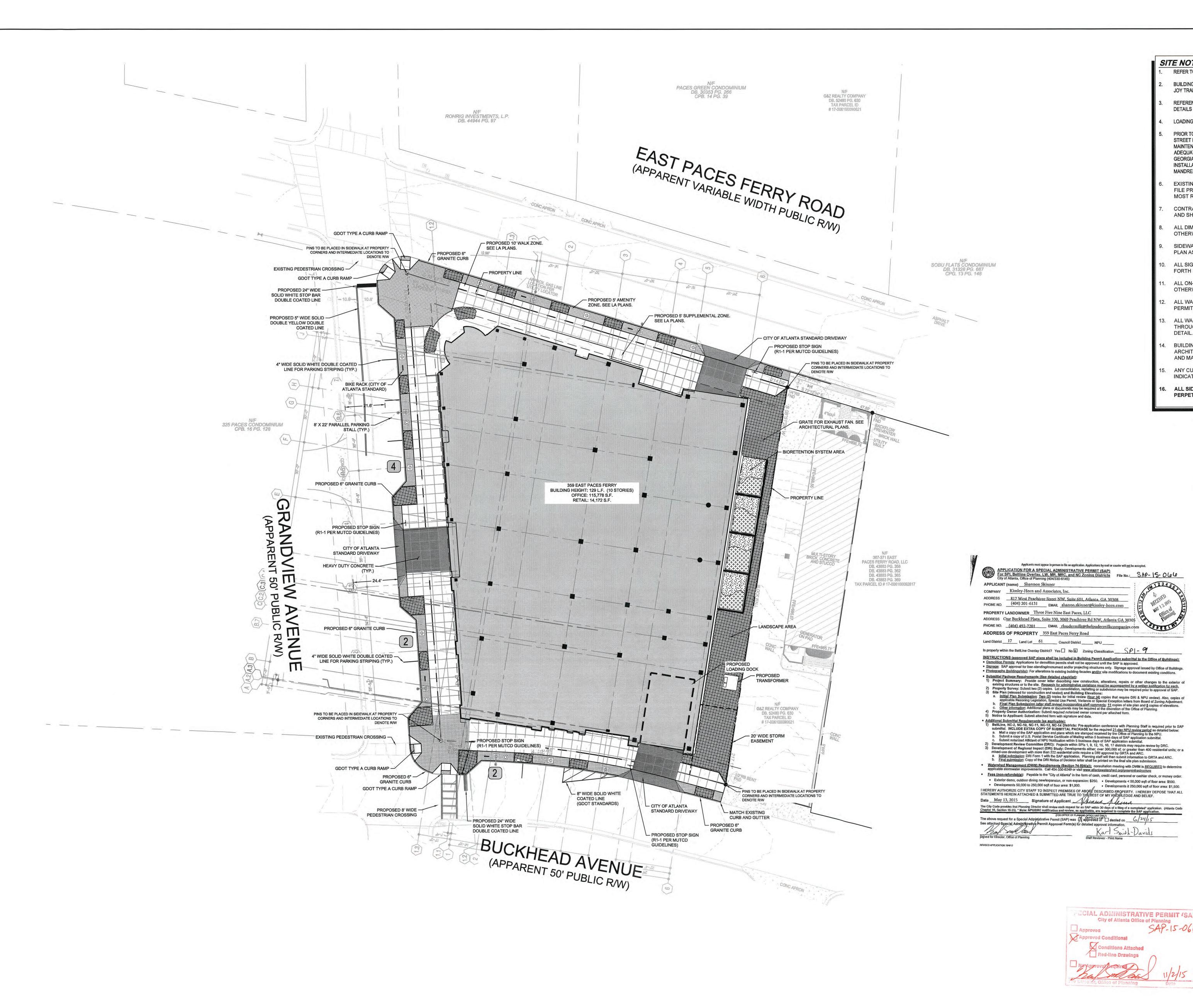
RUBIO LECTION DESIGN OY TRAMMELL ARCHITECTURE

-In PRINTED

DATE | ISSUE/REVISION 05.13.2015 SAP SUBMIT

SOUTH ELEVATION

COMMISSION NO: 14-096.00 DRAWING NO:



SITE NOTES

REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.

BUILDING FOOTPRINT SHOWN IS BASED ON ARCHITECTURAL PLANS PROVIDED BY RULE JOY TRAMMELL & RUBIO DATED 6/08/2015.

REFERENCE APPROVED SAP AND LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

LOADING AREAS ARE DESIGNED FOR 35' VEHICLE SIZE.

PRIOR TO THE DEDICATION AND ACCEPTANCE OF SANITARY SEWER, STORM SEWER OR STREET INFRASTRUCTURE TO THE CITY OF ATLANTA, "AS BUILT" DRAWINGS AND 3-YEAR MAINTENANCE BONDS ARE REQUIRED. THE STREET CONSTRUCTION SHALL DEMONSTRATE ADEQUATE COMPACTING WITH PROFESSIONAL TESTING AND REPORTS PREPARED BY A GEORGIA REGISTERED PROFESSIONAL CIVIL ENGINEER. THE SANITARY SEWER INSTALLATION SHALL INCLUDE AN INTERNAL TELEVISION INSPECTION, A SUCCESSFUL MANDRELL PULL AND SUCCESSFUL LEAKDOWN PRESSURE TEST.

EXISTING CONDITIONS SHOWN HEREON ARE FROM AN ELECTRONIC SURVEY FILE PROVIDED BY TERRAMARK WHICH WAS PROVIDED ON 03/26/2015 AND MOST RECENTLY REVISED ON 06/05/2015.

CONTRACTOR SHALL FIELD VERIFY "EXISTING CONDITIONS" SHOWN HEREON AND SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES.

ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.

ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET

OTHERWISE NOTED. SEE SHEET C8-06 FOR CURB DETAILS.

ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.

ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL. REFERENCE LANDSCAPE PLANS FOR

ARCHITECTURAL PLANS FOR BUILDING ADDRESS LOCATION, APPEARANCE, AND MAINTENANCE.

ANY CURB ADJACENT TO A FIRE HYDRANT SHALL BE PAINTED RED TO INDICATE NO PARKING.

ALL SIDEWALK LOCATED ON PRIVATE PROPERTY WILL BE MAINTAINED IN

VEHICULAR CONCRETE PAVEMENT PLANS FOR DETAIL.

**GDOT PAVEMENT MARKING** 



ALL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2003 EDITION, AND SHALL BE

\* BASED UPON APPROVED SAP (SAP-15-066, DATED 06-24-2015)

14,172 SF RETAIL

PROPOSED PARKING: PROVIDED 270

REQUIRED: PROVIDED:

MINIMUM REQUIRED: PROVIDED: LOADING SPACES:

NON-RESIDENTIAL (12'x35')

FECIAL ADMINISTRATIVE PERMIT (SAP)

Staff Reviewer - Print Name

NOTE REFERENCE LANDSCAPE PLANS FOR HARDSCAPE CALLOUTS / DETAILS.

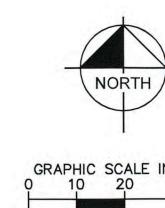
NOTE

IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

NOTE

CONTRACTOR MUST PROVIDE THREE (3) SETS OF "AS-BUILT" PLANS TO THE OWNER. AS-BUILT DRAWINGS MUST BE PREPARED AND SEALED BY A GEORGIA REGISTERED LAND SURVEYOR AND IN ACCORDANCE WITH REQUIREMENTS ON THIS SHEET.





DATE 6/08/2015

PACE

PROJECT NO. 019919002 SHEET NUMBER C2-00

FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.

ALL ON-SITE CURB TO BE STANDARD 6" GRANITE HEADER CURB UNLESS

BUILDING IDENTIFICATION SHALL BE A MINIMUM 12" IN HEIGHT. REFERENCE

PERPETUITY BY THE PROPERTY OWNER.

PAVING SECTION LEGEND

6"X6" CONCRETE PAVERS. SEE LA PLANS FOR DETAIL. CONCRETE SIDEWALK. SEE LA

CONCRETE SIDEWALK

mle

GSWCC LEVEL II #: 0000011643

- 00

FENCE. SEE LA PLANS FOR DETAIL

SIGN LEGEND



POST MOUNTED UNLESS OTHERWISE NOTED.

PARKING TABLE SUMMARY

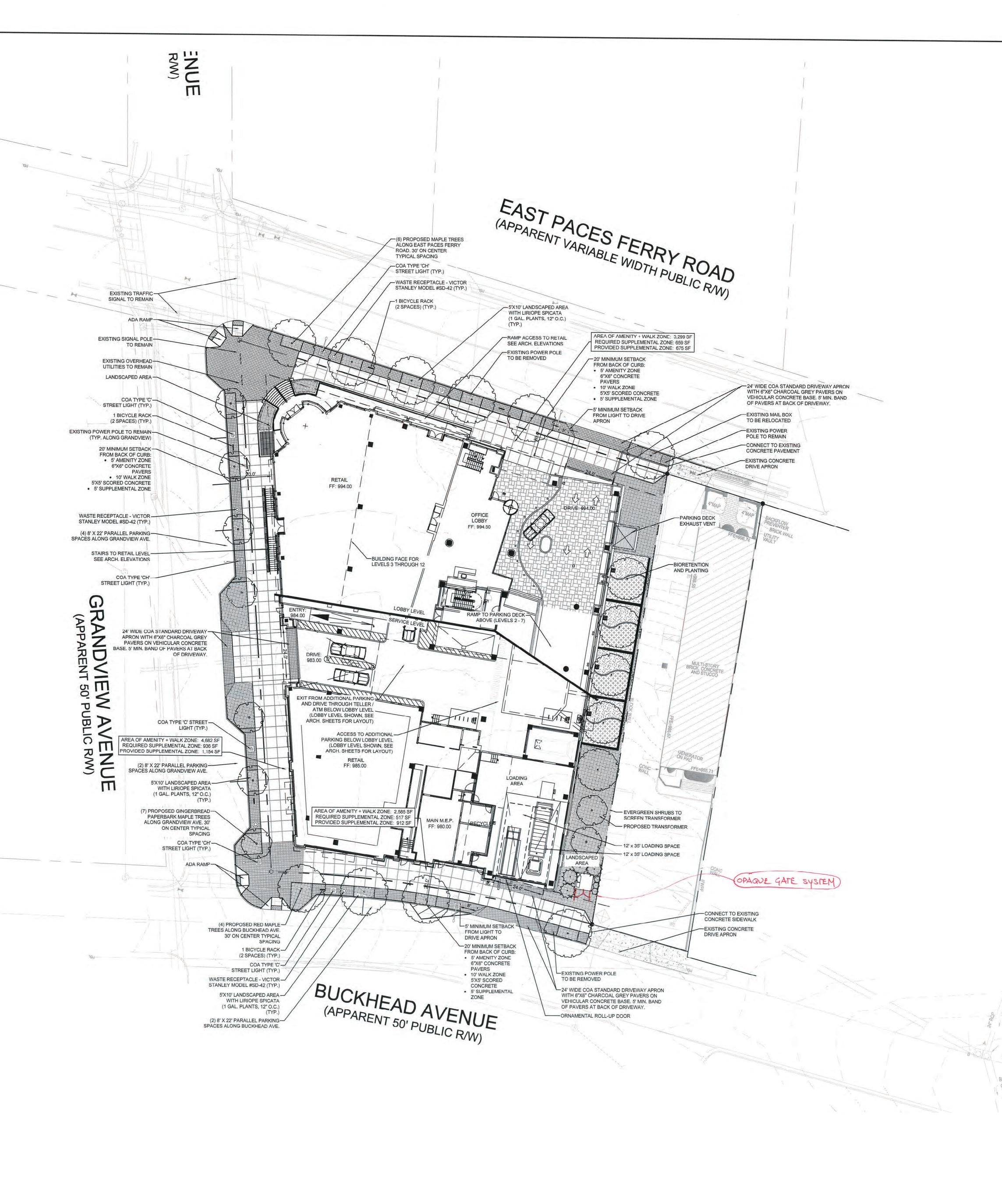
115,778 SF OFFICE PROPOSED USE:

MAXIMUM ALLOWED = 328 SPACES MAX. OFFICE PARKING: MAXIMUM ALLOWED = 47 SPACES MAX. RETAIL PARKING:

OFFICE/RETAIL ADA PARKING: (301-400, 8)

**BICYCLE PARKING SPACES:** (1 SPACE / 4,000 SF)

MINIMUM REQUIRED: PROVIDED:



SAP File Number: SAP - 15-066
Zoning Classification
SPI-9 Subarea Type 1

Adjacent Strees: East Paces Ferry Road - Street Type 3 Grandview Avenue - Street Type 3 Buckhead Avenue - Street Type 3

#### GENERAL NOTES:

- ADDRESS NUMBERS ARE TO BE PROVIDED ON BUILDING AND BE A MINIMUM OF 6" IN HEIGHT.
- 2. 2 12' X 35' LOADING ZONES PROVIDED.

#### BIKE RACK NOTES:

- 5 BIKE RACKS (10 SPACES) PROVIDED ON THE SITE WITHIN THE STREETSCAPE FURNITURE ZONE.
- 19 BIKE RACKS (38 SPACES) PROVIDED WITHIN THE PARKING DECK. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

### LOT SIZE:

NET LOT AREA (NLA) = 0.96 ACRES (41,646 SF) GROSS LOT AREA (GLA) = 1.38 ACRES (60,311 SF)

#### OPEN SPACE CALCULATIONS:

- 1. USEABLE OPEN SPACE REQUIRED = NOT REQUIRED (SITE IS UNER 1.0 ACRE)
- 2. USEABLE OPEN SPACE PROVIDED = N/A

#### PUBLIC SPACE CALCULATIONS:

- TOTAL PUBLIC SPACE REQUIRED (50% UOSR) = NOT REQUIRED (NO USEABLE OPEN SPACE REQUIREMENT)
   TOTAL PUBLIC SPACE PROVIDED = N/A
  - TO THE TOTAL OF THE THE THE

		359 East Paces Ferry	
Net Lot Area (NLA)	41,646	SF / 0.96 Acres	
Gross Land Area (GLA)	60,311	SF / 1.38 Acres	
	В	uilding Square Footage	
Proposed Residential SF	0.SF		
Proposed Non-Residential	147,159	SF	
SF			
		Floor Area Ratio (FAR)	
Proposed Residential FAR <sup>1</sup>	0		
Proposed Non-Residential FAR	3.53 (NL	A)	
		UOSR <sup>2</sup>	
Required UOSR	N/A - Si	te is under 1 acre NLA	
UOSR Provided			
		Public Space	
Required Public Space	N/A - Si	e is under 1 acre NLA	
Public Space Provided			
		Unit Information	
Total Number of Units	N/A		
Number of studio/1BR units	N/A		
Number of 2BR units	N/A		
Number of 3B units	N/A		
		Parking	
Minimum Required	Office -	No Minimum; Retail – 30 spaces	
Maximum Residential	N/A		
Maximum Non-Residential	Office - :	330 spaces; Retail – 40 spaces	
Total Maximum	375		
Parking Provided	Office - :	313; Retail – 30; Total - 343	
		Bicycle Parking <sup>3</sup>	
Minimum required (1/4000 SF)	38		
Provided	38	38	
	1.55	Truck Loading	
Minimum Required	2 - 12'x3'	5'; 1 – 12'x55'	
Provided	2 - 12'x3		
	- 4E X3	Fenestration	
l R	Required	Provided	
East Paces Ferry	65%	82.9%	
Grandview Drive	65%	81.7% <b>52</b> %	
TOTAL PLINE	5570	01.770 01/0	

359 East Paces Ferry					
	Variations	SPI-9 code requirement			
1	Reduce active use along the eastern portion of Buckhead avenue to allow for loading and mechanical space.	16-181.007.6			
2	Eliminate one required 12' x 55' bay and provide the two required 12' x 35' loading dock bays.	16-181.019			
3	Variation to reduce the required fenestration along Grandview Avenue from 65% to 52% minimum due to topographic constraints.	16-18 .017			

Identify which lot size (NLA or GLA) used to calculate FAR

B) Bicycle parking: no more than 50 spaces required for each parcel.

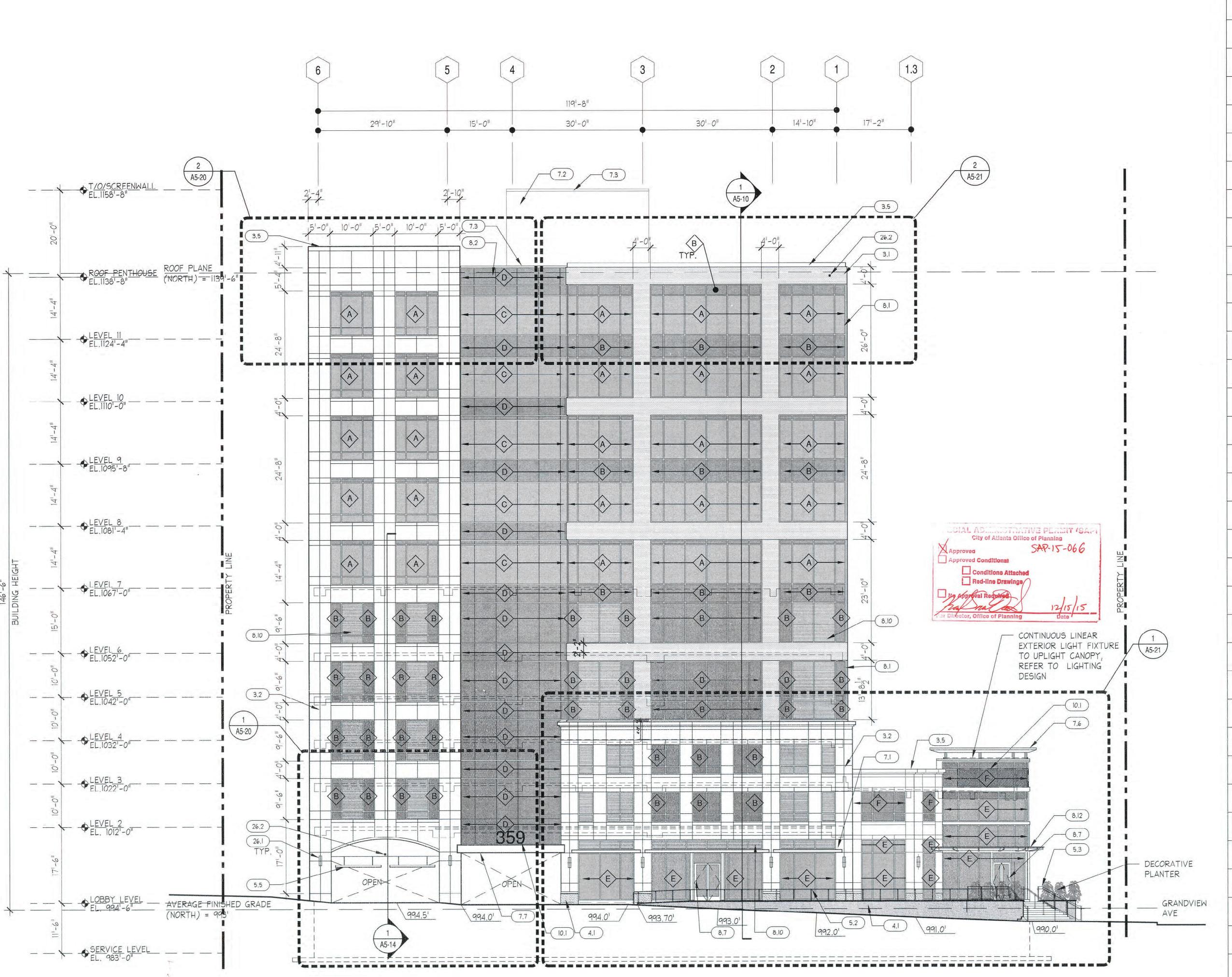
2) If using lot size for UOSR, lot size should match lot size used for FAR calculation





GRAPHIC SCALE IN FEET 0 10 20 40 DATE
6/08/2015
PROJECT NO.
019919002
SHEET NUMBER

C9-00



NORTH ELEVATION

Scale: 3/32"=1'-0"

26.2

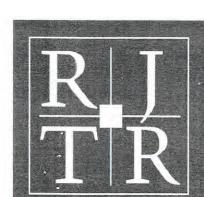
33.1

POWER FOR EXTERIOR BUILDING SIGNAGE

ROOF DRAINAGE

$\langle \hat{\mathbf{A}} \rangle$	GLAZING TYPE A - TYPICAL VISION GLASS AT OFFICE BUILDING (GUARDIAN SNR-43 ON CLEAR)
<b>B</b>	GLAZING TYPE B - TYPICAL SPANDREL GLASS AT OFFICE BUILDING (GUARDIAN SNR-43 W/CERAMIC FRIT ON #4 SURFACE)
<b>ⓒ</b>	GLAZING TYPE C - VISION GLASS AT OFFICE BUILDING VERTICAL BUTT-GLAZED (GUARDIAN SNR-43 ON CLEAR)
<b>(D)</b>	GLAZING TYPE D - SPANDREL GLASS AT OFFICE BUILDING VERTICAL BUTT-GLAZED (GUARDIAN SNR-43 W/ CERAMIC FRIT ON #4 SURFACE)
<b>⟨E</b> ⟩	GLAZING TYPE E -TYPICAL VISION GLASS AT OFFICE LOBBY LEVEL & RETAIL (GUARDIAN SN-54 ON CLEAR)
⟨ <b>F</b> ⟩	GLAZING TYPE F - TYPICAL SPANDREL GLASS AT RETAIL (GUARDIAN SN-54 W/ CERAMIC FRIT ON #4 SURFACE)
(Ĝ)	GLAZING TYPE G - LAMINATED METAL FACED PANEL W/

(F)	(GUARDIAN SN-54 W/ CERAMIC FRIT ON #4 SURFACE)  GLAZING TYPE G - LAMINATED METAL FACED PANEL W/	
<b>G</b>	INSULATING CORE MATERIAL	
ELEV	ATION KEY NOTES	
3.1	PRECAST ARCHITECTURAL CONCRETE W/ THIN-BRICK FACING	
3.2	PRECAST ARCHITECTURAL CONCRETE (COLOR: TBD, FINISH: HEAVY SANDBLAST)	
3.3	PRECAST ARCHITECTURAL CONCRETE PANEL WITH HORIZONTAL RIBBED PATTERN AND VERTICAL REVEALS AS SHOWN	Ĭ.
3.4	PRECAST ARCHITECTURAL PANELS, FINISH TO MATCH ADJACENT PRECAST, SET BACK 4" FROM FACE OF SPANDREL & COLUMN COPROVIDE HORIZONTAL & VERTICAL REVEALS AS SHOWN	VER.
3.5	PRE-CAST CONCRETE PARAPET COPING (COLOR: TBD, FINISH: H SANDBLAST)	EAVY
3.6	DECORATIVE INTEGRAL PRECAST MEDALLION	
4.1	EXTERIOR STONE CLADDING: GRANITE TO BE SELECTED BY ARCHITECT	
5.1	STAINLESS STEEL BOLLARD	
<b>(5.2)</b>	DECORATIVE STAINLESS STEEL HANDRAIL SYSTEM	
5.3	DECORATIVE STAINLESS STEEL AND GLASS GUARDRAIL / HANDRAIL SYSTEM	
5.5	HEIGHT CLEARANCE BAR: 6" DIAMETER PAINTED METAL BAR	
5.6	STAINLESS STEEL GRATING (WHEELS-N-HEELS)	
5.7	CONCRETE FILLED PAINTED STEEL BOLLARD	
6.1	PTD. PLYWOOD ON METAL STUD FRAMING	
7.1	PRE-FINISHED ALUMINUM CANOPY. GLAZED INTO CURTAIN WALL SYSTEM	
7.2	1-½" EXTERIOR INSULATION AND FINISHED SYSTEM (EIFS)	
7.3	PRE-FINISHED ALUMINUM PARAPET COPING	
7.4	OVERFLOW SCUPPER: PRE-FINISHED ALUMINUM THRU-WALL SCUPPER	
7.5	PRE-FINISHED ALUMINUM DOWNSPOUT	
7.6	CUSTOM ROOF CANOPY: CUSTOM PAINTED STEEL AND PRE-FINI ALUMINUM PANEL SYSTEM	SHED
7.7	ENTRANCE CANOPY: COMPOSITE METAL PANEL SYSTEM OVER OF FORM METAL FRAMING	COLD
8.1	PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM	
8.2	PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM W/ VERTICAL BUTT-GLAZING	- MAR 9-16
8.3	5" WIDE VERTICAL ACCENT MULLION	in the Section Section
8.4	LOADING DOCK VEHICLE ACCESS DOOR: SECTIONAL DOOR W/ SPANDREL GLASS, MESH AND METAL PANELS	
8.5	REVOLVING ENTRANCE DOOR: 9'-0" STAINLESS STEEL REVOLVING DOOR W/ GLASS TOP	G
8.6	ADA ENTRANCE DOOR: 9'-0" STAINLESS STEEL AND GLASS ENTR	ANCE
8.7	STOREFRONT DOOR: PRE-FINISHED ALUMINUM DOOR IN CURTA WALL SYSTEM, MATCH ADJACENT GLASS TYPE	IN
(8.8)	HOLLOW METAL DOOR IN HOLLOW METAL FRAME	
8.9	PRE-FINISHED ARCHITECTURAL LOUVER	ST STATE OF THE ST
8.10	PRE-FINISHED ARCHITECTURAL STORM LOUVER FOR MECHANICAL EXHAUST/INTAKE	Advantage of the control of the cont
8.11	OVERHEAD COILING DOOR	AT A MARK A SALAR
8.12	GLASS CANOPY: 1" CLEAR LAMINATED GLASS ON CANOPY GLAZ SUPPORT SYSTEM ON CUSTOM PAINTED STEEL RAFTER	ING
10.1	EXTERIOR BUILDING SIGNAGE, BY OTHERS	
22.1	FIRE DEPARTMENT CONNECTION	
	DECORATIVE WALL MOUNTED LIGHT FIXTURE	



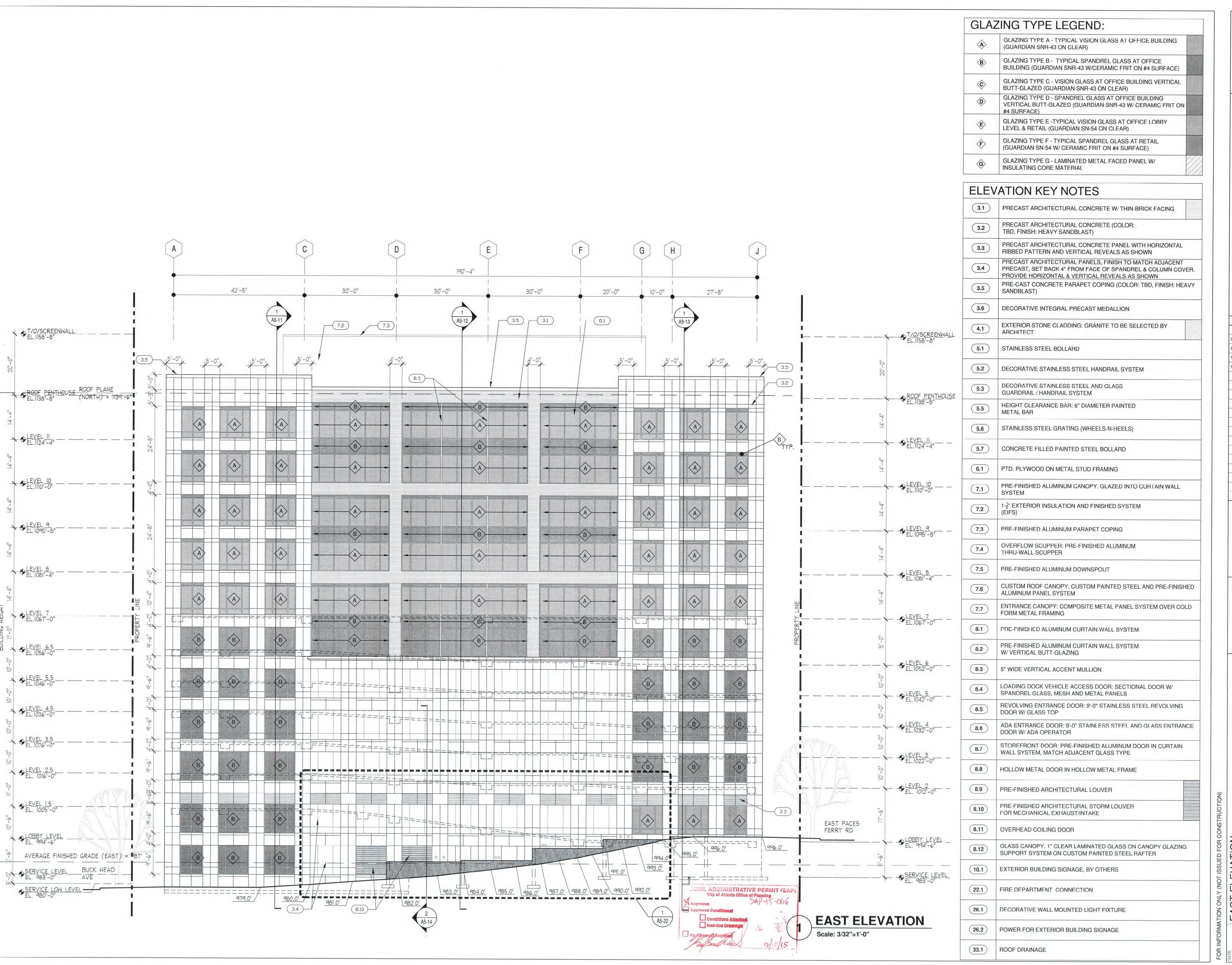
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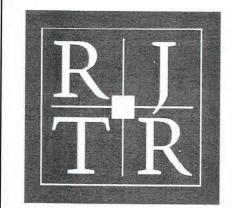
06/08/2015 100% SD 10/02/2015 LDP PERMIT 11/23/2015 DESIGN DEVELOPMENT

05/22/2015 80% SD

NORTH ELEVATION

COMMISSION NO: 14-096.00 DRAWING NO:





ULE JOY TRAMMELL RUBIO LC
ARCHITECTURE INTERIOR DESIGN
770-661-1492 (phone) 770-661-1493 (fax)

PRINTED

DATE ISSUE/REVISION

05/22/2015 80% SD

06/08/2015 100% SD

10/02/2015 LDP PERMIT

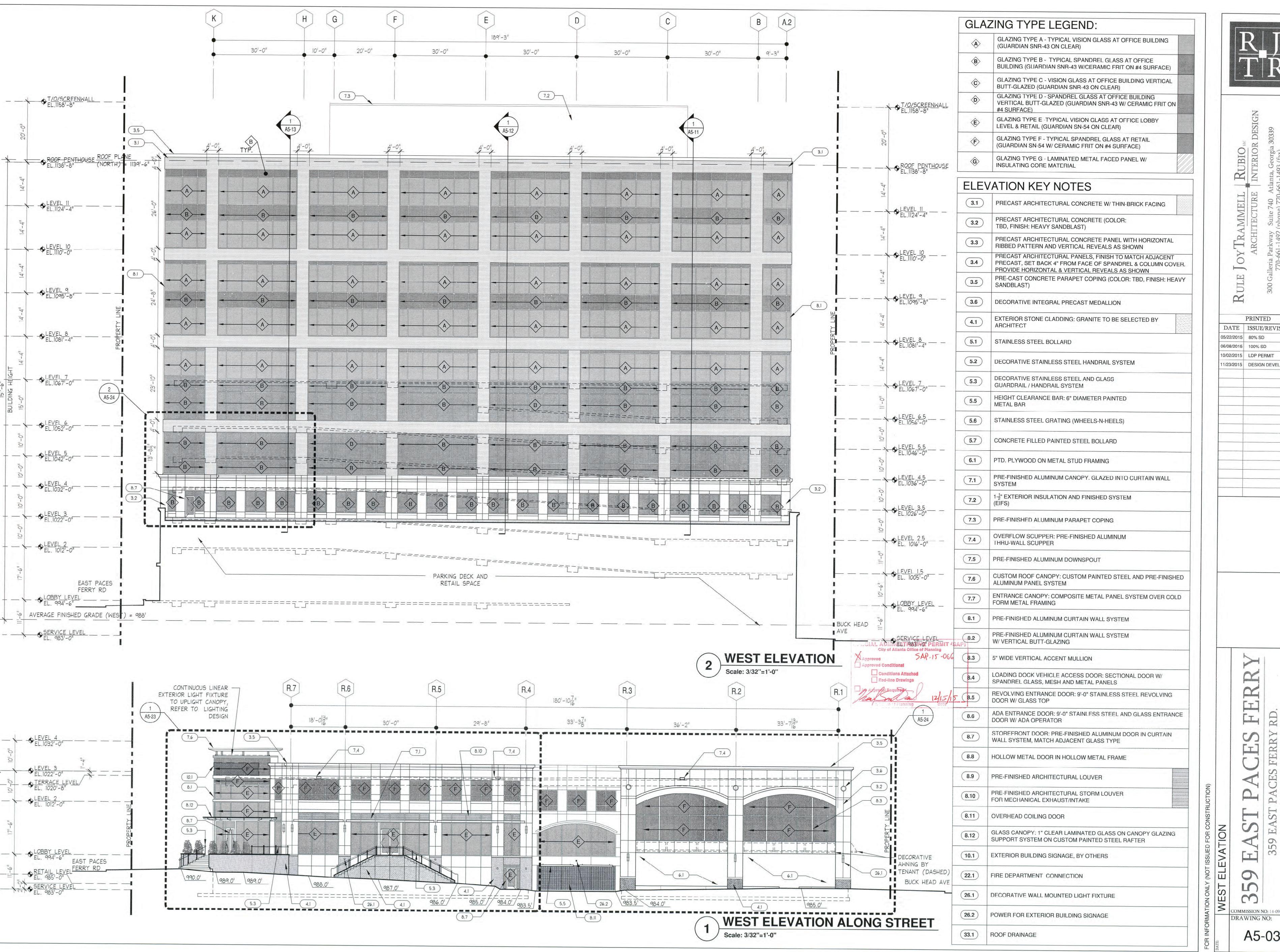
11/23/2015 DESIGN DEVELOPMENT

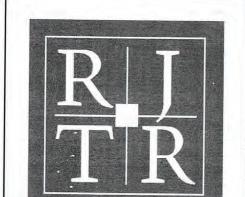
PACES FERRY RD.

59 EAST PACES

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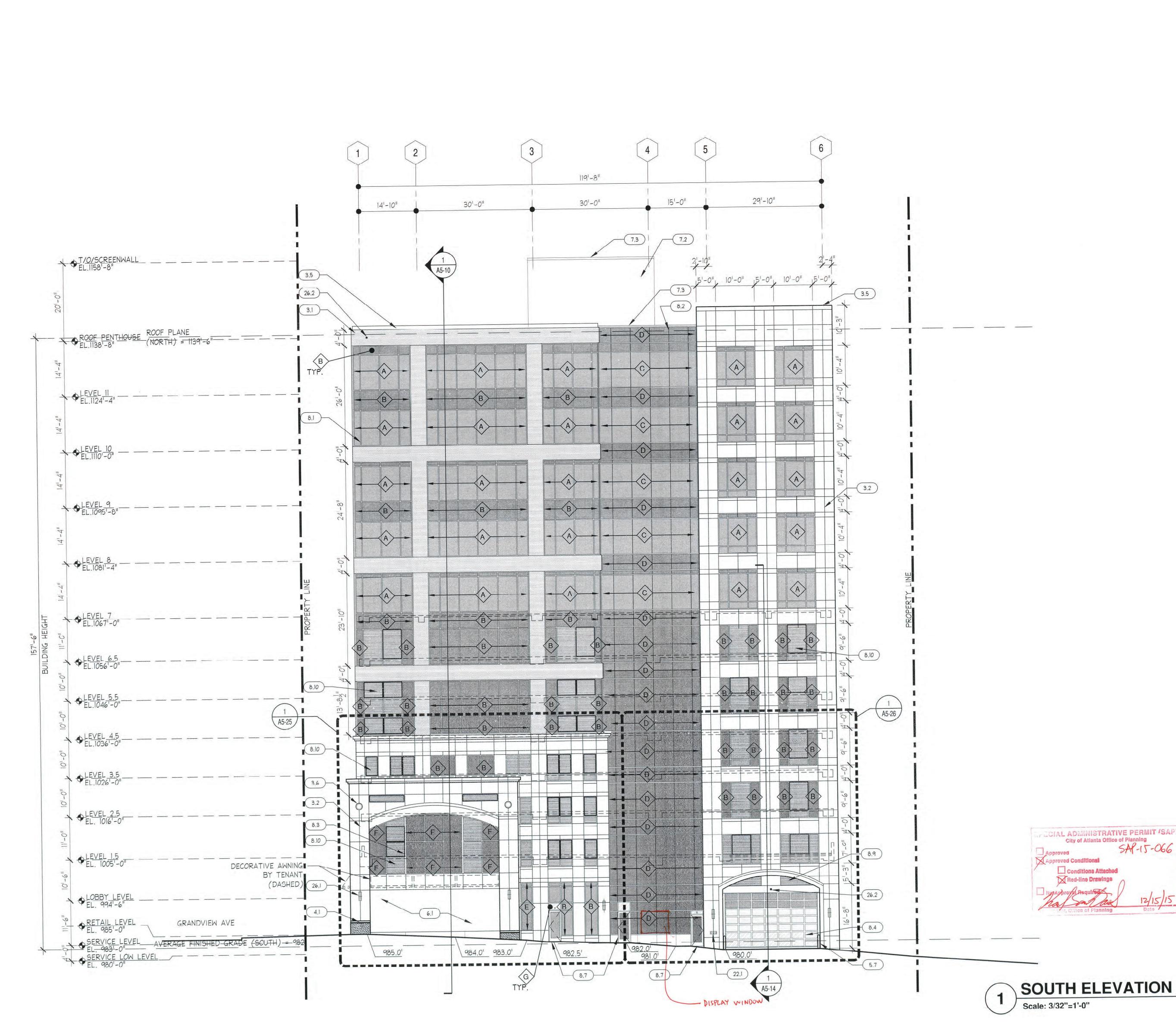
COMMISSION NO: 14-096.00 DRAWING NO:





DATE | ISSUE/REVISION 11/23/2015 DESIGN DEVELOPMENT

OMMISSION NO: 14-096.00



# GLAZING TYPE A - TYPICAL VISION GLASS AT OFFICE BUILDING (GUARDIAN SNR-43 ON CLEAR) B GLAZING TYPE B - TYPICAL SPANDREL GLASS AT OFFICE BUILDING (GUARDIAN SNR-43 W/CERAMIC FRIT ON #4 SURFACE) C GLAZING TYPE C - VISION GLASS AT OFFICE BUILDING VERTICAL BUTT-GLAZED (GUARDIAN SNR-43 ON CLEAR) D GLAZING TYPE D - SPANDREL GLASS AT OFFICE BUILDING VERTICAL BUTT-GLAZED (GUARDIAN SNR-43 W/ CERAMIC FRIT ON #4 SURFACE) E GLAZING TYPE E -TYPICAL VISION GLASS AT OFFICE LOBBY LEVEL & RETAIL (GUARDIAN SN-54 ON CLEAR) C GLAZING TYPE F - TYPICAL SPANDREL GLASS AT RETAIL (GUARDIAN SN-54 W/ CERAMIC FRIT ON #4 SURFACE)

⟨ <b>F</b> ⟩	(GUARDIAN SN-54 W/ CERAMIC FRIT ON #4 SURFACE)	
<b>©</b>	GLAZING TYPE G - LAMINATED METAL FACED PANEL W/ INSULATING CORE MATERIAL	
ELEV	ATION KEY NOTES	
3.1	PRECAST ARCHITECTURAL CONCRETE W/ THIN-BRICK FACING	
3.2	PRECAST ARCHITECTURAL CONCRETE (COLOR: TBD, FINISH: HEAVY SANDBLAST)	
3.3	PRECAST ARCHITECTURAL CONCRETE PANEL WITH HORIZONTAL RIBBED PATTERN AND VERTICAL REVEALS AS SHOWN	
3.4	PRECAST ARCHITECTURAL PANELS, FINISH TO MATCH ADJACENT PRECAST, SET BACK 4" FROM FACE OF SPANDREL & COLUMN COVPROVIDE HORIZONTAL & VERTICAL REVEALS AS SHOWN	ER.
3.5	PRE-CAST CONCRETE PARAPET COPING (COLOR: TBD, FINISH: HE SANDBLAST)	AVY
3.6	DECORATIVE INTEGRAL PRECAST MEDALLION	
4.1	EXTERIOR STONE CLADDING: GRANITE TO BE SELECTED BY ARCHITECT	
5.1	STAINLESS STEEL BOLLARD	
5.2	DECORATIVE STAINLESS STEEL HANDRAIL SYSTEM	
5.3	DECORATIVE STAINLESS STEEL AND GLASS GUARDRAIL / HANDRAIL SYSTEM	
5.5	HEIGHT CLEARANCE BAR: 6" DIAMETER PAINTED METAL BAR	
5.6	STAINLESS STEEL GRATING (WHEELS-N-HEELS)	
5.7	CONCRETE FILLED PAINTED STEEL BOLLARD	
6.1	PTD. PLYWOOD ON METAL STUD FRAMING	
7.1	PRE-FINISHED ALUMINUM CANOPY. GLAZED INTO CURTAIN WALL SYSTEM	
7.2	$1-\frac{1}{2}$ " EXTERIOR INSULATION AND FINISHED SYSTEM (EIFS)	
7.3	PRE-FINISHED ALUMINUM PARAPET COPING	
7.4	OVERFLOW SCUPPER: PRE-FINISHED ALUMINUM THRU-WALL SCUPPER	
7.5	PRE-FINISHED ALUMINUM DOWNSPOUT	
7.6	CUSTOM ROOF CANOPY: CUSTOM PAINTED STEEL AND PRE-FINI ALUMINUM PANEL SYSTEM	SHED
7.7	ENTRANCE CANOPY: COMPOSITE METAL PANEL SYSTEM OVER C FORM METAL FRAMING	OLD
8.1	PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM	
8.2	PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM W/ VERTICAL BUTT-GLAZING	
8.3	5" WIDE VERTICAL ACCENT MULLION	
8.4	LOADING DOCK VEHICLE ACCESS DOOR: SECTIONAL DOOR W/ SPANDREL GLASS, MESH AND METAL PANELS	
8.5	REVOLVING ENTRANCE DOOR: 9'-0" STAINLESS STEEL REVOLVING DOOR W/ GLASS TOP	IG
8.6	ADA ENTRANCE DOOR: 9'-0" STAINLESS STEEL AND GLASS ENTE DOOR W/ ADA OPERATOR	RANCE
8.7	STOREFRONT DOOR: PRE-FINISHED ALUMINUM DOOR IN CURTA WALL SYSTEM, MATCH ADJACENT GLASS TYPE	IN
8.8	HOLLOW METAL DOOR IN HOLLOW METAL FRAME	Barrer.
8.9	PRE-FINISHED ARCHITECTURAL LOUVER	CONTROL OF THE PARTY OF T
8.10	PRE-FINISHED ARCHITECTURAL STORM LOUVER FOR MECHANICAL EXHAUST/INTAKE	
8.11	OVERHEAD COILING DOOR	
8.12	GLASS CANOPY: 1" CLEAR LAMINATED GLASS ON CANOPY GLAZ SUPPORT SYSTEM ON CUSTOM PAINTED STEEL RAFTER	ZING
10.1	EXTERIOR BUILDING SIGNAGE, BY OTHERS	
22.1	FIRE DEPARTMENT CONNECTION	
26.1	DECORATIVE WALL MOUNTED LIGHT FIXTURE	

33.1

ROOF DRAINAGE

RIJTR

RULE JOY TRAMMELL RUBIO LC

ARCHITECTURE INTERIOR DESIGN

ASSOCIATED Atlanta, Georgia 30339

ANDERSON ATLANTANIA ATLANTAN

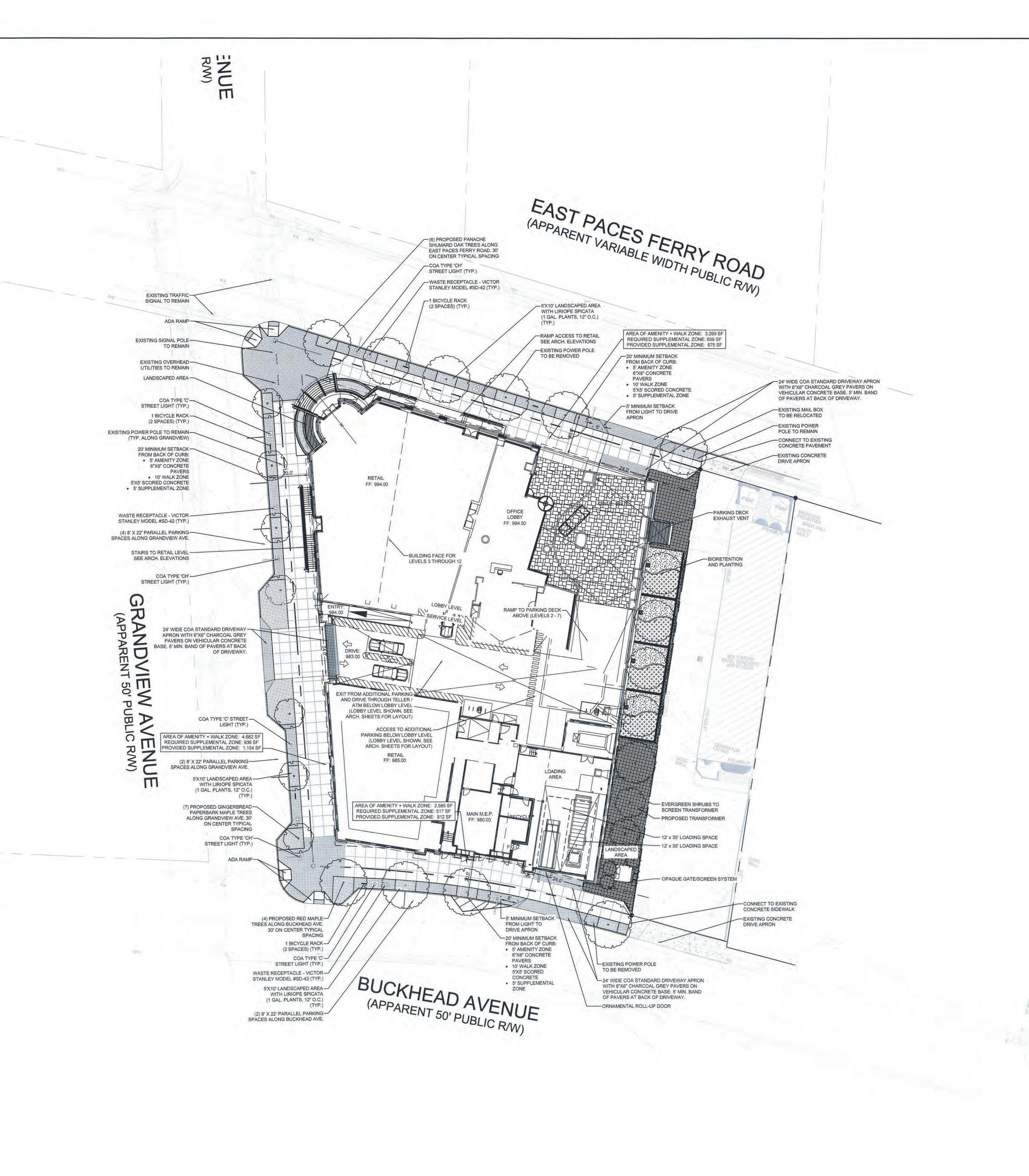
11/23/2015 DESIGN DEVELOPMENT

PACES FERRY RD.

SOUTH ELEVATION

SOUTH ELEVATION

COMMISSION NO: 14-096.00
DRAWING NO:



SAP File Number: SAP - 15-066
Zoning Classification
SPI-9 Subarea Type 1

Adjacent Strees: East Paces Ferry Road - Street Type 3 Grandview Avenue - Street Type 3 Buckhead Avenue - Street Type 3

#### GENERAL NOTES:

- ADDRESS NUMBERS ARE TO BE PROVIDED ON BUILDING AND BE A MINIMUM OF 6" IN HEIGHT.
- 2. 2 12' X 35' LOADING ZONES PROVIDED.

#### BIKE RACK NOTES:

- 5 BIKE RACKS (10 SPACES) PROVIDED ON THE SITE WITHIN THE STREETSCAPE FURNITURE ZONE.
- 19 BIKE RACKS (38 SPACES) PROVIDED WITHIN THE PARKING DECK. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

#### LOT SIZE:

NET LOT AREA (NLA) = 0.96 ACRES (41,646 SF) GROSS LOT AREA (GLA) = 1.38 ACRES (60,311 SF)

#### OPEN SPACE CALCULATIONS:

- 1. USEABLE OPEN SPACE REQUIRED = NOT REQUIRED
- 2. USEABLE OPEN SPACE PROVIDED = N/A

#### PUBLIC SPACE CALCULATIONS:

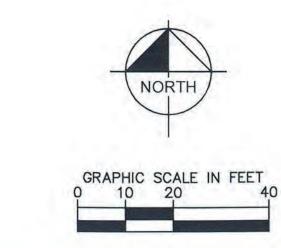
- 3. TOTAL PUBLIC SPACE REQUIRED (50% UOSR) = NOT REQUIRED
- (NO USEABLE OPEN SPACE REQUIREMENT)
  4. TOTAL PUBLIC SPACE PROVIDED = N/A

		359 East Paces Ferry		
Net Lot Area (NLA)		SF / 0.96 Acres		
Gross Land Area (GLA)		SF / 1.38 Acres		
		uilding Square Footage		
Proposed Residential SF	0 SF			
Proposed Non-Residential SF	147,159	) SF		
		Floor Area Ratio (FAR)		
Proposed Residential FAR	0			
Proposed Non-Residential FAR	3.53 (NI	LA)		
		UOSR <sup>2</sup>		
Required UOSR	N/A - S	ite is under 1 acre NLA		
UOSR Provided				
		Public Space		
Required Public Space	N/A - Si	ite is under 1 acre NLA		
Public Space Provided				
		Unit Information		
Total Number of Units	N/A			
Number of studio/1BR un	ts N/A			
Number of 2BR units	N/A			
Number of 3B units	N/A			
		Parking		
Minimum Required	Office -	Office - No Minimum; Retail - 30 spaces		
Maximum Residential	N/A			
Maximum Non-Residentia	I Office -	330 spaces; Retail – 40 spaces		
Total Maximum	375			
Parking Provided	Office -	313; Retail – 30; Total - 343		
		Bicycle Parking <sup>3</sup>		
Minimum required (1/4000 SF)	38			
Provided	38			
	8,	Truck Loading		
Minimum Required	2 - 12'x	35'; 1 – 12'x55'		
Provided	2 - 12'x	35'		
		Fenestration		
	Required	Provided		
East Paces Ferry	65%	82,9%		
Grandview Drive	65%	52%		
Buckhead Avenue	65%	74%		

	359 East Paces Ferry					
	Variations	SPI-9 code requirement				
1	Reduce active use along the eastern portion of Buckhead avenue to allow for loading and mechanical space.	16-181.007.6				
2	Eliminate one required 12' x 55' bay and provide the two required 12' x 35' loading dock bays.	16-181.019				
3	Variation to reduce the required fenestration along Grandview Avenue from 65% to 52% minimum due to topographic constraints.	16-181.017				

3) Bicycle parking: no more than 50 spaces required for each parcel.





DESIGN DEVELOPM ISSUE FOR CONSTRING.

TES, INC.
30009

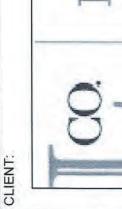
EIM EY MAN HARETTA, GEORGIA 3000 PHONE (770) 619-4280 WWW.KIMLEY-HORN.COM



12-15-2015 12-15-2015 12-15-2015

AS NOT DRAWN BY: LD DESIGNED BY: LD

LOUDERMILE



EAST PACES FERRY RC

PROJECT: 359 E/

PROJECT NO. 019919002 SHEET NUMBER

C9-00



APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP) For SPI, Beltline Overlay, LW, MR, MRC, and NC Zoning Districts City of Atlanta, Office of Planning (404/330-6145)  File No.: SAP-15-064
APPLICANT (name) Shannon Skinner
ADDRESS 817 West Peachtree Street NW Suite 601 Atlanta CA 20209
PHONE NO. (404) 201-6131 EMAIL shapen skipper@kimley how com
ADDRESS One Buckhead Plaza, Suite 330, 3060 Peachtree Rd NW, Atlanta GA 30305
PHONE NO. (404) 492-7201 EMAIL rloudermilk@theloudermilkcompanies.com
ADDRESS OF PROPERTY 359 East Paces Ferry Road
Land District 17 Land Lot 61 Council District NPU NPU
Is property within the BeltLine Overlay District? Yes \( \bar{\pi} \) No \( \bar{\pi} \) Zoning Classification \( \bar{\pi} \) \( \bar{\pi} \) \( \bar{\pi} \)
<ul> <li>INSTRUCTIONS (approved SAP plans shall be included in Building Permit Application submittal to the Office of Buildings):</li> <li>Demolition Permits: Applications for demolition permits shall not be approved until the SAP is approved.</li> <li>Signage: SAP approval for free-standing/monument and/or projecting structures only. Signage approval issued by Office of Buildings.</li> <li>Photographs (buildings/site): For alterations to existing building facades and/or site modifications to document existing conditions.</li> <li>Submittal Package Regulrements (See detailed checklist):</li> <li>Project Summary: Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures or to the site. Paguesto for administration until the summary.</li> </ul>
<ol> <li>Property Survey: Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.</li> <li>Site Plan (released for construction and sealed) and Building Elevations:         <ul> <li>initial Plan Submission: Two (2) copies for initial review (four (4) copies that require DRI &amp; NPU review). Also, copies of applicable Rezoning Legislation, Special Use Permit, Variance or Special Exception letters from Board of Zoning Adjustment.</li> <li>Elnal Plan Submission (after staff review) incorporating staff comments: 11 copies of site plan and 5 copies of elevations.</li> </ul> </li> <li>Other information: Additional plans or documents may be required at the discretion of the Office of Planning.</li> <li>Property Owner Authorization: Submit required notarized owner consent per attached form.</li> <li>Notice to Applicant: Submit attached form with signature and date.</li> </ol>
<ul> <li>Additional Submittal Requirements (as applicable):</li> <li>1) BeltLine, NC-2, NC-10, NC-11, NC-12, NC-14 Districts: Pre-application conference with Planning Staff is required prior to SAP submittal. INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE for the required 21-day NPU review period as detailed below: <ul> <li>a. Mail a copy of the SAP application and plans which are stamped received by the Office of Planning to the NPU.</li> <li>b. Submit a copy of U.S. Postal Service Certificate of Mailing within 5 business days of SAP application submittal.</li> <li>c. Submit notarized Affidavit of NPU Notification within 5 business days of SAP application submittal.</li> </ul> </li> <li>2) Development Review Committee (DRC): Projects within SPIs 1, 9, 12, 15, 16, 17 districts may require review by DRC.</li> <li>3) Development of Regional Impact (DRI) Study: Developments either; over 300,000 sf; or greater than 400 residential units; or a mixed-use development with more than 222 residential units require a DRI approval by GRTA and ARC. <ul> <li>a. Initial submission: DRI Form 1 with the SAP application. Planning staff will then submit information to GRTA and ARC.</li> <li>b. Final submission: Copy of the DRI Notice of Decision letter shall be printed on the final site plan submission.</li> </ul> </li> </ul>
<ul> <li>Watershed Management (DWM) Requirements (Section 74-504(a)): consultation meeting with DWM is REQUIRED to determine applicable stormwater improvements. Call 404-330-6249 or visit <a href="https://www.atlantawatershed.org/greeninfrastructure">www.atlantawatershed.org/greeninfrastructure</a></li> </ul>
• Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.
<ul> <li>Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.</li> <li>Developments ≤ 50,000 to 250,000 sqft of floor area: \$1,000.</li> <li>Developments ≥ 250,000 sqft of floor area: \$1,500.</li> </ul>
<ul> <li>Developments 50,000 to 250,000 sqft of floor area: \$1,500.</li> <li>Developments ≥ 250,000 sqft of floor area: \$1,500.</li> <li>I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED &amp; SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.</li> </ul>
Date May 13, 2015 Signature of Applicant August Alexand
The City Code provides that Planning Director shall review each request for an SAP within 30 days of a filing of a completed application. (Atlanta Code Chapter 16, Section 16-25). * Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.
The above request for a Special Administrative Permit (SAP) was approved of denled on See attached Special Administrative Permit Approval Form(s) for detailed approval information.
Karl Smith Davids
Signed for Director, Office of Planning Staff Reviewer - Print Name

Staff Reviewer - Print Name

#### City of Atlanta Office of Planning

## SPECIAL ADMINISTRATIVE PERMIT (SAP) APPROVAL FORM

SAP-15-066

Property Address: 359 E. Paces Ferry Rd.

Zoning District: SPI-9, SA-1

Approval Date: 6/24/2015

Staff Signature:

<u>Project Summary:</u> New development including ~132,876 s.f. office and 14,242 s.f. retail with an accessory parking deck of ~349 spaces.

Improvements at the above address are hereby authorized to apply for a building permit in accordance with Sections 16-18.006 and 16-25.002(3) of the City of Atlanta Zoning Ordinance. Improvements are granted as indicated on the attached site plan and building elevations with:

No variations are granted.

Approval is subject to the below <u>Findings of Staff and Approval Conditions</u>.

Administrative Variations: In accordance with Section 16-18.007, the following variations are granted from the code sections referenced:

None. Not applicable for this conditional SAP approval. See below.

Findings of Staff, which support the relief granted:

Not applicable for this conditional SAP approval. See below.

<u>Approval Conditions:</u> In accordance with Sections 16-18.006 and 16-25.002(3), the following are conditions to the SAP approval for this application:

- 1. The usual Special Administrative Permit ("SAP") process requires applicants to present a set of plans which allow the Office of Planning to evaluate the project as a whole. The applicant has requested the City approve preliminary plans in order to allow them to meet a scheduling timeline. At this time, the plans before the Office of Planning do not contain sufficient information to determine whether the design complies with the full regulations. However, the City has agreed to issue an amended conditional SAP stamped approval (dated June 24, 2015) limited in scope for site development permit purposes only as specified by the following:
  - Demolition
  - Excavation, shoring and similar earthwork
  - Storm vault, structure, and pipe installation
  - Utility work including infrastructure and service, hydrants, grease traps, and similar work
  - Erosion control standard measures
  - · Backfill and mass grading
  - Other related work to the above which is outlined in a current site development permit.

Note: No other work, including any foundation related activities, beyond the work described above shall be construed to be permitted by this conditional SAP approval.

2. <u>Final Building Plans & Elevations</u>: Final plans and elevations shall be subject to approval by the Office of Planning at a later date prior to issuance of any Certificate of Occupancy.



# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Notarized authorization by Property Landowner

File # SAP-15-066

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administ	<u>rative Permit</u>		
1, Three five Nine East Paces owner(s) name			<u>OOWNER</u>
OF THE PROPERTY LOCATED AT:	359 East	Paces Ferry Road	
AS SHOWN IN THE RECORDS OF WHICH IS THE SUBJECT MATTER OF THE PERSON NAMED BELOW TO ACT AS APPLICATION.	ATTACHED A	PPLICATION. I AUTHO	ORIZE THE
NAME OF APPLICANT (PRINT CLEARLY): Shannon Skinner			
ADDRESS: 817 West Peachtree Street, NW			
TELEPHONE: 404-201-6131	EMAIL:	Signature of Proper ACE C. LOWDER M. Print Name of Proper	ty Landowner
Personally Appeared Before Me  Hobert C. Louder wilk, T  Who Swears That The Information Contained In this Authorization Is True and Correct To The Best of His or Her Knowledge and Belief.  SAUNDRA A BURLES NOTARY PUBLIC CHEROKEE COUNTY, G MY COMMISSION EXPIRES OCT	SON ) EORGIA	SAP-10 PM 123 PM	5-046
Signature of Notary Public  5 /13 /2015  Date			



# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Notarized authorization by Property Landowner

File # SAP-15-066

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administ	trative Permit
1. Three five Nine East Paces owner(s) name	LLC SWEAR THAT I AM THE LANDOWNER
OF THE PROPERTY LOCATED AT:	359 East Paces Ferry Road
WHICH IS THE SUBJECT MATTER OF THE	Fulton COUNTY, GEORGIA E ATTACHED APPLICATION. I AUTHORIZE THE THE APPLICANT IN THE PURSUIT OF THIS
NAME OF APPLICANT (PRINT CLEARLY): Shannon Skinner	<del></del>
ADDRESS: 817 West Peachtree Street, NW	<u> </u>
TELEPHONE; 404-201-6131	Signature of Property Landowner
	Print Name of Property Landowner
Personally Appeared Before Me  Holort C. Louder milk, J  Who Swears That The Information Contained In this Authorization Is True and Correct To The Best of His or Her Knowledge and Belief.  Signature of Notary Public  Signature of Notary Public	SON STATE OF THE PARTY OF THE P



## City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Notice to Applicants

File# SAP-15-066

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a Special Administrative Permit (SAP), the City of Atlanta Office of Planning (OOP) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OOP.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OOP. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OOP. It shall be the responsibility of the applicant, not the OOP, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OOP at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OOP staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OOP for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employed, agent or elected official can waive or modify the City Code.

Shannon Skinner

**Applicant Printed Name** 

Applicant Signature

SAP-15-066

## **Kimley** »Horn

#### **MEMORANDUM**

To:

Ms. Denise Starling

From:

Ms. Emmy Montanye, PE and Shannon Skinner, PLA

Applicant:

The Loudermilk Companies

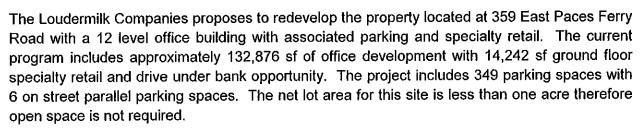
Date:

May 6, 2015

Subject:

359 East Paces Ferry Proposed Office Building -SPI-9

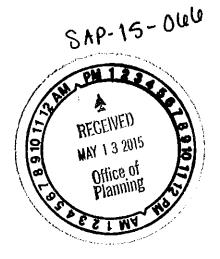
SAP Narrative and Variation Summary



The applicant requests consideration of the following variations from the requirements outlined in SPI-9.

#### Requested Variations for 359 East Paces Ferry Road

- 1. Variation from the Active use per Sec. 16-18I.007.6. Variation to reduce active use along the eastern portion of Buckhead Avenue to allow for loading and mechanical space.
- Variation from the requirements of Section 16-18I.019 Loading docks: Variation to eliminate the one required 12' by 55 'bay and provide the two required 12' by 35' loading dock bays.



# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Development Controls Specifications

File# SAP-15-664

These forms are intended to assist applicants in preparing the required submission materials for a Special Administrative Permit approval. In addition to these forms to be completed by the applicant, all <u>applicable</u> specifications should be shown on the <u>site plan</u> in chart form. Items omitted will delay the plan review process. <u>Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification</u>

antication.							
Definitions and	Methods of (	<u>Calculat</u>	tion				
<ul> <li>GLA for corner I width +2) X (streeth of the streeth of the streeth</li></ul>	ots = (NLA) + [( et "B" length of one front yard according to the right used for calcul	street "A" property li ljacent to t-of-way ( ating FAR	te X width of property line right-of-way width +2) X (sine) + [(street "A" right-of-wistreet) = (NLA) + [(street rincluding streets, parks, late for properties within single area minus area of building	ray width +2) X ( ght-of-way width kes and cemeter e-family or two-fa	street B rig +2) X (leng ries) up to 50 amily-zoned	th of front property line); ) feet in width.	
Lot Size (In squar	e footage)						
Gross Land Area (GLA) 60,311 sf / 1,38 ac							
	ot Area (NLA)		6 sf / 0.96 ac				
Floor Area Ratio	(FAR) – as	applica	ble. Check which u	sed for resid	ential: 🛚	GLA, or UNLA	
	Residential Square Footage FAR Ratio		Non- Residential FAR Ratio	Non-Resi	Ion-Residential Square Footage		
Base Allowed			<del>-</del>	7.2	2	299,851 sf	
Base Provided				3.53	147,118 sf		
Bonus Allowed					ļ		
Bonus Provided					<u> </u>		
Bonus FAR Pro	gram (check l	bonus utl	lized if applicable)	·		· · · · · · · · · · · · · · · · · · ·	
Transit Station	Ground Floor Retail		Open Space and New Streets	Community Ce Facilities	enter	Workforce Housing	
Residential Units			Total Provided: N/A				
Number of Units Provided (without bonus)							
Number of Bonus Units Provided (without workforce housing)							
Number of Bonus	Workforce Hou	sing Units	Provided (20% required)				
		Total	Number of Units per Acre	<u>-</u>			
<b>Building Covera</b>	age 🗆 or	Lot Co	verage 🗆 (check	applicable as re	equired per	zoning district)	
			Percentage (%)			Square Footage	
Max. Permitted							
Provided		2%		30,	101 sf		
Fenestration (%	of each street	fronting	facade calculated separa	tely, per distric	t regulation	ns)	
	Residential Facade-Percentage (%)		Non-residential Façade Percentage (%)				
	on Local Stree	1,12	on Artenal/Collector	on Local Stree	<u> </u>	on Arterial/Collector	
Min. Required		<i>y</i>		65%		65%	
Provided (specify for each street)	1 12 AM	/ ) 	01112	Grandview Buckhead A		E. Paces Ferry=81.7%	



## City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Development Controls Specifications File # SAP-15-06-6

Residential Open Space Requirements (refer to Chapter 28 for clarification)

Definitions an	d Methods of Calculation	
TOSR are cal plus ½ of the open space is o o o o o o o o o o o o o o o o o o	total horizontal area of covered open space of the open space closed to the sky but having two forms from the covered open space of the open space of the open space of the open space of the covered open space open space of the covered open space of the covered open space open spa	OSR includes the total horizontal area of uncovered open space ubject to the limitations in Section 16-28.010 (4). Covered total to clear unobstructed open or partially open (50% or more) sides.  Opening the corresponding net lot or GLA lot sized used to calculate open not include areas for vehicles. However, newly created onto may be counted towards the UOSR calculations as specified in
TOSR: Total	Open Space Requirements for Resid	lential Only Projects
(Not regulred in SI	PI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, <u>N</u>	IRC, MR, or LW districts, or in mixed-use developments.)
	Ratio	Total Square Footage
Minimum Required		
Provided		
Square Footage i	preakout of UNCOVERED TOSR amount pro	vided by the following:
	GLA minus building square footage	
Open exterio	r balconies (per Section 16-28 or district regs)	
	Roof area improved as recreation space	
Square Footage I	preakout of COVERED TOSR amount provid	ed by the following:
	ed to the sky (roof) but having two sides with a minimum of 50% open	
	e Open Space Requirements for Renot counted towards Public Space Requiremen	sidential and or Mixed-use Developments
··	Ratio	Total Square Foolage
Minimum Required	NA-NLA is less than 1 acre	
Provided		
	Breakdown of UOSR amounts provided by t	ne following:
	Balconies	123456
Rooftop Terraces		(9)
	Landscaped Areas and Plazas	(2)
	Portions of Sidewalks on Private Property	2 1
Portions of Landscaped Areas in Right-of-way adjacent to Property		
	Topony	NA CONTRACTOR OF THE PARTY OF T

#### City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION **Development Controls Specifications**

SKP-15-064 File#

Non-Residential Public Space Requiren	nents (refer to Chapter 28 for clarification)
PSR: Public Space Requirements for Non-resid (These are areas not counted towards UOSR)	
Public Space provided = (square footage area of exterior space	ce) + (square footage area of interior space)
Percentage (%	Total Causes Ecotoge
Minimum Required	
Provided	
Square Footage Breakdown of PSR amounts provided by t	ne following:
EXTERIOR (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains sidewalks, common areas, open recreational spaces, etc.)	d } 6,
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atrial lobbies, concourses, plaza, walkways, fountains, landscap areas for public recreation, pedestrian seating, or eating an similar public amenities)	a, e

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification) Residential Unit Breakout Number of 4 BR Number of 3 BR Number of 2 BR Number of 1 BR **Number of Studios** Non-residential Uses Residential

Spaces 35 (Retail) Minimum Required 350 (Total), 303 (Office), 47 (Retail) & 6 (Parallel Parking Spaces) Provided

328 (Office) & 47 (Retail) Maximum Allowed

Non-residential Uses Residential Bicycle Parking Spaces

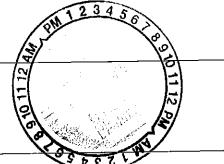
Provided

On-site Loading Spaces (see applicable zoning district requirements or Section 16-028.015) Non-residential Uses (break out by use) Residential/Hotel Minimum Required (specify for each use)

Provided (specify for each use)

**On-site Parking** 

Minimum Required





# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION <u>Development Controls Specifications</u>

File# 5/19-15-060

Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

	Space Requirements for Non-resider	ntial & Mixed-use Developments	
Public Space pro	vided = (square foolage area of exterior space	) + (square footage area of Interior space)	
	Percentage (%)		Total Square Footage
Minimum Required			
Provided			
Square Footage E	Breakdown of PSR amounts provided by the	following:	
areas, plazas, ter	ssible to general public such as landscaped races, patios, observation decks, fountains, n areas, open recreational spaces, etc.)		
during normal bus	d-level area accessible to the general public siness hours such as malls, galleries, atria, es, plaza, walkways, fountains, landscape ecreation, pedestrian seating, or eating and nities)		

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
On-site Parking Spaces	<del></del>	Residential		Non-residential Uses
Minimum Required			35 (Retail)	<u> </u>
Provided		350 (Total),	303 (Office), 47 (Retail) & 6	6 (Parallel Parking Spaces
Maximum Allowed			328 (Office) & 47 (	Retail)
Bicycle Parking Spaces	·	Residential		Non-residential Uses
Minimum Required				
Provided				
On-site Loading Spaces (se	e applicable zoning district	requirements or Section	n 16-028.015)	
·		Residential/Hotel	Non-residential	Jses (break out by use)
Minimum Required (specify for each use)	1 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	234567	2 - 12' x 35' 1 - 12' x 55'	
Provided (specify for each use)	21 11 00 600	S & E LYMA ES	2 - 12' x 35'	

#### RECEIPT :

CITY OF ATLANTA DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT 55 TRINITY AVE SW, ATLANTA GA 30303 404-330-6070

Application: SAP-15-066

Application Type: Planning/SAP/SPI/NA

Address: 359 EAST PACES FERRY RD NE, ATLANTA, GA 30305

Owner Name: THREE FIVE NINE EAST PACES LLC

Owner Address: **Application Name:** 

Receipt No.

416425

Payment Method Ref Number Amount Paid Payment Date Cashier ID

**Received Comments** 

Check

1200

\$1,000.00

05/13/2015

**SGUILDARIE** 

Owner Info.:

THREE FIVE NINE EAST PACES LLC

Work

Applicant seeks an SAP for an SPI district.

Description:

REVENUE COLLECTOR EX OFFICIO MUNICIPAL

All X I AVE CILKOEVIIVANIN

MVG

CUAS CITY OF ATLANTA

EX OFFICIO MUNICIPAL REVENUE COLLECTOR



## APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP) For SPI, Beltline Overlay, LW, MR, MRC, and NC Zoning Districts City of Atlanta, Office of Planning (404/220 Adv)

File No .: SAP-15-064

City of Atlanta, Office of Planning (404/330-6145)
APPLICANT (name) Shannon Skinner
COMPANY Kimley-Horn and Associates, Inc.
ADDRESS 817 West Peachtree Street NW, Suite 601, Atlanta, GA 30308  PHONE NO. (404) 201-6131 EMAIL shanon.skinner@kimley-horn.com  PROPERTY LANDOWNER. Three Five Nine Fast Pages LLC
PROPERTY LANDOWNER Three Five Nine East Paces, LLC
ADDRESS One Buckhead Plaza, Suite 330, 3060 Peachtree Rd NW, Atlanta GA 30305
PHONE NO. (404) 492-7201 EMAIL <u>rloudermilk@theloudermilkcompanies.com</u>
ADDRESS OF PROPERTY 359 East Paces Ferry Road
Land District
Is property within the BeltLine Overlay District? Yes No X Zoning Classification SP - 9 SA-
<ul> <li>INSTRUCTIONS (approved SAP plans shall be included in Building Permit Application submittal to the Office of Buildings):</li> <li>Demolition Permits: Applications for demolition permits shall not be approved until the SAP is approved.</li> <li>Signage: SAP approval for free-standing/monument and/or projecting structures only. Signage approval issued by Office of Buildings.</li> <li>Photographs (buildings/site): For alterations to existing building facades and/or site modifications to document existing conditions.</li> <li>Submittal Package Requirements (See detailed checklist):</li> <li>Project Summary: Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures or to the site. Requests for administrative variations must be accompanied by a written justification for each.</li> <li>Property Survey: Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.</li> <li>Site Plan (released for construction and sealed) and Building Elevations:         <ul> <li>Initial Plan Submission: Two (2) copies for initial review (four (4) copies that require DRI &amp; NPU review). Also, copies of</li> </ul> </li> </ul>
applicable Rezoning Legislation, Special Use Permit, Variance or Special Exception letters from Board of Zoning Adjustment.  b. Final Plan Submission (after staff review) incorporating staff comments: 11 copies of site plan and 5 copies of elevations.  c. Other information: Additional plans or documents may be required at the discretion of the Office of Planning.  4) Property Owner Authorization: Submit required notarized owner consent per attached form.  5) Notice to Applicant: Submit attached form with signature and date.  • Additional Submittal Requirements (as applicable):  1) BeltLine, NC-2, NC-10, NC-11, NC-12, NC-14 Districts: Pre-application conference with Planning Staff is required prior to SAP submittal INCLUDE EXTRA CORY OF SUBMITTAL PROCESS.
<ul> <li>a. Mail a copy of the SAP application and plans which are stamped received by the Office of Planning to the NPU.</li> <li>b. Submit a copy of U.S. Postal Service Certificate of Mailing within 5 business days of SAP application submittal.</li> <li>c. Submit notarized Affidavit of NPU Notification within 5 business days of SAP application submittal.</li> <li>2) Development Review Committee (DRC): Projects within SPIs 1, 9, 12, 15, 16, 17 districts may require review by DRC.</li> <li>3) Development of Regional Impact (DRI) Study: Developments either; over 300,000 sf; or greater than 400 residential units; or a mixed-use development with more than 222 residential units require a DRI approval by GRTA and ARC.</li> <li>a. Initial submission: DRI Form 1 with the SAP application. Planning staff will then submit information to GRTA and ARC.</li> <li>b. Final submission: Copy of the DRI Notice of Decision letter shall be printed on the final site plan submission.</li> </ul>
<ul> <li>Watershed Management (DWM) Requirements (Section 74-504(a)): consultation meeting with DWM is REQUIRED to determine applicable stormwater improvements. Call 404-330-6249 or visit <a href="https://www.atlantawatershed.org/greeninfrastructure">www.atlantawatershed.org/greeninfrastructure</a></li> </ul>
• Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.
<ul> <li>Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.</li> <li>Developments &lt; 50,000 sqft of floor area: \$500.</li> <li>Developments ≥ 250,000 sqft of floor area: \$1,000.</li> <li>Developments ≥ 250,000 sqft of floor area: \$1,500.</li> </ul>
I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. LHEREBY DEPOSE THAT ALL
STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.  Date May 13, 2015 Signature of Applicant Manual Alexander.
The City Code provides that Planning Director shall review each request for an SAP within 30 days of a filing of a completed* application. (Atlanta Code Chapter 16, Section 16-25). * Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.
(FOR OFFICE OF PLANNING OFFICE USE ONLY)
The above request for a Special Administrative Permit (SAP) was approved or denied on See attached Special Administrative Permit Approval Form(s) for detailed approval information.
And Could the Approval Portings) for detailed approval information.
Signed for Director, Office of Planning  Staff Reviewer - Print Name

# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) <u>APPROVAL FORM</u>

SAP-15-066

Property Address: 359 E. Paces Ferry Rd.

Zoning District: SPI-9, SA-1

Approval Date: 12/15/2015 Staff Signature:

<u>Project Summary:</u> New commercial development including ~132,876 s.f. office and 14,242 s.f. retail with an accessory parking deck of ~349 spaces.

Improvements at the above address are hereby authorized to apply for a building permit in accordance with Sections 16-18.006 and 16-25.002(3) of the City of Atlanta Zoning Ordinance. Improvements are granted as indicated on the attached site plan and building elevations with:

Variations are granted in accordance with Sections 16-18.007, 16-33.006, 16-34.007, 16-35.005, and 16-36.005 (as applicable) as indicated in the attached Findings of Staff and Approval Conditions.

Approval is subject to the below written Findings of Staff and Approval Conditions.

Approval is subject to red-line comments on the plans/elevations.

Administrative Variations: In accordance with Section 16-18.007 & 16-18I.005(3), the following variations are granted from the code sections referenced:

- Section 16-18I.017: Min. fenestration of 65% of building length along all type 1, 2 & 3 streets (Grandview Ave.) to 52% due to topography along Grandview Ave.
- Section 16-18I.017: Min. fenestration of 65% of building length along all type 1, 2 & 3 streets (Buckhead Ave.) to lesser via a combination of opaque and display windows in excess of the code allowance.
- 3. Section 16-18I.019: Loading at a min. of 3 (1-12' x 35' and 2-12' x 35' size) to 2-12' x 35' size.

Findings of Staff, which support the relief granted:

The plan as proposed by the applicant while not strictly in accord with regulations applying generally within the district, meets public purposes and provides public protection to an equivalent or greater degree; or in the particular circumstances of this case, strict application of a particular regulation or regulations is not necessary for the accomplishment of public purposes or the provision of public protection, at this time or in the future due to the following particular circumstances:

- Variation #1: Staff finds that the Code allows such variations to be granted administratively due
  to the topography of the site. As an alternative to code requirements, a minimum of 52%
  fenestration (with open stairs) shall be provided as shown in the approved plans & elevations.
  Therefore, it is staff's opinion strict application of the regulations is not necessary & public
  protection is satisfied.
- 2. Variation #2: Staff finds that the Code allows such variations to be granted administratively due to due to location of required mechanical and electrical equipment behind the Buckhead Ave. building façade. As an alternative to code requirements, a combination of opaque & display windows shall be provided as shown on the redlined approved elevations. Therefore, it is staff's opinion strict application of the regulations is not necessary & public protection is satisfied.
- 3. Variation #3: Staff finds that the Code allows such variations to be granted administratively due to the nature of the office use and the opportunity to provide for a shared loading arrangement scheduled to avoid conflicting loading demands. As an alternative to code requirements, a minimum of 2-12' x 35' loading spaces shall be provided as shown in the approved plans. Therefore, it is staff's opinion strict application of the regulations is not necessary & public protection is satisfied.

<u>Approval Conditions:</u> In accordance with Section 16-25.002(3), the following are conditions to the SAP approval for this application: None.



# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Notarized authorization by Property Landowner

File # SAP-15-066

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administrative Pern	<u>nit</u>
1, Three five Nine East Paces LLC SW owner(s) name	EAR THAT I AM THE <u>LANDOWNER</u>
OF THE PROPERTY LOCATED AT: 359 E	ast Paces Ferry Road
AS SHOWN IN THE RECORDS OFFULL WHICH IS THE SUBJECT MATTER OF THE ATTACHE PERSON NAMED BELOW TO ACT AS THE APPL APPLICATION.	D APPLICATION. I AUTHORIZE THE
NAME OF APPLICANT (PRINT CLEARLY): Shannon Skinner	
ADDRESS: <u>817 West Peachtree Street, NW</u> TELEPHONE: <u>404-201-6131</u> EMAIL:	Signature of Property Landowner
	Print Name of Property Landowner
Personally Appeared Before Me  Character C. Louder milk, Tr.  Who Swears That The Information Contained In this Authorization Is True and Correct To The Best of His or Her Knowledge and Belief.  Signature of Notary Public  Signature of Notary Public	SAP-15-066 SAP-15-066 PRICE INTO SOLUTION OF THE



# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Notarized authorization by Property Landowner

File# SAP-15-066

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administration	ve Permit
1, Three five Nine East Paces Louis Countries owner(s) name	LL_SWEAR THAT I AM THE LANDOWNER
OF THE PROPERTY LOCATED AT:	359 East Paces Ferry Road
AS SHOWN IN THE RECORDS OF	
WHICH IS THE SUBJECT MATTER OF THE A	
PERSON NAMED BELOW TO ACT AS TH	E APPLICANT IN THE PURSUIT OF THIS
APPLICATION.	
NAME OF APPLICANT (PRINT CLEARLY):	
Shannon Skinner	
ADDRESS: 817 West Peachtree Street, NW	,
TELEPHONE: 404-201-6131 EN	MAIL:  Signature of Property Landowner
	ROBERT C. LOUDERMIK, J  Print Name of Property Landowner
Personally Appeared	SAP-15-066
Robert C. Loudermilk, JR	- PM 123 4 5 6
Who Swears That The Information Contained In this Authorization Is True and Correct To The Best of His or Her  SAUNDRA A BURLESON NOTARY PUBLIC CHEROKEE COUNTY, GEORG MY COMMISSION EXPIRES OCTOBE	R12,20017
Knowledge and Belief.	SE SE I WY
Signature of Notary Public	<del></del>
5/13/2015	
Date	

City of Atlanta Office of Planning



## SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION Notice to Applicants

File # SKP-15-066

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Planning (OOP) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OOP.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OOP. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OOP. It shall be the responsibility of the applicant, not the OOP, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OOP at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OOP staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OOP for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Shannon Skinner

Applicant Printed Name

Applicant Signature

5 13 2015 Date

SAP-15-066

## Kimley»Horn

## **MEMORANDUM**

To: Ms. Denise Starling/Mr. Karl Smith-Davids

From: Ms. Emmy Montanye, PE and Shannon Skinner, PLA

Applicant: The Loudermilk Companies

Date: December 15, 2015 (Revised)

Subject: 359 East Paces Ferry Proposed Office Building –SPI-9

SAP Narrative and Variation Summary

The Loudermilk Companies proposes to redevelop the property located at 359 East Paces Ferry Road with an 11 level office building with associated parking and specialty retail. The current program includes approximately 132,544 sf of office development with 14,615 sf ground floor specialty retail and drive under bank opportunity. The project includes 343 parking spaces with 6 on street parallel parking spaces. The net lot area for this site is less than one acre therefore open space is not required.

The applicant requests consideration of the following variations from the requirements outlined in SPI-9.

#### Requested Variations for 359 East Paces Ferry Road

- 1. Variation from the Active use per Sec. 16-18I.007.6. Variation to reduce active use along the eastern portion of Buckhead Avenue to allow for loading and mechanical space.
- 2. Variation from the requirements of Section 16-18I.019 Loading docks: Variation to eliminate the one required 12' by 55 'bay and provide the two required 12' by 35' loading dock bays.
- 3. Variation from the requirements of Section 16-18I.017 (5) Fenestration: Variation to reduce the required fenestration along Grandview Avenue from 65% to 52% minimum due to topographic constraints.

**Development Controls Specifications** SAP-15-066

File#

These forms are intended to assist applicants in preparing the required submission materials for a Special Administrative Permit approval. In addition to these forms to be completed by the applicant, all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

Definitions and Methods of Calculation							
Net Lot Area (NLA) = length of property line X width of property line							
<ul> <li>GLA for corner</li> </ul>	A for corner lots = (NLA) + [(street "A" right-of-way width ÷2) X (street "A" length of property line)] + [(street "B" right-of-way						
	treet "B" length of property line) + [(street "A" right-of-way width ÷2) X (street "B" right-of-way width ÷2)]						
			street) = (NLA) + [(street reference)]				
<ul> <li>GLA may include</li> </ul>	le half of the right	-of-way (i	including streets, parks, la	kes and cemeter	es) up to 5	0 feet in width.	
		-		The state of the s		I subareas of SPI districts.	
Building Lot Cor	verage provided =	= (net lot	area minus area of buildin	g footprint) + (net	lot area)		
Lot Size (in squa	re footage)			ñ.			
Gross La	nd Area (GLA)	60,311	sf / 1.38 ac				
Net I	Lot Area (NLA)	41,646	sf / 0.96 ac				
Floor Area Ratio	o (FAR) – as a	applica	ble. Check which u	sed for reside	ential: 🗆	GLA, or NLA	
	Residential FAR Ratio	Resident	ial Square Footage	Non- Residential FAR Ratio	Non-Resi	Residential Square Footage	
Base Allowed			7.2			99,851 sf	
Base Provided				3.53	]	147,118,sf	
Bonus Allowed					ı	47,159	
Bonus Provided							
Bonus FAR Pro	gram (check bo	onus util	ized if applicable)				
Transit   Station	Ground Floor Retail	DESTRUCTION OF THE PROPERTY OF			iter 🗆	Workforce Housing	
Residential Units Tota			Total Provid	ed:	N/A		
	Number of Units Provided (without bonus)						
Number of	Number of Bonus Units Provided (without workforce housing)						
Number of Bonus	Workforce Housi	ng Units	Provided (20% required)				
		Total N	lumber of Units per Acre				
Building Coverage 🗆 or Lot Coverage 🗀 (check applicable as required per zoning district)							
			Percentage (%)			Square Footage	
Max. Permitted							
Provided	72%			30,101 sf			
Fenestration (% of each street-fronting facade calculated separately, per district regulations)							
	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)			
	on Local Street	M 12	on Arterial/Collector	on Local Street		on Arterial/Collector	
Min. Required			100	65%	e 313	65%	
Provided (specify for each street)	12 AM		011 12	Grandview = Buckhead Av	e=65%	E. Paces Ferry=81.4% 82.97	
ł	[4-1	. ville	1-1		747	1	



# City of Atlanta Office of Planning SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION <u>Development Controls Specifications</u>

File# SKP-15-664

Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

PSR: Public Space Requirements for Non-resider (These are areas not counted towards UOSR)	ntial & Mixed-use Developments
Public Space provided = (square footage area of exterior space	) + (square footage area of interior space)
Percentage (%)	Total Square Footage
Minimum Required	
Provided	
Square Footage Breakdown of PSR amounts provided by the	following:
<u>EXTERIOR</u> (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)	
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)	

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout			·		
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR	
On-site Parking Spaces		Residential		Non-residential Uses	
Minimum Required			プ <sup>5</sup> 3気 (Retail)		
Provided		343 350 (Total),	303 (Office), 47 (Retail) & 6 (I		
Maximum Allowed			328 (Office) & 47 (Re	etail) 375	
Bicycle Parking Spaces		Residential		Non-residential Uses	
Minimum Required		336	38		
Provided		, ,	38		
On-site Loading Spaces (se	e applicable zoning district	requirements or Section	n 16-028.015)		
		Residential/Hotel	Non-residential Us	es (break out by use)	
Minimum Required (specify for each use)			PM 1 2 3 4 5	2-12K3	
			2	151	

#### RECEIPT

CITY OF ATLANTA DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT 55 TRINITY AVE SW, ATLANTA GA 30303 404-330-6070

Application: SAP-15-066

Application Type: Planning/SAP/SPI/NA

Address: 359 EAST PACES FERRY RD NE, ATLANTA, GA 30305

Owner Name: THREE FIVE NINE EAST PACES LLC

Owner Address: **Application Name:** 

Receipt No.

416425

Payment Method Ref Number Amount Paid Payment Date Cashier ID

**Received Comments** 

Check

1200

\$1,000.00

05/13/2015

**SGUILDARIE** 

Owner Info.:

THREE FIVE NINE EAST PACES LLC

Work

Applicant seeks an SAP for an SPI district.

Description:

REAFMAN COLLECTOR EX OFFICIO MONICIPAL

MINY DIVEO ALLE CITYE

CITY OF ATLANTA

EX OFFICIO MUNICIPAL REVENUE COLLECTOR

## **DRC Sustainability Checklist**

Response ID:11 Data

1. DRC Sustainability	Chec	klist
-----------------------	------	-------

1. Please provide project name and address

359 East Paces Ferry Rd. Atlanta GA 30305

2. Please provide the project applicant's name and contact information

Brian Lu blu@loudermilkco.com

3. What type of project is it?

Commercial office high rise (more than 4 stories)

4. Please provide a written summary of proposed scope of work (include applicable project information such as total square footage, # and breakout of residential units, and square footage break out of each commercial use, building height, parking and loading provided, etc.).

12 story building totaling 146,000 sf of office and 12,000 retail with 330 parking spaces.

5. Please state the project's Atlanta City Council District.

7

6. Please state the project's NPU

В

7. Is your project pursuing a green building certification?

For more information on the rating systems listed please refer to page X of the LBI Sustainability Resource Guidebook

No

8. Please Identify all administrative variations requested, and written justification for each requested.

In application

9. Why has this project decided not to seek a green building certification?

Designing to green certification levels but not seeking/paying fees

10. Does this project have a sustainability consultant or expert on the project team?

YES

11. Please provide contact information for the sustainability expert to be contacted for follow up information related to sustainability on this project.

Dan Rutulante 770-661-1482 drutulante@rjtrdesign.com

12. Does the developer or client have stated sustainability goals embedded into its current practices? For example: annual sustainability reports, specific sustainability targets for all projects, policies or practices to track and report sustainability efforts.

NO

### 13. Is this project a new build or major renovation?

New build

14. Is the project going beyond code/stretch code goals for energy efficiency?

For more information on beyond code/stretch codes please refer to page X of the LBI Sustainability Resource Guidebook

YES

15. Is the project installing solar to offset the building's operational energy consumption?

For more information on solar energy please refer to page X of the LBI Sustainability Resource Guidebook

NO

16. Would you like to be connected to resources to have a solar assessment conducted?

YES

17. What percentage of lighting in this project is high efficiency?

For more information on high efficiency lighting please refer to page X of the LBI Sustainability Resource Guidebook

TBD, fixture selection not finalized

18. Are you aware of the requirement of the City of Atlanta's benchmarking and disclosure ordinance?

To review the City of Atlanta's benchmarking and disclosure ordinance go to https://atlantabuildingefficiency.com or email buildingefficiency@atlantaga.gov for more information

YES

19. Are you aware of the City of Atlanta's 100% Clean Energy Plan which aims to meet the clean power goal for city buildings and operations by 2025, and for all buildings to meet the clean power goal by 2035?

To review the City of Atlanta's 100% Clean Energy Plan go to https://atlantabuildingefficiency.com/clean-energy-atlanta-a-vision-for-a-100-clean-energy-future/

YES

20. Does the project have stated water efficiency goals? For example: % reduction in potable water demand, % reduction in of wastewater discharge...

YES

21. Please describe the water efficiency goals for the project

listed below

22. Please choose all water efficiency measures or technologies the project is employing.

For more information on water efficiency measures or technologies listed please refer to page X of the LBI Sustainability Resource Guidebook

Low flow toilets

Sink aerators

Sub-metering

23. What water reuse systems are does the project include? Choose all that apply.

For more information on the water reuse systems listed please refer to page X of the LBI Sustainability Resource Guidebook

Other - Write In: infiltration

24. What climate appropriate landscape design choices are being made for water efficiency in this project? Choose all that apply.

Native and drought resistant species

Pervious pavers

Recycled water for decorative water features
25. Has the project team had a stream determination study completed to determine if "blue lines" exist on the property?  For more information on what a stream determination study is please refer to page X of the LBI Sustainability Resource Guidebook  NO
26. Has the project requested any stream buffer variances?  For more information on stream buffer variances please refer to page X of the LBI Sustainability Resource Guidebook
NO
27. Have you consulted the latest FEMA flood plain map?  The FEMA flood plain map can be accessed at http://map.georgiadfirm.com/
YES
28. Is the project located in a flood plain?
NO
29. Does the project have a stormwater management plan that complies with the City of Atlanta's Post Development
Stormwater Management Ordinance?  Please find the City of Atlanta's Post Development Stormwater Management Ordinance at X
YES
30. Please describe the project's stormwater management plan
In civil plans.
31. Please list any green infrastructure elements that the project features. Please choose all that apply.
For more information on the green infrastructure elements listed please refer to page X of the LBI Sustainability Resource Guidebook
Permeable surfaces
32. Does your site plan provide for long-term stormwater infrastructure maintenance access?
For more information long-term stormwater infrastructure maintenance access go to X.
YES
33. Please describe how your site plan allows for long-term stormwater infrastructure maintenance access.
In civil plans
in GVII plans
34. Is there enough space for a recycling AND trash compactor/receptacle in project design?
YES
35. Does the project allow for enough space to accommodate separate receptacles for glass recycling in the same area as the recycling and trash space?
VEC

36. Is there access to sanitary line nearby recycling/trash receptacles?

Suggested to be useful for onsite pressure washing and diverts potential leaked waste liquid from the stormwater drain.

YES

37. Do you have a construction and demolition (C+D) waste recycling plan?

For more information on C+D waste please refer to page X of the LBI Sustainability Resource Guidebook

VEO.
YES
38. Please describe any recycling or reuse elements that the project would like to highlight? Please describe below.
39. What health and wellness amenities does the project include? Choose all that apply.  Secured bike storage  Other - Write In: large outdoor amenity area
40. Does this project provide signage or paths to direct occupants to transit?  NO
41. Is the main entrance of the building oriented to pedestrian traffic?  YES
42. Has the project planned for last mile connectivity options? Choose all that apply.  Uber/Lyft designated pick up/ drop-off site
43. Are you aware of the City of Atlanta's electric vehicle charging infrastructure ordinance?  Please find more information on City of Atlanta's electric vehicle charging infrastructure ordinance by going  to http://atlantacityga.iqm2.com/Citizens/Detail_LegiFile.aspx?MeetingID=2068&ID=13626&Print=Yes  YES
44. Does the project include the installation of electric vehicle charging stations?  YES
45. How many charging stations will be installed?  TBD
46. Are there opportunities for adjacent properties to connect for the purpose of facilitating off-street mobility?  For example, inter-parcel walking paths or trails.  NO
47. Is the owner/developer aware of Livable Buckhead's suite of services to provide mobility plans for future tenants to reduce traffic stress caused by single occupancy vehicles?  For more information on stream buffer variances please refer to page X of the LBI Sustainability Resource Guidebook  YES
48. Does your project exceed the zoning code requirements for dedicated greenspace for occupants and community to access?  For more information about greenspace in the zoning code please refer to [WEBSITE FOR ZONING CODE REFERENCE]  YES
49. Please describe the project's community and occupant accessible greenspace.  IN plans/presentation
50. Does the project have a green roof?  NO
51. Does the roof have a high albedo (white roof)? YES

52. Does the project design incorporate any permanent art installation(s)?  NO
53. Does the project include public or communal space for hosting events?  YES
54. Please describe the public or communal space in the project design.  Large street level garden/amenity area
55. Please use the space below to highlight any other sustainability related project details include in the project plan.