



APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)

For SPI, Beltline, LW, MR, MRC & NC Zoning Districts

City of Atlanta, Office of Zoning and Development (404-330-6145)

File No.: SAP-19-067

APPLICANT (name) Patti Wallis

ADDRESS 3780 Meeting Street NW, Duluth, GA 30096

PHONE NO. 678-357-7439 EMAIL pwallis@psi-atl-ga.us

PROPERTY LANDOWNER Buckhead Market Edens LLC

ADDRESS PO Box 528, Columbia, SC 29202-0528

PHONE NO. 770-569-2802 EMAIL rhalberg@edens.com

ADDRESS OF PROPERTY 77 West Paces Ferry Rd NW

Land District 17 Land Lot 99 Council District 8 NPU B

Is property within the BeltLine Overlay District? Yes No Zoning Classification SPI-9 SA2

Is Inclusionary Zoning applicable to this project? Yes No (See additional requirements below) SPI-9 Moratoriums

Department of City Planning
Office of Zoning & Development

APR 24 2019

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

Submittal Checklist (See detailed checklist on page 2):

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.
- Site Plan (released for construction and sealed) and Building Elevations:**
 - a. **Initial Submission:** Four (4) Site plans & Two (2) Elevations; with two (2) more copies if DRI or NPU review is required.
 - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form.
- Notice to Applicant:** Submit attached form with signature and date.
- Development Controls Specification Form**

Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250. Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000. Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date 04/24/2019 Signature of Applicant P Wallis Patti Wallis

Additional Submittal Requirements (as applicable):

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Certification: <https://www.atlantaga.gov/home/showdocument?id=33627>
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Pre-application conference with Zoning and Development Staff is recommended prior to SAP submittal. To arrange such a meeting contact Facia Brown at 404-330-6636 or fbrown@atlantaga.gov. **INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE** for the required 21-day NPU review period as detailed below. Submit (1) one application and (3) three sets of drawings, staff will make copies of the received SAP for you.
 - Mail a copy of the **submitted SAP application & drawings stamped received by the Office of Zoning and Development** to the NPU.
 - Submit a copy of U.S. Postal Service Certificate of Mailing and notarized Affidavit of NPU Notification as soon as possible to complete the application submission and begin the SAP review period.
- **Development Review Committee (DRC)*:** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review.
- **Development of Regional Impact (DRI) Study:** Developments either over 500,000 s.f. or having greater than 600 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
 - Initial submission: DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is **REQUIRED** for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: www.atlantawatershed.org/greeninfrastructure

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was approved or denied on _____
See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.

Signed for Director, Office of Zoning & Development _____

Staff Reviewer - Print Name _____

SAP-19-067

SCOPE OF WORK NARRATIVE

Department of City Planning
Office of Zoning & Development

Date: 04/23/2019
Subject: Scope of New Storefront and Sitework at Buckhead Market Place
Location: Buckhead Market Place
77 West Paces ferry Rd.
Suite 35B
Atlanta, GA. 30305
To: City of Atlanta Office of Buildings
Attn: Commercial Permits Division
55 Trinity Ave.
Suite 3900
Atlanta, GA. 30303
Phone: 404-330-6696
From: Taylor Pitelka, 404-584-1680

APR 24 2019

65 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

The following is intended to summarize the expected scope of work for the above-mentioned project. All information included in this report is from preliminary inspection of existing conditions and future tenant needs and is subject to change.

Site:

Scope of sitework is limited to 1,130 sf.

There is no change in useable open space.

Replace existing concrete sidewalk in hatched area shown on plans.

Slightly revise grades to decrease sidewalk cross-slope and accommodate new tenant entry/exit doors.

Decrease amount of impervious surface by 133 sf. By expanding landscaping beds.

Revise drainage inlets as needed for new sidewalk elevations

Provide erosion control BMPs for sitework

Provide proposed seating area for future ice cream shop

Provide new landscaping at new beds.

Building Exterior:

Expand existing storefront opening to accommodate new glazing and 4 new entry doors.

Scope of work results in a net increase of length of glazing of 27'-10", or 46.4% of the effected length of the existing building.

Proposed length of fenestration is 73% of the effected length of the existing building.



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized Authorization by Property Land Owner

File # SAP-19-067

(Required only if applicant is not the owner of the property subject to the application) Department of City Planning
Office of Zoning & Development

TYPE OF APPLICATION: **Special Administrative Permit**

I, Ryan Halberg SWEAR THAT I AM THE **LANDOWNER**
owner(s) name

APR 24 2019

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

OF THE PROPERTY LOCATED AT: 77 West Paces Ferry Rd NW

AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA WHICH IS
THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED
BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Patti Wallis

ADDRESS: 3780 Meeting Street NW, Duluth, GA 30096

TELEPHONE: 678-357-7439

EMAIL: pwallis@psi-atl-ga.us

[Signature]
Signature of Property Landowner

RYAN M HALBERG
Print Name of Property Landowner

Personally Appeared
Before Me

Becca Dodd

Who Swears That The
Information Contained
In this Authorization
Is True and Correct
To The Best of His or Her
Knowledge and Belief.

[Signature]
Signature of Notary Public

4/22/19
Date





City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # SAP-19-02A

*Developmental Controls forms are required to be completed by the applicant, and all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

Department of City of Atlanta
 Office of Zoning & Development

APR 24 2019

- Definitions and Methods of Calculation**
- Net Lot Area (NLA) = length of property line X width of property line
 - GLA for corner lots = (NLA) + [(street "A" right-of-way width +2) X (street "A" length of property line)] + [(street "B" right-of-way width +2) X (street "B" length of property line)] + [(street "A" right-of-way width +2) X (street "B" right-of-way width +2)]
 - GLA (with only one front yard adjacent to street) = (NLA) + [(street right-of-way width +2) X (length of front property line)]
 - GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width.
 - GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts.
 - Building Lot Coverage provided = (net lot area minus area of building footprint) ÷ (net lot area)

Lot Size (in square footage)

Gross Land Area (GLA)	
Net Lot Area (NLA)	

Floor Area Ratio (FAR) – as applicable. Check which used for residential: GLA, or NLA

	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage
Base Allowed				
Base Provided				
Bonus Allowed				
Bonus Provided				

Bonus FAR Program (check bonus utilized if applicable)

Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>
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Residential Units **Total Provided:** _____

Number of Units Provided (without bonus)	
Number of Bonus Units Provided (without workforce housing)	
Number of Bonus Workforce Housing Units Provided (20% required)	
Total Number of Units per Acre	

Building Coverage or Lot Coverage (check applicable as required per zoning district)

	Percentage (%)	Square Footage
Max. Permitted		
Provided		

Fenestration (% of each street-fronting facade calculated separately, per district regulations)

	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)		
	Local Street	Arterial/Collector	Beltline Corridor	Local Street	Arterial/Collector	Beltline Corridor
Min. Required						
Provided (specify for each street)				73%		



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # SAP-19-067

66 Thirty Ave. S.W.
 Atlanta, GA 30330

Residential Open Space Requirements (refer to Chapter 28 for clarification)

APR 24 2019

Definitions and Methods of Calculation

- **LUI** = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations)
- **TOSR** are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations described below. Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides.
 - TOSR required = (LUI table) X (GLA).
 - TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces).
- **UOSR** requirements are calculated using the residential FAR (of the corresponding net lot or GLA lot sized used to calculate FAR) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations.
 - UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR).
 - If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way).

Handwritten notes: 1. Uncovered open space... 2. Covered open space...

TOSR: Total Open Space Requirements for Residential Only Projects

(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)

	Ratio	Total Square Footage
Minimum Required		
Provided	No change	

Square Footage breakout of UNCOVERED TOSR amount provided by the following:

GLA minus building square footage	
Open exterior balconies (per Section 16-28 or district regs)	
Roof area improved as recreation space	

Square Footage breakout of COVERED TOSR amount provided by the following:

Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
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UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments

(These are areas not counted towards Public Space Requirements)

	Ratio	Total Square Footage
Minimum Required		
Provided	No change	

Square Footage Breakdown of UOSR amounts provided by the following:

Balconies	
Rooftop Terraces	
Landscaped Areas and Plazas	
Portions of Sidewalks on Private Property	
Portions of Landscaped Areas in Right-of-way adjacent to Property	



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

PSR: Public Space Requirements for Non-residential & Mixed-use Developments		
<i>(These are areas not counted towards UOSR)</i>		
Public Space provided = (square footage area of exterior space) + (square footage area of interior space)		
	Percentage (%)	Total Square Footage
Minimum Required		
Provided	No change	
Square Footage Breakdown of PSR amounts provided by the following:		
EXTERIOR (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)		
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
On-site Parking Spaces	Residential		Non-residential Uses	
Minimum Required				
Provided				
Maximum Allowed				
Bicycle Parking Spaces	Residential		Non-residential Uses	
Minimum Required				
Provided				
On-site Loading Spaces (see applicable zoning district requirements or Section 16-028.015)				
	Residential/Hotel		Non-residential Uses (break out by use)	
Minimum Required (specify for each use)				
Provided (specify for each use)				



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notice to Applicant

File # _____

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD.

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

<u>Patti Wallis</u>	<u><i>M Wallis</i></u>	<u>04/24/2019</u>
Applicant Printed Name	Applicant Signature	Date

RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070

Application: SAP-19-067
Application Type: Planning/SAP/SPI/NA
Address: 77 WEST PACES FERRY RD NW, ATLANTA, GA 30305
Owner Name: MORTON REALTY CO
Owner Address:
Application Name:

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
642116		\$250.00	04/24/2019	CGOODE		

Owner Info.: MORTON REALTY CO

Work Description: Replace existing concrete sidewalk in the hatched area shown on plans



SCOPE OF WORK NARRATIVE

Date: 04/23/2019
Subject: Scope of New Storefront and Sitework at Buckhead Market Place
Location: Buckhead Market Place
77 West Paces ferry Rd.
Suite 35B
Atlanta, GA. 30305
To: City of Atlanta Office of Buildings
Attn: Commercial Permits Division
55 Trinity Ave.
Suite 3900
Atlanta, GA. 30303
Phone: 404-330-6696
From: Taylor Pitelka, 404-584-1680

The following is intended to summarize the expected scope of work for the above-mentioned project. All information included in this report is from preliminary inspection of existing conditions and future tenant needs and is subject to change.

Site:

Scope of sitework is limited to 1,130 sf.

There is no change in useable open space.

Replace existing concrete sidewalk in hatched area shown on plans.

Slightly revise grades to decrease sidewalk cross-slope and accommodate new tenant entry/exit doors.

Decrease amount of impervious surface by 133 sf. By expanding landscaping beds.

Revise drainage inlets as needed for new sidewalk elevations

Provide erosion control BMPs for sitework

Provide proposed seating area for future ice cream shop

Provide new landscaping at new beds.

Building Exterior:

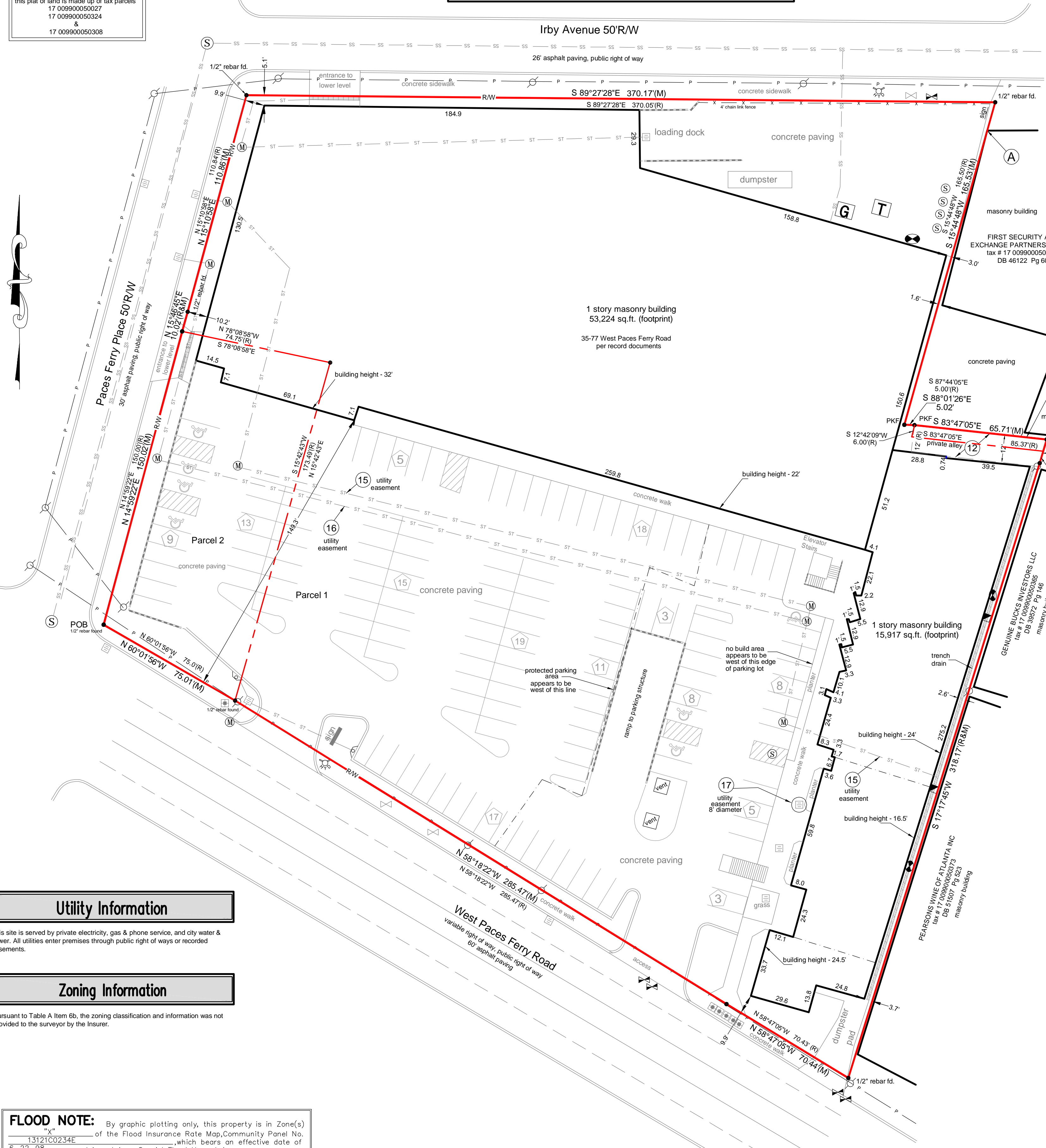
Expand existing storefront opening to accommodate new glazing and 4 new entry doors.

Scope of work results in a net increase of length of glazing of 27'-10", or 46.4% of the effected length of the existing building.

Proposed length of fenestration is 73% of the effected length of the existing building.

3.48 Acres or
151,597 square feet
this plat of land is made up of tax parcels
17 00990005027
17 00990005034
&
17 00990005038

ALTA/ACSM Land Title Survey



Legend of Symbols & Abbreviations

- ⊕ Utility Pole
- ⊞ Electric Transformer
- ⊙ Light Pole
- ⊗ Guy Wire
- ⊕ Electric Manhole
- ⊞ Telephone Manhole
- ⊙ Telephone Pedestal
- ⊗ Electric Meter
- G Generator
- ⊕ Water Valve
- ⊞ Fire Hydrant
- ⊙ Water Meter
- ⊗ Indicates Handicapped Parking
- ° Degrees
- ' Feet or Minutes
- " Inches or Seconds
- ST — Storm Pipe
- SS — Sanitary Pipe
- P — Overhead Power
- T — Trench Drain
- C — Concrete Wall
- ⊕ Storm Mahole
- ⊞ Storm Inlet (Square)
- ⊙ Curb Storm Inlet
- ⊗ Sanitary Sewer
- ⊕ Gas Valve
- ⊞ Gas Manhole
- ⊙ Gas Meter

Items Corresponding to Schedule B

- 12 Terms and provisions of that certain Agreement, by and among Lagenquist Associates, Inc., Ray C. Wilson, Mrs. Gladys W. Dorough and R. E. Dorough and John W. Arnsby, dated January 18, 1957, filed for record April 17, 1957, and recorded in Deed Book 3212, Page 210, Fulton County, Georgia records, applies and affects as shown.
- 13 Easement from H. W. Ivey Construction Company, Inc. to Georgia Power Company dated December 10, 1964, filed for record January 14, 1965, and recorded in Deed Book 4357, Page 514, aforesaid records, aforesaid records, applies and affects but is blanket in nature.
- 14 Easement from H. W. Ivey Construction Company, Inc. to Georgia Power Company dated October 6, 1970, filed for record November 5, 1970, and recorded in Deed Book 5303, Page 318, aforesaid records, aforesaid records, applies and affects but is blanket in nature.
- 15 Sewer Easements (storm water) from Mrs. Pauline I. Adams to City of Atlanta, filed for record December 1, 1972, and recorded in Deed Book 5707, Page 485, aforesaid records, applies and affects as shown. (no width of easement given in deed)
- 16 Sewer Easements (storm water) from Harry Norman to City of Atlanta, dated April 14, 1973, filed for record May 15, 1973, and recorded in Deed Book 5821, Page 82, aforesaid records, applies and affects as shown. (no width of easement given in deed)
- 17 Terms and provisions of that certain Storm Water Management Inspection and Maintenance Agreement, by and between Morton Realty Co. and City of Atlanta, dated February 8, 2008, filed for record February 27, 2008, and recorded in Deed Book 46386, Page 293, aforesaid records, applies and affects as shown.

Miscellaneous Notes

1. There is direct physical access to the subject property via West Paces Ferry Road, Paces Ferry Place & Irby Avenue, public right-of-ways.
2. No wetland areas were observed during the course of field work and no documents were provided by the client with respect to wetlands.
3. At the time of this survey, there is no visible evidence of any burial grounds on premises.
4. At the time of this survey, this site is not used as a solid waste dump, sump or sanitary landfill.
5. At the time of this survey, there is no visible evidence of any recent right of way changes or street/sidewalk construction repairs.
6. At the time of this survey, there is no visible evidence of any earth moving work, building construction, or building additions within recent months.
7. There are 125 regular striped parking spaces + 7 handicap spaces located on the upper level of the parking deck & 149 regular striped parking spaces + 2 handicap spaces located on the lower level of the parking deck.
8. The utility locations shown hereon were determined by observed above ground evidence only, the surveyor was not provided with underground plans or above ground markings to determine any subsurface locations. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor is not physically located the underground utilities.
9. No appurtenant easements were disclosed in the title commitment provided to the surveyor.
10. Basis of Bearing (S 89°27'28"E) is the record bearing of the right of way of Irby Street as per plat referred to in the record legal description.

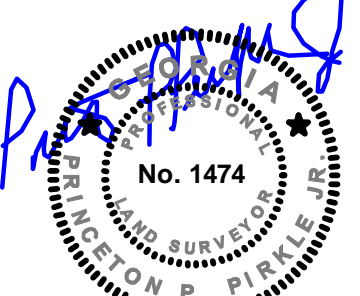
Buckhead Marketplace 35-77 West Paces Ferry Road, N.E., Atlanta, GA

Surveyor's Certification

To: Buckhead Market (Edens), LLC; Edens Limited Partnership; First American Title Insurance Company & The Prudential Insurance Company of America

The Survey is made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by American Land Title Association ("ALTA") and National Society of Professional Surveyors ("NSPS") and includes Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(b) (limited to plans already in the possession of surveyor or supplied by client), 13, 14, 16, 17, 18, 19, 20(a), 21 (\$1,000,000) of Table A thereof. The field work was completed on 12-14-12.

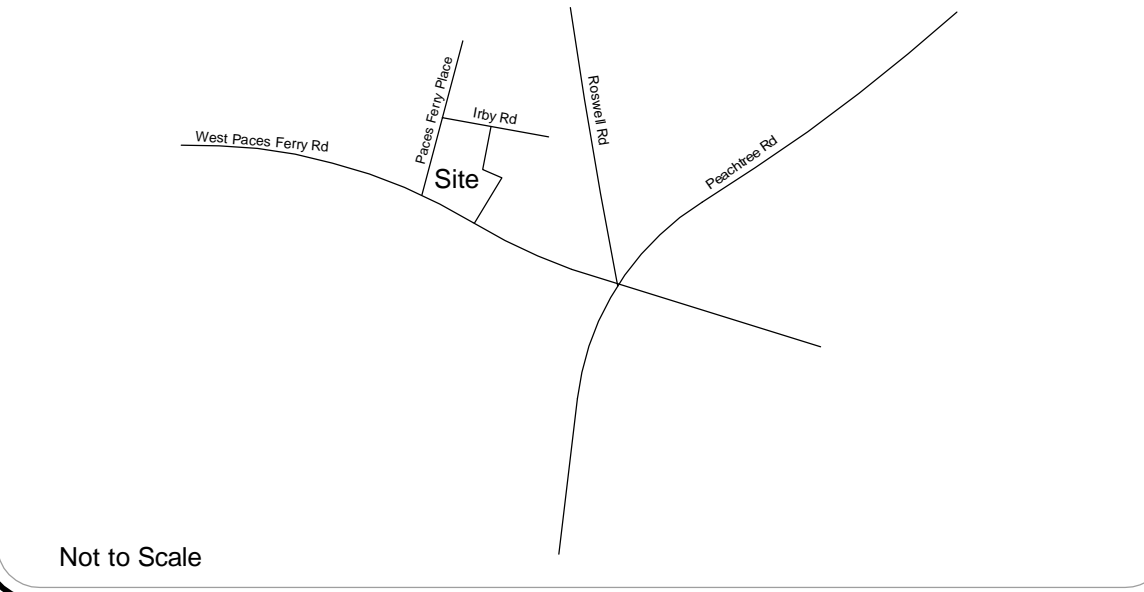
Princeton P. Pirkle, Jr.
Registration No. 1474
In the State of Georgia
Date of Survey: 12-14-12
Date of Last Revision:



Significant Observations

- A building encroaches 0.07' over property line

Vicinity Map



Record Description

Parcel 1
All that tract or parcel of land lying and being in the City of Atlanta and Land Lot 99 of the 17th District of Fulton County, Georgia, being shown as Parcel One containing 3.196 acres, or 139,208 square feet, according to that certain plat of survey entitled "ALTA/ACSM Land Title Survey for Morton Realty Company, Life Insurance Company of Georgia and Lawyers Title Insurance Corporation" prepared by Robert L. White, Georgia Registered Land Surveyor No. 2080, of Planners and Engineers Collaborative, dated September 24, 1991, last updated March 12, 1993, last revised March 30, 1993, and being more particularly described according to said survey as follows:
Beginning at an iron pin found on the northerly right-of-way of West Paces Ferry Road (having a right-of-way which varies in width) at a point which is 314.72 feet Northwest of the intersection of the westerly right-of-way of Roswell Road (having a right-of-way which varies in width) and the northerly right-of-way of West Paces Ferry Road, as measured along the curve of the northerly right-of-way line of West Paces Ferry Road (said curve being subtended by a chord bearing North 66 degrees 01 minutes 33 seconds West 312.90 feet in length) and from said iron pin point of beginning, run thence North 58 degrees 47 minutes 05 seconds West along the North right-of-way of West Paces Ferry Road a distance of 70.43 feet to a point; continuing thence along the North right-of-way of West Paces Ferry Road North 58 degrees 18 minutes 22 seconds West a distance of 285.42 feet to an iron pin found (said pin being located South 60 degrees 01 minutes 56 seconds East 75.0 feet as measured by the northerly right-of-way of West Paces Ferry Road from its intersection with the easterly right-of-way of Paces Ferry Place, having a right-of-way 50 feet in width); running thence North 15 degrees 42 minutes 43 seconds East a distance of 173.49 feet to an iron pin found; running thence North 78 degrees 08 minutes 58 seconds West a distance of 74.75 feet to an iron pin found on the easterly right-of-way of Paces Ferry Place (having a right-of-way 50 feet in width); running thence North 15 degrees 46 minutes 45 seconds East along the easterly right-of-way of Paces Ferry Place a distance of 10.02 feet to an iron pin found; continuing thence North 15 degrees 10 minutes 58 seconds East along the East right-of-way of Paces Ferry Place a distance of 110.84 feet to an iron pin found at the intersection of said right-of-way with the southerly right-of-way of Irby Avenue (having a right-of-way 50 feet in width); running thence South 89 degrees 27 minutes 28 seconds East along the southerly right-of-way of Irby Avenue a distance of 370.05 feet to an iron pin found; running thence South 15 degrees 44 minutes 48 seconds West a distance of 165.50 feet to an iron pin found; running thence South 87 degrees 44 minutes 05 seconds East a distance of 5.00 feet to an iron pin found; running thence South 12 degrees 42 minutes 09 seconds West a distance of 6.00 feet along the westerly boundary of a 12 foot alleyway to an iron pin found at the center of said alley; running thence South 83 degrees 47 minutes 05 seconds East along the center of said 12 foot alley a distance of 85.37 feet to an iron pin found; running thence South 16 degrees 16 minutes 47 seconds West a distance of 5.97 feet to an iron pin found on the southerly boundary of the 12 foot alley; running thence South 12 degrees 17 minutes 45 seconds West a distance of 318.17 feet to an iron pin located on the North right-of-way of West Paces Ferry Road and the Point of Beginning.

Together with all of the Grantor's right, title, interest and benefits in and to that property used for 12 foot wide private alley purposes, as more particularly described in that certain Agreement dated January 18, 1957, recorded April 17, 1957 at Deed Book 3212, Page 210, Fulton County, Georgia Records.

Parcel 2
All that tract or parcel of land lying and being in the City of Atlanta and Land Lot 99 of the 17th District of Fulton County, Georgia, being shown as Parcel Two containing 0.273 acres, or 11,903 square feet, according to that certain plat of survey entitled "ALTA/ACSM Land Title Survey for Morton Realty Company, Life Insurance Company of Georgia and Lawyers Title Insurance Corporation" prepared by Robert L. White, Georgia Registered Land Surveyor No. 2080, of Planners and Engineers Collaborative, dated September 24, 1991, last updated March 12, 1993, last revised March 30, 1993, and being more particularly described according to said survey as follows:
Beginning at a point at the intersection of the northerly right-of-way of West Paces Ferry Road (having a right-of-way which varies in width) with the easterly right-of-way of Paces Ferry Place (having a right-of-way 50 feet in width) and running thence North 14 degrees 59 minutes 22 seconds East along the easterly right-of-way of Paces Ferry Place a distance of 150.00 feet to an iron pin found; running thence South 78 degrees 08 minutes 58 seconds East a distance of 74.75 feet to an iron pin found; running thence South 15 degrees 42 minutes 41 seconds West a distance of 173.49 feet to an iron pin found on the northerly right-of-way line of West Paces Ferry Road; running thence along the North right-of-way of West Paces Ferry Road North 60 degrees 01 minutes 56 seconds West a distance of 75.0 feet to an iron pin found on the Point of Beginning.

The land shown in this survey is the same as that described in First American Title Insurance Company, commitment # NCS-581959-ATL, effective date 12-4-12.

As Surveyed Description

All that tract or parcel of land lying and being in the City of Atlanta and Land Lot 99 of the 17th District of Fulton County, Georgia, being shown as containing 3.480 acres, or 151,562 square feet, according to that certain plat of survey entitled "ALTA/ACSM As-Built Survey of Buckhead Marketplace for The Prudential Insurance Company of America, its successors and assigns, First American Title Insurance Company and Morton Realty Co.", dated January 25, 2011, prepared by Larry R. McMullen, Georgia Registered Land Surveyor No. 2317, of McMullen Engineering, last revised February 17, 2011 and, being more particularly described according to said survey as follows:

Beginning at a point at the intersection of the northerly right of way of West Paces Ferry Road (having a right of way which varies in width) with the easterly right of way of Paces Ferry Place (having a right of way 50 feet in width) and thence running North 14°59'22" East along the easterly right of way of Paces Ferry Place a distance of 150.02 feet to a point; thence running North 15°46'45" East along the easterly right of way of Paces Ferry Place a distance of 10.02 feet to a point; thence running North 15°10'58" East along the easterly right of way of Paces Ferry Place a distance of 110.86 feet to a 1/2 inch rebar found at the intersection of said easterly right of way of Paces Ferry Place with the southerly right of way of Irby Avenue (having a right of way 50 feet in width); thence running South 89°27'28" East along the southerly right of way of Irby Avenue a distance of 370.17 feet to a point; thence leaving the southerly right of way of Irby Avenue and running South 15°44'48" West a distance of 165.53 feet to a PK nail found; thence running South 88°01'26" East a distance of 5.02 feet to a PK nail found at the northwesterly corner of a twelve foot (12) alley; thence running South 83°47'05" East along the northerly boundary of a twelve foot (12) alley a distance of 65.71 feet to a PK nail found; thence running South 16°23'18" West across the said twelve foot (12) alley a distance of 12.19 feet to a point on the southerly boundary of said twelve foot (12) alley; thence leaving the southerly boundary of said twelve foot (12) alley and running South 17°17'45" West a distance of 318.17 feet to a 1/2" rebar found located on the north right of way of West Paces Ferry Road; thence running North 58°47'05" West along the northerly right of way of West Paces Ferry Road a distance of 70.44 feet to a point; thence continuing North 58°18'22" West along said northerly right of way a distance of 285.47 feet to a point; thence continuing North 60°01'56" West along the north right of way a distance of 75.01 feet to the Point of Beginning.

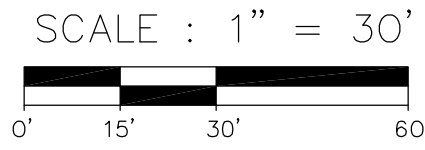
Utility Information

This site is served by private electricity, gas & phone service, and city water & sewer. All utilities enter premises through public right of ways or recorded easements.

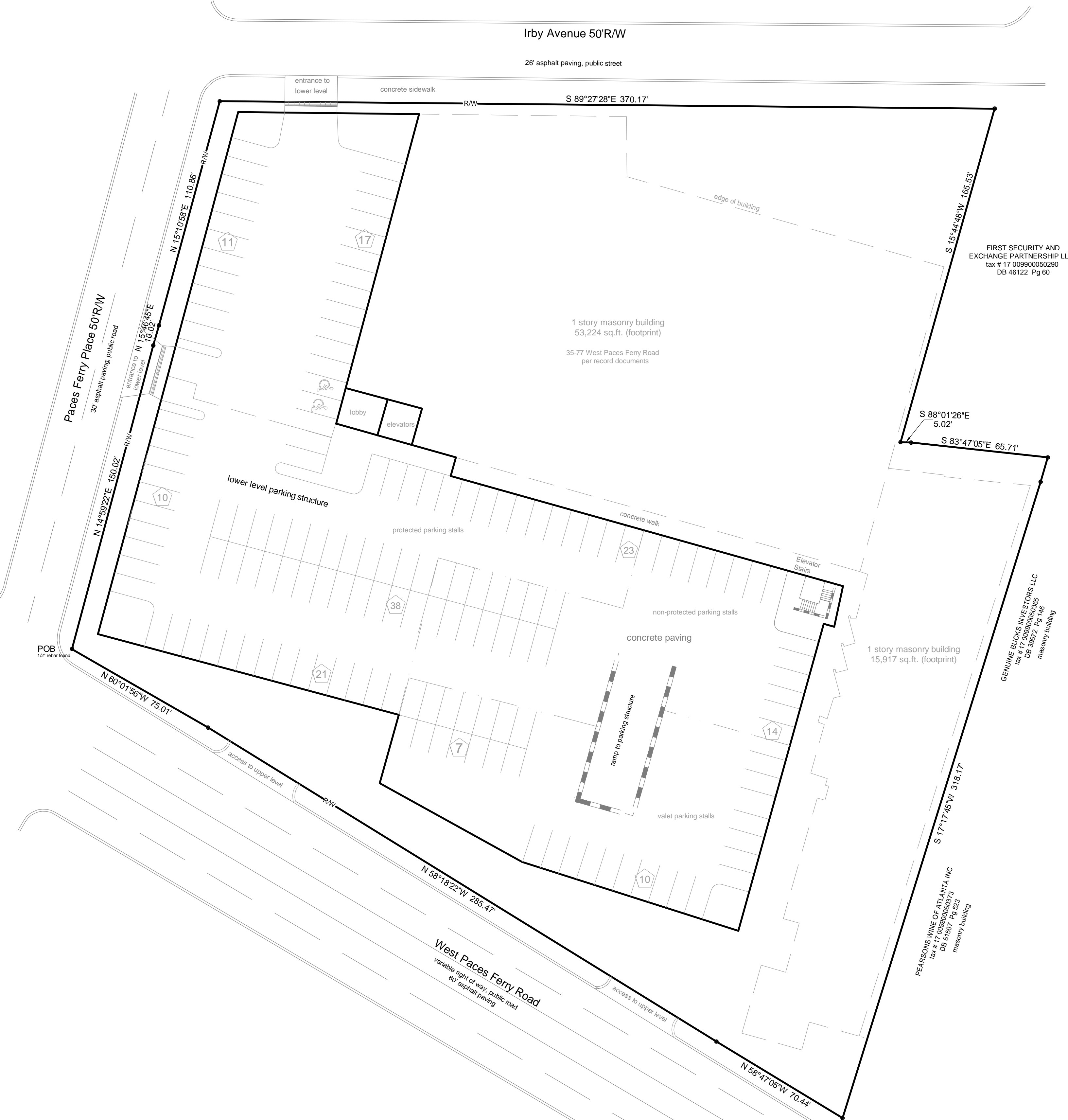
Zoning Information

Pursuant to Table A Item 6b, the zoning classification and information was not provided to the surveyor by the Insurer.

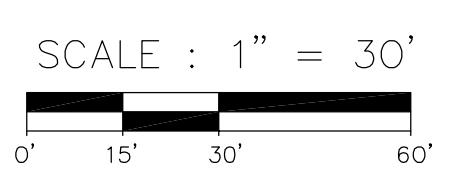
FLOOD NOTE: By graphic plotting only, this property is in Zone(s) "X" of the Flood Insurance Rate Map, Community Panel No. 13121C0234E, which bears an effective date of 6-22-98 and is not in a Special Flood Hazard Area.



Pirkle & Associates Surveying Inc.
783 Slater Durrence Rd., Glennville Ga. 30427
phone: 912-654-3298, fax: 912-654-1463
email: pirkleur @ windstream.net

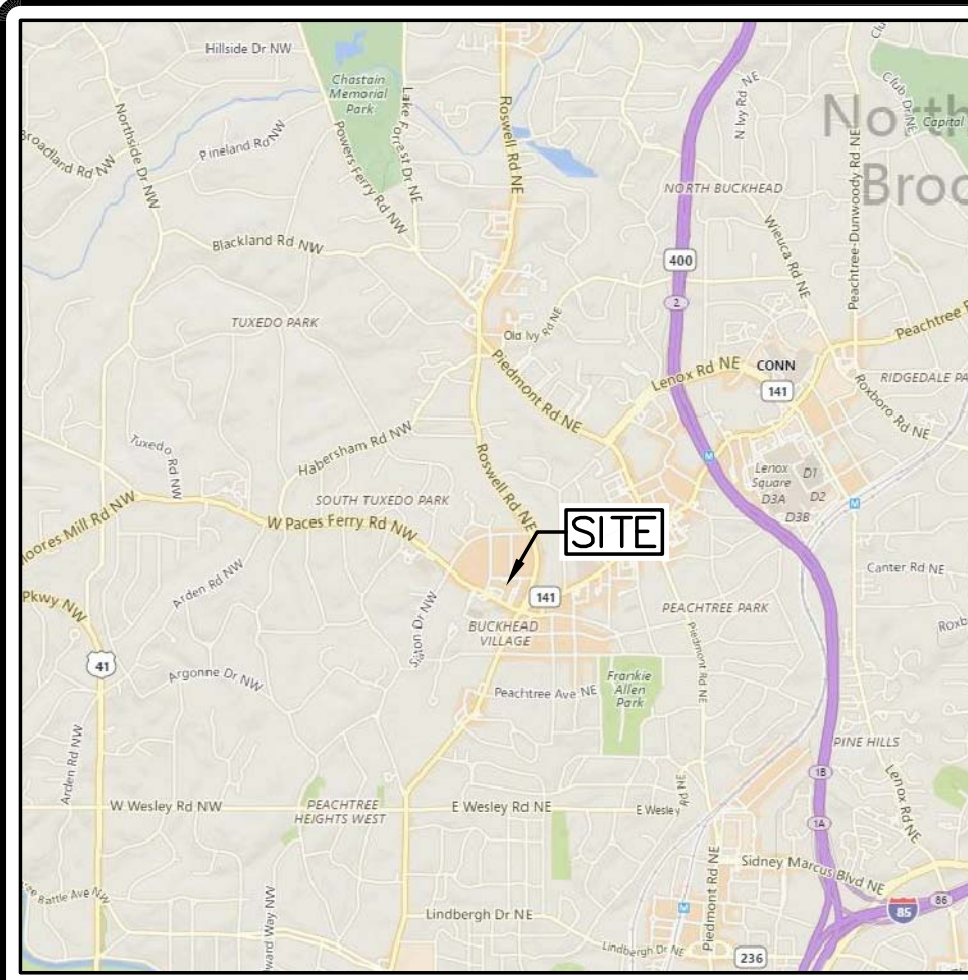


pirkleur@windstream.net

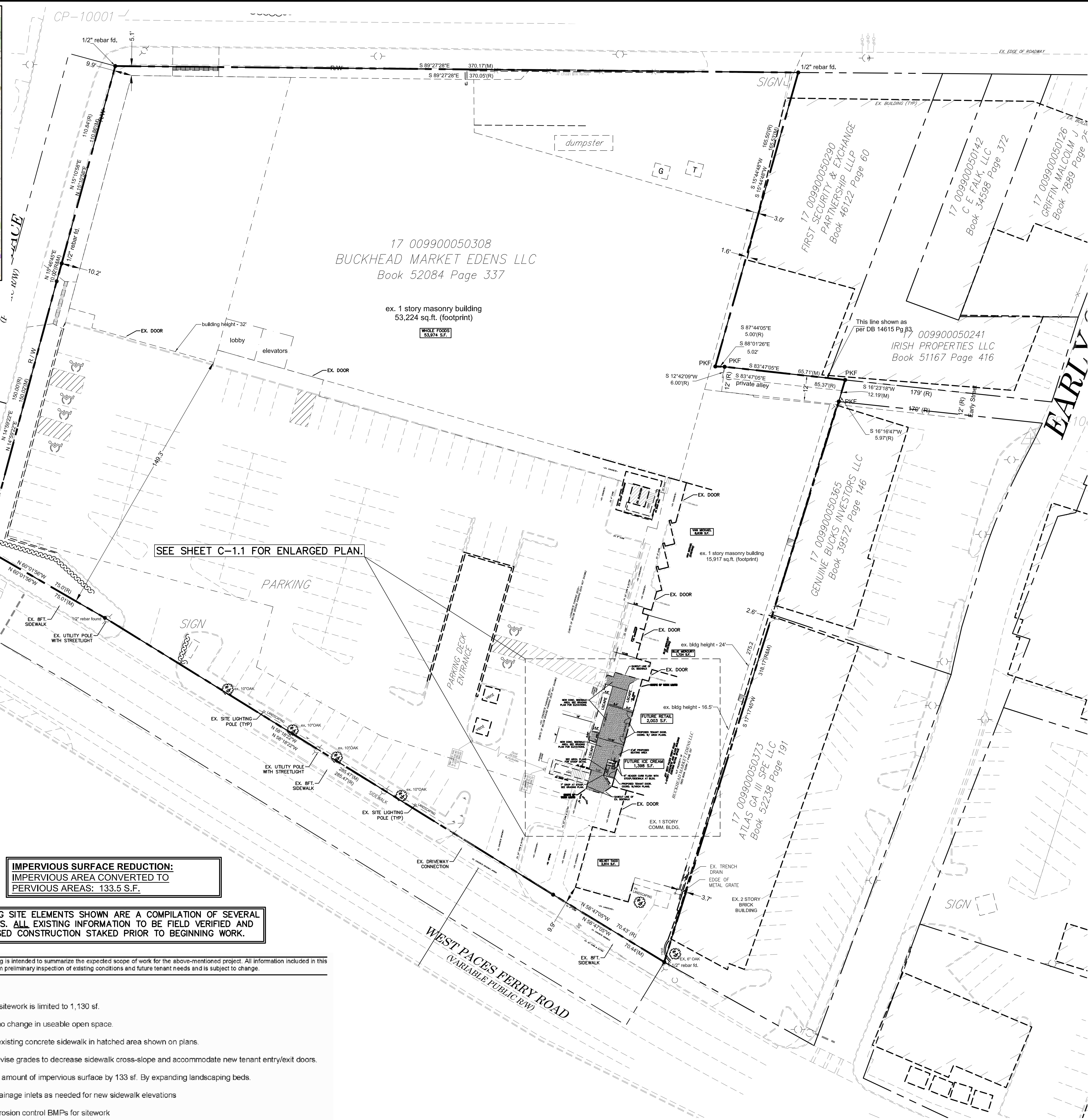


Pirkle & Associates Surveying Inc.
 783 Slater Durrence Rd., Glennville Ga. 30427
 phone: 912-654-3298, fax: 912-654-1463, email: pirkleur@windstream.net

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LOCATION MAP



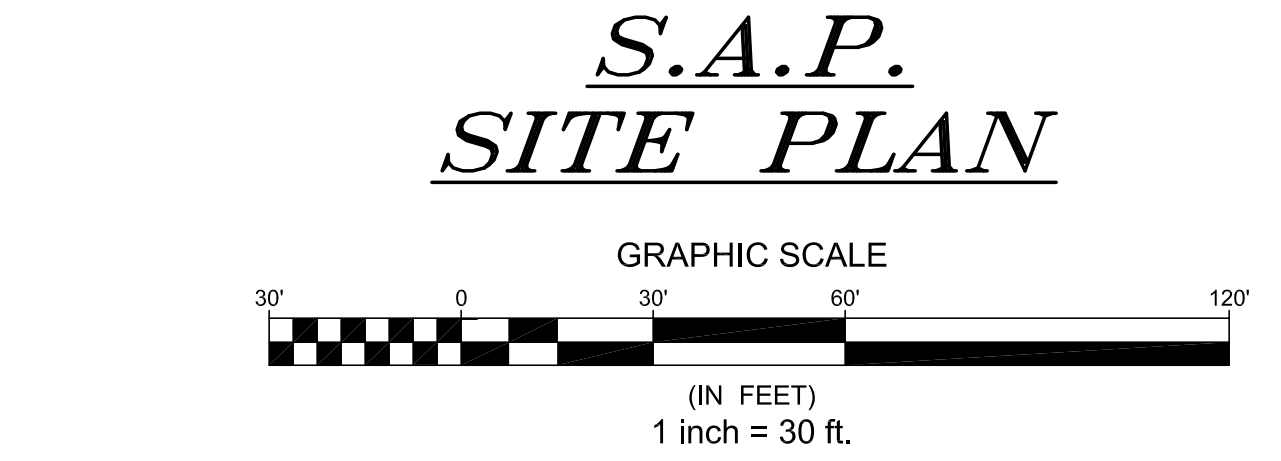
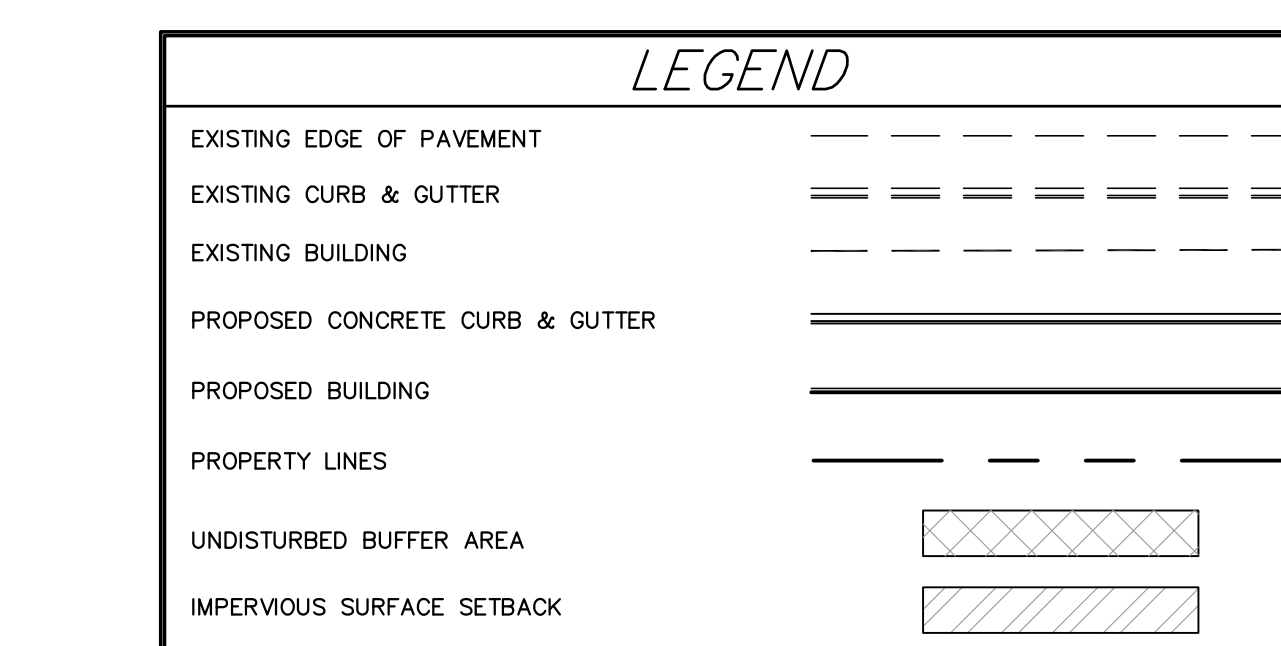
1. OWNER/DEVELOPER (PRIMARY PERMITTEE) — EDENS - MR. MATT SCHELL
3050 PEACHTREE RD., NW; SUITE 800
ATLANTA, GA 30305
(770) 569-5509

2. CIVIL ENGINEER (24-HOUR CONTACT) — HAINES, GIPSON & ASSOCIATES, INC.
1530 NORTH BROWN ROAD, SUITE 100
LAWRENCEVILLE, GA 30043
(770) 491-7550
R. CLAY LEWIS (GSWCC#900, EXP. 9/2020)
SCOTT SAMUEL (GSWCC#930, EXP. 9/2020)

1. ALL CONSTRUCTION TO CONFORM TO CITY OF ATLANTA STANDARDS AND SPECIFICATIONS, WHERE APPLICABLE, WHETHER OR NOT REVIEW COMMENTS WERE MADE.
2. RADIUS DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT AS APPLICABLE.
3. ALL UTILITIES IN AREAS OF CONSTRUCTION TO BE FIELD LOCATED AND VERIFIED PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR TO COORDINATE RELOCATION/MODIFICATION OF EXISTING UTILITIES IN RIGHT-OF-WAY AS REQUIRED BY THE MUNICIPALITY HAVING JURISDICTION.
5. THERE SHALL BE NO BURY PITS LOCATED ON THIS SITE. CONTRACTOR TO DISPOSE OF ALL WASTE AND EXCESS MATERIALS OFFSITE IN AN APPROVED MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND REQUIREMENTS.
6. NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
7. NATURAL VEGETATION SHALL REMAIN ON THE PROPERTY UNTIL THE ISSUANCE OF A DEVELOPMENT PERMIT, ANY CLEARING PRIOR TO THE ISSUANCE OF A DEVELOPMENT PERMIT SHALL BE LIMITED TO SMALL TREES (LESS THAN 2" IN CALIPER dbh) AND UNDERBRUSH.

- CITY OF ATLANTA GENERAL NOTES:**
- 1) INSTALLATION OF SIDEWALK ALONG PUBLIC RIGHT-OF-WAY IS REQUIRED BY THE CITY OF ATLANTA CODE (SECTION 138). SIDEWALKS, CONCRETE CURB AND GUTTER AND GRANITE CURB SHALL CONFORM TO THE CITY OF ATLANTA STANDARD DETAILS. THE BACK OF SIDEWALK SHALL BE LOCATED AT THE PROPERTY LINE.
 - 2) AT ALL POINTS ALONG THE PUBLIC RIGHT-OF-WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF ATLANTA REQUIREMENTS AND THE SIDEWALK BE REPLACED.
 - 3) CONCRETE DRIVEWAY APRONS WITH FLARES ARE REQUIRED BY THE CITY OF ATLANTA CODE (SECTION 138). AND SHALL CONFORM TO THE CITY OF ATLANTA STANDARD DETAILS. THE BACK OF THE DRIVEWAY APRON SHALL BE LOCATED AT THE PROPERTY LINE.
 - 4) A HAUL ROUTE PERMIT IS REQUIRED FROM THE BUREAU OF TRAFFIC AND TRANSPORTATION (404-330-6501) WHEN MORE THAN 500 CUBIC YARDS OF MATERIAL IS HAULED TO OR FROM THE SITE.
 - 5) A QUALIFIED CONTRACTOR PERMIT IS REQUIRED FROM THE TRAFFIC AND TRANSPORTATION SECTION (404-330-6501) OF PUBLIC WORKS FOR CONSTRUCTION OF NEW SEWER CONNECTION, SIDEWALKS, DRIVEWAY APRON OR OTHER WORK IN THE PUBLIC RIGHT-OF-WAY. REQUIRES PROOF OF AN IN-FORCE GENERAL LIABILITY INSURANCE POLICY IN THE AMOUNT OF \$3 MILLION, AND VALID BUSINESS LICENSE AND PAYMENT OF APPLICABLE FEES. THE CITY OF ATLANTA SHALL BE SHOWN AS THE CERTIFICATE HOLDER ON THE POLICY.
 - 6) PRIOR TO DEDICATION AND ACCEPTANCE OF SANITARY SEWER, STORM SEWER OR STREET INFRASTRUCTURE TO THE CITY OF ATLANTA, "AS BUILT" DRAWINGS AND 3-YEAR MAINTENANCE BONDS ARE REQUIRED. THE STREET CONSTRUCTION SHALL DEMONSTRATE ADEQUATE COMPACTION WITH PROFESSIONAL TESTING AND REPORTS PREPARED BY A GEORGIA REGISTERED PROFESSIONAL CIVIL ENGINEER. THE SANITARY SEWER INSTALLATION SHALL INCLUDE AN INTERFERE TEST, TRENCH INSPECTION, A SUCCESSFUL MANDREL PULL AND SUCCESSFUL LEAK DOWN PRESSURE TEST.

- GENERAL NOTES:**
1. SITE IS LOCATED AT 37 WEST PACES FERRY RD.; CITY OF ATLANTA, FULTON COUNTY, GA., LAND LOT 99, DISTRICT 17; COUNCIL DIST. 8, WU 79
 2. ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.). SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
 3. SITE AREA = 43.48 ACRES.
 4. THE ZONING FOR THE SITE IS SPl-9 SA2, BUCKHEAD PARKING OVERLAY.
 5. TOTAL DISTURBED AREA = ±1,130 S.F.; ±0.026 ACRES.
 6. ALL CONSTRUCTION TO CONFORM TO CITY OF ATLANTA AND STATE OF GEORGIA WHETHER OR NOT REVIEW COMMENTS WERE MADE.
 7. MAXIMUM CUT / FILL SLOPES = 2 HOR. TO 1 VERT. NO GRADED SLOPE SHALL EXCEED 2H:1V.
 8. ALL DIMENSIONS TO / FROM FACE OF CURB UNLESS NOTED OTHERWISE. RADIUS DIMENSIONS ARE 3' UNLESS OTHERWISE SHOWN.
 9. ALL UTILITIES IN AREAS OF CONSTRUCTION TO BE FIELD LOCATED AND VERIFIED PRIOR TO BEGINNING CONSTRUCTION.
 10. CONTRACTOR TO MAINTAIN MINIMUM COVER OVER EXISTING AND PROPOSED UTILITIES IN RIGHT-OF-WAY AS REQUIRED BY THE CITY OF ATLANTA AND/OR THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
 11. CONTRACTOR TO COORDINATE RELOCATION / MODIFICATION OF EXISTING UTILITIES IN RIGHT-OF-WAY AS REQUIRED BY THE MUNICIPALITY HAVING JURISDICTION.
 12. PRIOR TO LAND-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR. CALL (404) 546-1300 TO CONTACT THE INSPECTOR.
 13. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 14. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 15. SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY THE PROJECT ENGINEER AND/OR MUNICIPAL INSPECTOR.
 16. NOTIFY THE CITY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
 17. SUBJECT PROPERTY DOES NOT LIE WITHIN THE 100-YR FLOODPLAIN PER FIRM PANEL NUMBER 1312100234F.
 18. WETLANDS ARE NOT LOCATED WITHIN THE SUBJECT SITE. THEREFORE, NO WETLAND MITIGATION IS REQUIRED.
 19. ALL UNDISTURBED BUFFERS SHALL BE FIELD LOCATED; STAKED AND FLAGGED OR MARKED WITH "TENZAX" OR SIMILAR TYPE FENCING; AND SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO GRADING.
 20. EXISTING VEGETATION SHALL BE PRESERVED WITHIN ALL BUFFER AREAS.
 21. BUFFER AREAS ARE NOT TO BE DISTURBED BY GRADING, PROPERTY IMPROVEMENTS, OR CONSTRUCTION ACTIVITIES. ANY UNEXPECTED DISTURBANCES SHALL FIRST BE TO THE ATTENTION OF THE CITY OF ATLANTA BUILDING DEPARTMENT AND FORMAL APPROVAL SECURED PRIOR TO INITIATING ACTIVITY WITHIN THE REQUIRED BUFFER AREAS.
 22. CONTRACTOR RESPONSIBLE FOR COMPLIANCE OF ALL BEST MANAGEMENT PRACTICES (BMP'S) AS REGULATED BY THE ENVIRONMENTAL PROTECTION AGENCY. ANY FINES AND/OR COSTS WHICH ARE THE RESULT OF NON-COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 23. CONTRACTOR SHALL PROVIDE AND MAINTAIN OFF-STREET PARKING THROUGHOUT PROJECT CONSTRUCTION.
 24. ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ATLANTA AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, STRIPING AND MARKINGS TO USE SLIP-RESISTANT PAINT.
 25. ALL CONSTRUCTION WITHIN RETAIL AREAS TO COMPLY WITH TENANT SPECIFICATIONS AND/OR THE SPECIFICATIONS OF THE GOVERNING AUTHORITY, WHICHEVER IS GREATER.



DEVELOPMENT CONTROL SPECIFICATIONS

Gross Land Area (s.f.)	176,650
Net Land Area (s.f.)	151,597
Non-Res FAR	0.46
Existing Tenants	
Whole Foods (s.f.)	53,974
Van Michaels (s.f.)	8,638
Blue Mercury (s.f.)	1,724
Proposed Tenants	
Merchants (s.f.)	2,003
Jeni's Ice Cream (s.f.)	1,398
Velvet Taco (s.f.)	2,514
Building Coverage	0.46
Fenestration % (Proposed stores not street facing)	n/a

IMPERVIOUS SURFACE REDUCTION:
IMPERVIOUS AREA CONVERTED TO PERVIOUS AREAS: 133.5 S.F.

EXISTING SITE ELEMENTS SHOWN ARE A COMPILATION OF SEVERAL SURVEYS. ALL EXISTING INFORMATION TO BE FIELD VERIFIED AND PROPOSED CONSTRUCTION STAKED PRIOR TO BEGINNING WORK.

The following is intended to summarize the expected scope of work for the above-mentioned project. All information included in this report is from preliminary inspection of existing conditions and future tenant needs and is subject to change.

Site:
Scope of sitework is limited to 1,130 sf.
There is no change in useable open space.
Replace existing concrete sidewalk in hatched area shown on plans.
Slightly revise grades to decrease sidewalk cross-slope and accommodate new tenant entry/exit doors.
Decrease amount of impervious surface by 133 sf. By expanding landscaping beds.
Revise drainage inlets as needed for new sidewalk elevations.
Provide erosion control BMPs for sitework.
Provide proposed seating area for future ice cream shop.
Provide new landscaping at new beds.

Building Exterior:
Expand existing storefront opening to accommodate new glazing and 4 new entry doors.
Scope of work results in a net increase of length of glazing of 27'-10", or 46.4% of the effected length of the existing building.
Proposed length of fenestration is 73% of the effected length of the existing building.

Scope of Work Letter

USE	SIZE (S.F.)	MAX. PARKING RATIO	MAX VEHICLE SPACES
RESTAURANT	3,912	1 per 300 s.f.	13.0
OUTDOOR PATIO *	452	1 per 600 s.f.	0.0
RETAIL	66,339	1 per 300 s.f.	221.1
TOTAL			235
TOTAL PROPOSED	70,703		278
Existing Parking			278

* No parking requirement if less than 25%

THERE ARE NO PROPOSED STREET LIGHT MODIFICATIONS WITHIN THE CITY OF ATLANTA RIGHT OF WAY ASSOCIATED WITH THIS PROJECT'S SCOPE OF WORK.

SITE AMENITIES INCLUDING, BUT NOT LIMITED TO, TRASH CANS, PEDESTRIAN LIGHTING, BICYCLE RACKS, ETC. ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATIONS TO BE DETERMINED AND SHOWN PER THE FINAL LANDSCAPE/HARDSCAPE CONSTRUCTION PLANS.

NOTE: THERE IS NO IMPACT TO ANY EXISTING TREES DUE TO THE PROPOSED CONSTRUCTION.

NOTE: ALL PAVEMENT MARKINGS SHALL BE INSTALLED USING SLIP-RESISTANT PAINT.

GEORGIA811
Utilities Protection Center, Inc.

Know what's below.
Call before you dig.

Dial 811
Or Call 800-282-7411

THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) SHOWN ON THESE DRAWINGS ARE APPROXIMATE & WERE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM THE UTILITY OWNERS. HAINES, GIPSON & ASSOCIATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY OR HIS AGENT AND/OR THE CONTRACTOR TO DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) & TO NOTIFY UTILITY OWNERS BEFORE BEGINNING ANY CONSTRUCTION.

CAUTION-NOTE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. GA. LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

HAINES GIPSON & ASSOCIATES
CONSULTING ENGINEERS
CIVIL & STRUCTURAL SERVICES
1530 NORTH BROWN ROAD, SUITE 100
LAWRENCEVILLE, GA 30043
PHONE: (770) 491-7550
FAX: (770) 491-7750

HGA

SEAL
REGISTERED PROFESSIONAL ENGINEER
R. CLAY LEWIS
EX. 9000
REX CLAY LEWIS
4/23/2019

EDENS

LANDLOT 99 - DISTRICT 17
CITY OF ATLANTA, GEORGIA

BUCKHEAD MARKETPLACE
37 WEST PACES FERRY RD.

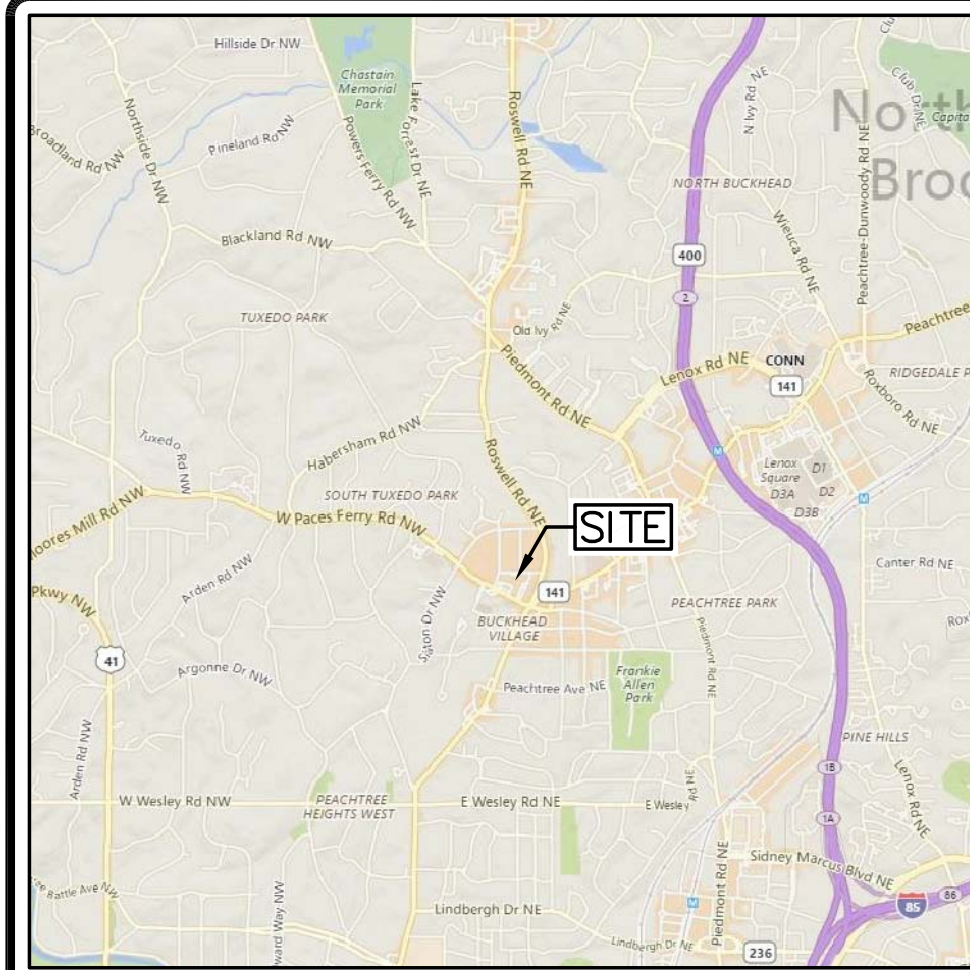
NO.	BY	DATE	DESCRIPTION
0	SES	4/17/19	S.A.P. SUBMITTAL

DRAWN BY: SES
CHECKED BY: RCL

DATE: 04/17/2019
SHEET TITLE: SITE PLAN
SHEET NUMBER: C-1

NOT RELEASED FOR CONSTRUCTION

HGA JOB NO. 2018-202-04



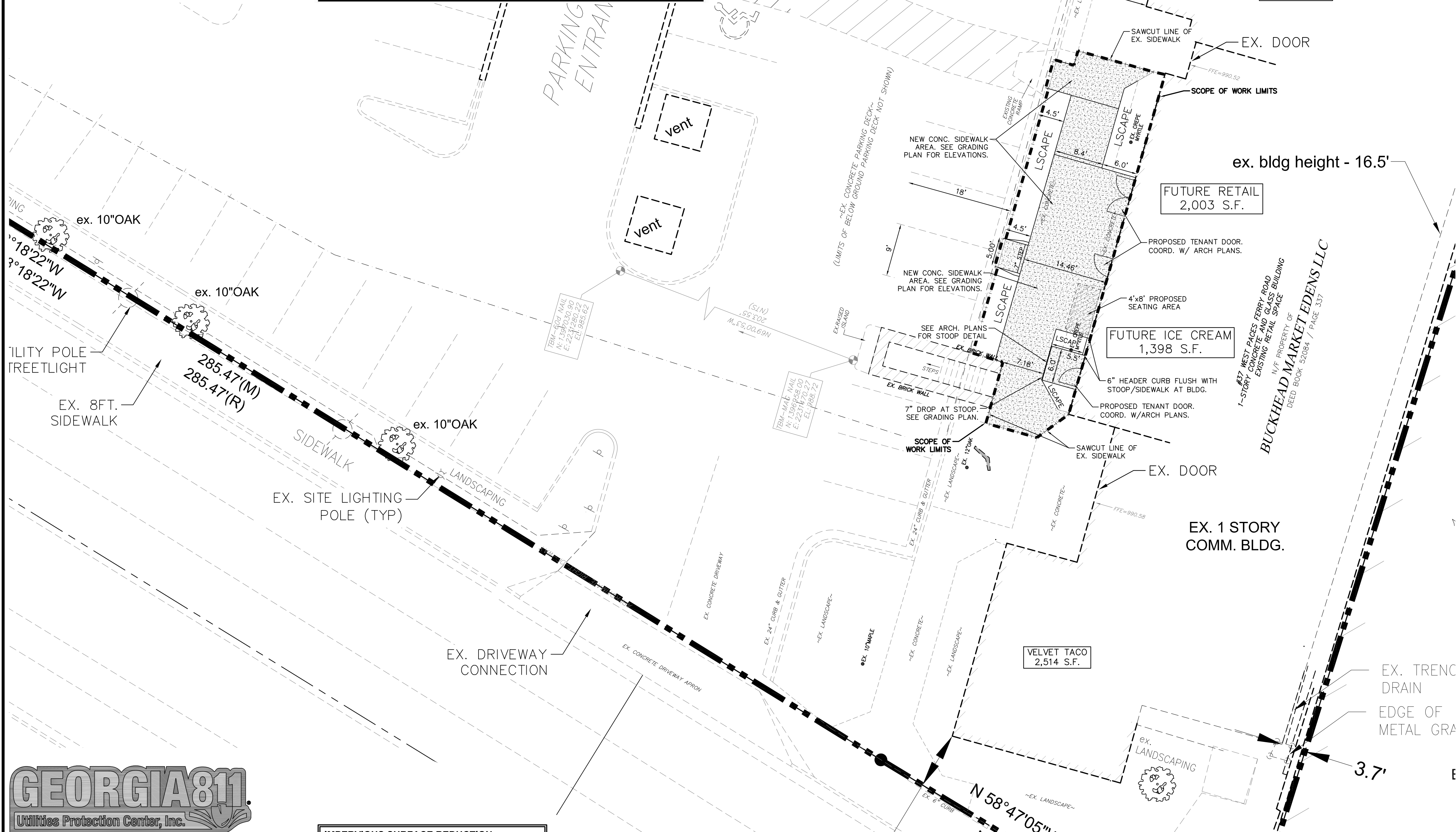
LOCATION MAP

The following is intended to summarize the expected scope of work for the above-mentioned project. All information included in this report is from preliminary inspection of existing conditions and future tenant needs and is subject to change.

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 Revise drainage inlets as needed for new sidewalk elevations.
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 Provide proposed seating area for future ice cream shop.
 Provide new landscaping at new beds.

Building Exterior:
 Expand existing storefront opening to accommodate new glazing and 4 new entry doors.
 Scope of work results in a net increase of length of glazing of 27'-10", or 46.4% of the effected length of the existing building.
 Proposed length of fenestration is 73% of the effected length of the existing building.

Scope of Work Letter Page 1 of 1



ex. 1 story mas
15,917 sq.ft

ex. bldg height - 24'

ex. bldg height - 16.5'

1. OWNER/DEVELOPER (PRIMARY PERMITTEE) — EDENS - MR. MATT SCHELL
3050 PEACHTREE RD., NW, SUITE 800
ATLANTA, GA 30305
(770) 569-5509

2. CIVIL ENGINEER (24-HOUR CONTACT) — HAINES, GIPSON & ASSOCIATES, INC.
1530 NORTH BROWN ROAD, SUITE 100
LAWRENCEVILLE, GA 30043
(770) 491-7550
R. CLAY LEWIS (GSWCC#900, EXP. 9/2020)
SCOTT SAMUEL (GSWCC#930, EXP. 9/2020)

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4. CONTRACTOR TO COORDINATE RELOCATION/MODIFICATION OF EXISTING UTILITIES IN RIGHT-OF-WAY AS REQUIRED BY THE MUNICIPALITY HAVING JURISDICTION.
5. THERE SHALL BE NO BURY PITS LOCATED ON THIS SITE. CONTRACTOR TO DISPOSE OF ALL WASTE AND EXCESS MATERIALS OFFSITE IN AN APPROVED MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND REQUIREMENTS.
6. NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
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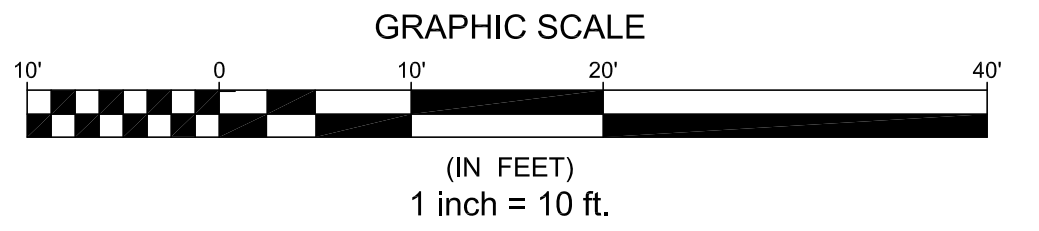
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- 1) INSTALLATION OF SIDEWALK ALONG PUBLIC RIGHT-OF-WAY IS REQUIRED BY THE CITY OF ATLANTA CODE (SECTION 138). SIDEWALKS, CONCRETE CURB AND GUTTER AND GRANITE CURB SHALL CONFORM TO THE CITY OF ATLANTA STANDARD DETAILS. THE BACK OF SIDEWALK SHALL BE LOCATED AT THE PROPERTY LINE.
 - 2) AT ALL POINTS ALONG THE PUBLIC RIGHT-OF-WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF ATLANTA REQUIREMENTS AND THE SIDEWALK BE REPLACED.
 - 3) CONCRETE DRIVEWAY APRONS WITH FLARES ARE REQUIRED BY THE CITY OF ATLANTA CODE (SECTION 138), AND SHALL CONFORM TO THE CITY OF ATLANTA STANDARD DETAILS. THE BACK OF THE DRIVEWAY APRON SHALL BE LOCATED AT THE PROPERTY LINE.
 - 4) A HAUL ROUTE PERMIT IS REQUIRED FROM THE BUREAU OF TRAFFIC AND TRANSPORTATION (404-330-6501) WHEN MORE THAN 500 CUBIC YARDS OF MATERIAL IS HAULED TO OR FROM THE SITE.
 - 5) A QUALIFIED CONTRACTOR PERMIT IS REQUIRED FROM THE TRAFFIC AND TRANSPORTATION SECTION (404-330-6501) OF PUBLIC WORKS FOR CONSTRUCTION OF NEW SEWER CONNECTION, SIDEWALKS, DRIVEWAY APRON OR OTHER WORK IN THE PUBLIC RIGHT-OF-WAY. REQUIRES PROOF OF AN IN-FORCE GENERAL LIABILITY INSURANCE POLICY IN THE AMOUNT OF \$3 MILLION, AND VALID BUSINESS LICENSE AND PAYMENT OF APPLICABLE FEES. THE CITY OF ATLANTA SHALL BE SHOWN AS THE CERTIFICATE HOLDER ON THE POLICY.
 - 6) PRIOR TO DEDICATION AND ACCEPTANCE OF SANITARY SEWER, STORM SEWER OR STREET INFRASTRUCTURE TO THE CITY OF ATLANTA, "AS BUILT" DRAWINGS AND 3-YEAR MAINTENANCE BONDS ARE REQUIRED. THE STREET CONSTRUCTION SHALL DEMONSTRATE ADEQUATE COMPACTION WITH PROFESSIONAL TESTING AND REPORTS PREPARED BY A GEORGIA REGISTERED PROFESSIONAL CIVIL ENGINEER. THE SANITARY SEWER INSTALLATION SHALL INCLUDE AN INTERVAL TEST INSPECTION, A SUCCESSFUL MANDREL PULL AND SUCCESSFUL LEAK DOWN PRESSURE TEST.

- GENERAL NOTES:**
1. SITE IS LOCATED AT 37 WEST PACES FERRY RD.; CITY OF ATLANTA, FULTON COUNTY, GA., LAND LOT 99, DISTRICT 17; COUNCIL DIST. 8, W/4 "S"
 2. ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.). SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
 3. SITE AREA = 43.48 ACRES.
 4. THE ZONING FOR THE SITE IS SP-9 SA2, BUCKHEAD PARKING OVERLAY.
 5. TOTAL DISTURBED AREA = ±1,130 S.F.; ±0.026 ACRES.
 6. ALL CONSTRUCTION TO CONFORM TO CITY OF ATLANTA AND STATE OF GEORGIA WHETHER OR NOT REVIEW COMMENTS WERE MADE.
 7. MAXIMUM CUT / FILL SLOPES = 2 HOR. TO 1 VERT. NO GRADED SLOPE SHALL EXCEED 2H:1V.
 8. ALL DIMENSIONS TO / FROM FACE OF CURB UNLESS NOTED OTHERWISE. RADIUS DIMENSIONS ARE 3' UNLESS OTHERWISE SHOWN.
 9. ALL UTILITIES IN AREAS OF CONSTRUCTION TO BE FIELD LOCATED AND VERIFIED PRIOR TO BEGINNING CONSTRUCTION.
 10. CONTRACTOR TO MAINTAIN MINIMUM COVER OVER EXISTING AND PROPOSED UTILITIES IN RIGHT-OF-WAY AS REQUIRED BY THE CITY OF ATLANTA AND/OR THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
 11. CONTRACTOR TO COORDINATE RELOCATION / MODIFICATION OF EXISTING UTILITIES IN RIGHT-OF-WAY AS REQUIRED BY THE MUNICIPALITY HAVING JURISDICTION.
 12. PRIOR TO LAND-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR, CALL (404) 546-1300 TO CONTACT THE INSPECTOR.
 13. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 14. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 15. SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY THE PROJECT ENGINEER AND/OR MUNICIPAL INSPECTOR.
 16. NOTIFY THE CITY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
 17. SUBJECT PROPERTY DOES NOT LIE WITHIN THE 100-YR. FLOODPLAIN PER FIRM PANEL NUMBER 1312100234F.
 18. WETLANDS ARE NOT LOCATED WITHIN THE SUBJECT SITE. THEREFORE, NO WETLAND MITIGATION IS REQUIRED.
 19. ALL UNDISTURBED BUFFERS SHALL BE FIELD LOCATED; STAKED AND FLAGGED OR MARKED WITH "TENZLA" OR SIMILAR TYPE FENCING; AND SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO GRADING.
 20. EXISTING VEGETATION SHALL BE PRESERVED WITHIN ALL BUFFER AREAS.
 21. BUFFER AREAS ARE NOT TO BE DISTURBED BY GRADING, PROPERTY IMPROVEMENTS, OR CONSTRUCTION ACTIVITIES. ANY UNEXPECTED DISTURBANCES SHALL FIRST BE TO THE ATTENTION OF THE CITY OF ATLANTA BUILDING DEPARTMENT AND FORMAL APPROVAL SECURED PRIOR TO INITIATING ACTIVITY WITHIN THE REQUIRED BUFFER AREAS.
 22. CONTRACTOR RESPONSIBLE FOR COMPLIANCE OF ALL BEST MANAGEMENT PRACTICES (BMP'S) AS REGULATED BY THE ENVIRONMENTAL PROTECTION AGENCY. ANY FINES AND/OR COSTS WHICH ARE THE RESULT OF NON-COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 23. CONTRACTOR SHALL PROVIDE AND MAINTAIN OFF-STREET PARKING THROUGHOUT PROJECT CONSTRUCTION.
 24. ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ATLANTA AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, STRIPING AND MARKINGS TO USE SLIP-RESISTANT PAINT.
 25. ALL CONSTRUCTION WITHIN RETAIL AREAS TO COMPLY WITH TENANT SPECIFICATIONS AND/OR THE SPECIFICATIONS OF THE GOVERNING AUTHORITY, WHICHEVER IS GREATER.

LEGEND

EXISTING EDGE OF PAVEMENT	---
EXISTING CURB & GUTTER	---
EXISTING BUILDING	---
PROPOSED CONCRETE CURB & GUTTER	---
PROPOSED BUILDING	---
PROPERTY LINES	---
UNDISTURBED BUFFER AREA	---
IMPERVIOUS SURFACE SETBACK	---

S.A.P. SITE PLAN



Know what's below. Call before you dig.
 Dial 811
 Or Call 800-282-7411

THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) SHOWN ON THESE DRAWINGS ARE APPROXIMATE & HAVE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM THE UTILITY OWNERS. HAINES, GIPSON & ASSOC., INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY OR HIS AGENT AND/OR THE CONTRACTOR TO DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) & TO NOTIFY UTILITY OWNERS BEFORE BEGINNING ANY CONSTRUCTION.

CAUTION-NOTE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. GA. LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

IMPERVIOUS SURFACE REDUCTION:
 IMPERVIOUS AREA CONVERTED TO PERVIOUS AREAS: 133.5 S.F.

THERE ARE NO PROPOSED STREET LIGHT MODIFICATIONS WITHIN THE CITY OF ATLANTA RIGHT OF WAY ASSOCIATED WITH THIS PROJECT'S SCOPE OF WORK.

SITE AMENITIES INCLUDING, BUT NOT LIMITED TO, TRASH CANS, PEDESTRIAN LIGHTING, BICYCLE RACKS, ETC. ARE SHOWN FOR REFERENCE ONLY. FINAL LOCATIONS TO BE DETERMINED AND SHOWN PER THE FINAL LANDSCAPE/HARDSCAPE CONSTRUCTION PLANS.

NOTE: THERE IS NO IMPACT TO ANY EXISTING TREES DUE TO THE PROPOSED CONSTRUCTION.

NOTE: ALL PAVEMENT MARKINGS SHALL BE INSTALLED USING SLIP-RESISTANT PAINT.

USE	SIZE (S.F.)	MAX. PARKING RATIO	MAX VEHICLE SPACES
RESTAURANT	3,912	1 per 300 s.f.	13.0
OUTDOOR PATIO *	452	1 per 600 s.f.	0.0
RETAIL	66,339	1 per 300 s.f.	221.1
TOTAL			235
TOTAL PROPOSED	70,703		278
		Existing Parking	278

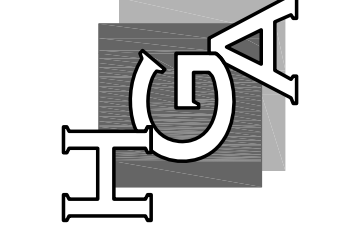
* No parking requirement if less than 25%

EXISTING SITE ELEMENTS SHOWN ARE A COMPILATION OF SEVERAL SURVEYS. ALL EXISTING INFORMATION TO BE FIELD VERIFIED AND PROPOSED CONSTRUCTION STAKED PRIOR TO BEGINNING WORK.

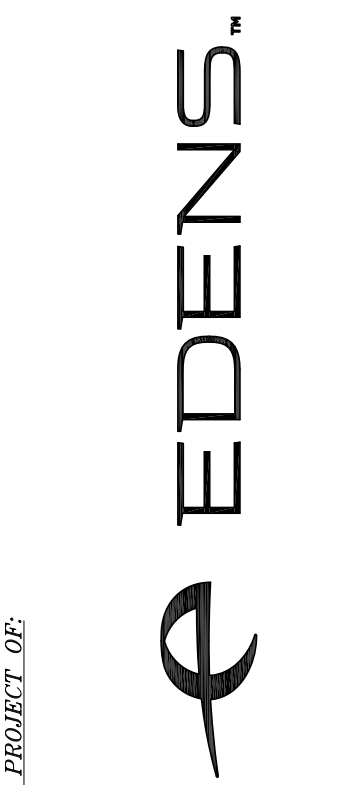
SCOPE OF WORK:

- 1) REPLACE EXISTING CONCRETE SIDEWALK IN HATCHED AREA SHOWN ON PLAN.
- 2) SLIGHTLY REVISE GRADES TO DECREASE SIDEWALK CROSS-SLOPES AND ACCOMMODATE NEW TENANT ENTRY/EXIT DOORS.
- 3) DECREASE OF 133.5 S.F. OF IMPERVIOUS SURFACE BY EXPANDING LANDSCAPE BEDS.
- 4) REVISE DRAINAGE INLETS AS NEEDED FOR NEW SIDEWALK ELEVATIONS.
- 5) PROVIDED EROSION CONTROL BMPs FOR SITWORK.
- 6) PROPOSED SEATING AREA FOR FUTURE ICE CREAM SHOP.
- 7) NO CHANGE IN USEABLE OPEN SPACE.
- 8) SCOPE OF WORK AREA= ±1,130 S.F. (±0.026 ACRES)

HAINES GIPSON & ASSOCIATES
 CONSULTING ENGINEERS
 CIVIL & STRUCTURAL SERVICES
 1530 NORTH BROWN ROAD, SUITE 100
 LAWRENCEVILLE, GA 30043
 PHONE: (770) 491-7550
 FAX: (770) 491-7750



4/23/2019



BUCKHEAD MARKETPLACE
 37 WEST PACES FERRY RD.
 LANDLOT 99 - DISTRICT 17
 CITY OF ATLANTA, GEORGIA

NO.	BY	DATE	DESCRIPTION
0	SES	4/17/19	S.A.P. SUBMITTAL

DRAWN BY: SES
 CHECKED BY: RCL

DATE: 04/17/2019
 SHEET TITLE: SITE PLAN
 SHEET NUMBER: C-11



DATE
4-15-2019
REVISION

BUCKHEAD MARKET PLACE
37 WEST PACES FERRY RD.
ATLANTA, GA. 30305

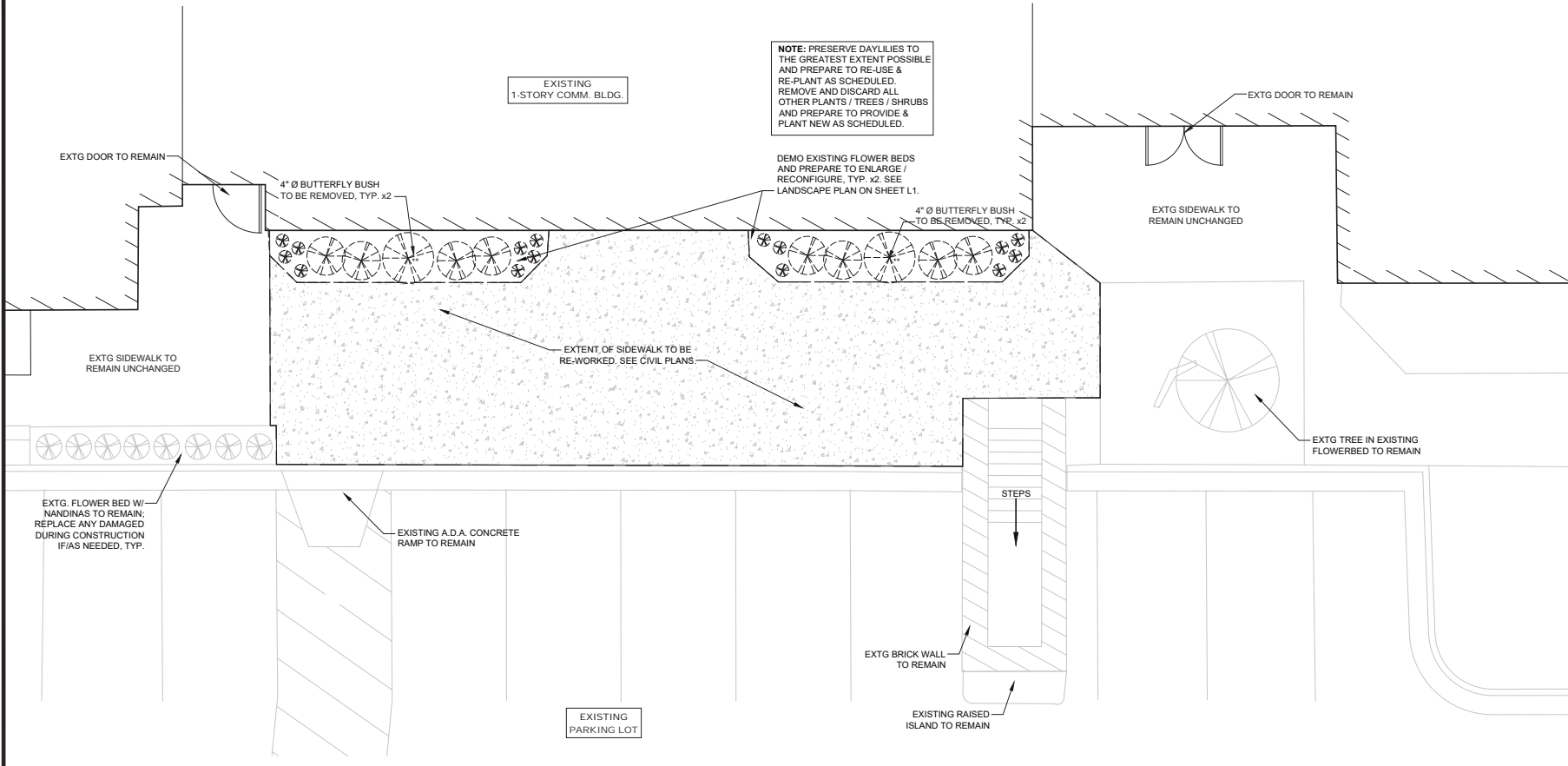


TAP ARCHITECTS, LLC
830 GLENWOOD AVE SUITE 5000 ATLANTA, GA 30316 TEL: 404.525.0555 FAX: 404.525.1955

DEMOLITION/LANDSCAPE PLAN

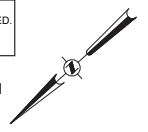
RELEASED FOR
CONSTRUCTION

D1



NOTE: PRESERVE DAYLILIES TO THE GREATEST EXTENT POSSIBLE AND PREPARE TO RE-USE & RE-PLANT AS SCHEDULED. REMOVE AND DISCARD ALL OTHER PLANTS / TREES / SHRUBS AND PREPARE TO PROVIDE & PLANT NEW AS SCHEDULED.

1 | DEMOLITION LANDSCAPE PLAN
1/4" = 1'-0"





DATE
4-12-2019
REVISION

BUCKHEAD MARKET PLACE
37 WEST PACES FERRY RD.
ATLANTA, GA. 30305

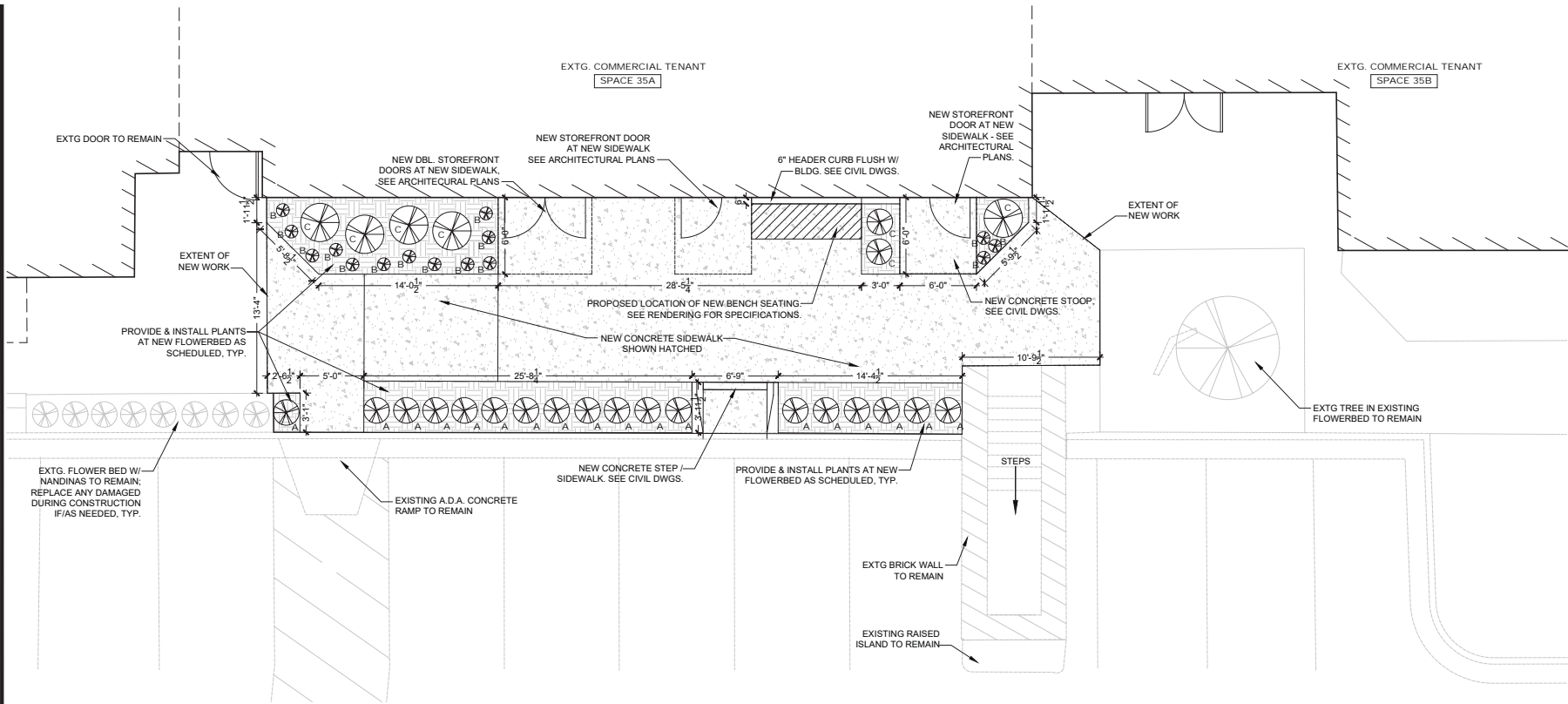
EDENS.

TAP ARCHITECTS, LLC
830 GLENWOOD AVE. SUITE 2000 ATLANTA, GA 30309 TEL: 404.525.0555 FAX: 404.525.1055

LANDSCAPE PLAN

RELEASED FOR
CONSTRUCTION

L1



- NOTES:**
- PRESERVE DAYLILIES TO THE GREATEST EXTENT POSSIBLE AND PREPARE TO RE-USE & RE-PLANT AS SCHEDULED. REMOVE AND DISCARD ALL OTHER PLANTS / TREES / SHRUBS AND PREPARE TO PROVIDE & PLANT NEW AS SCHEDULED.
 - PROVIDE & INSTALL DARK BROWN MULCH (TO MATCH EXISTING, ADJACENT FLOWERBEDS) IN NEW FLOWERBEDS AFTER PLANTING IS COMPLETE.



1 | LANDSCAPING PLAN
1/4" = 1'-0"

SUMMARY OF SCOPE OF WORK			
CONDITION	CONCRETE SIDEWALK (SF)	PLANTING BED (SF)	TOTAL (SF)
EXISTING	963.6	170.4	1134
PROPOSED	832.6	301.4	1134
NET CHANGE	-131	131	0

Scope of work results in an increase of permeable surfaces by 131 sf.



A. NANDINA



B. DAYLILY



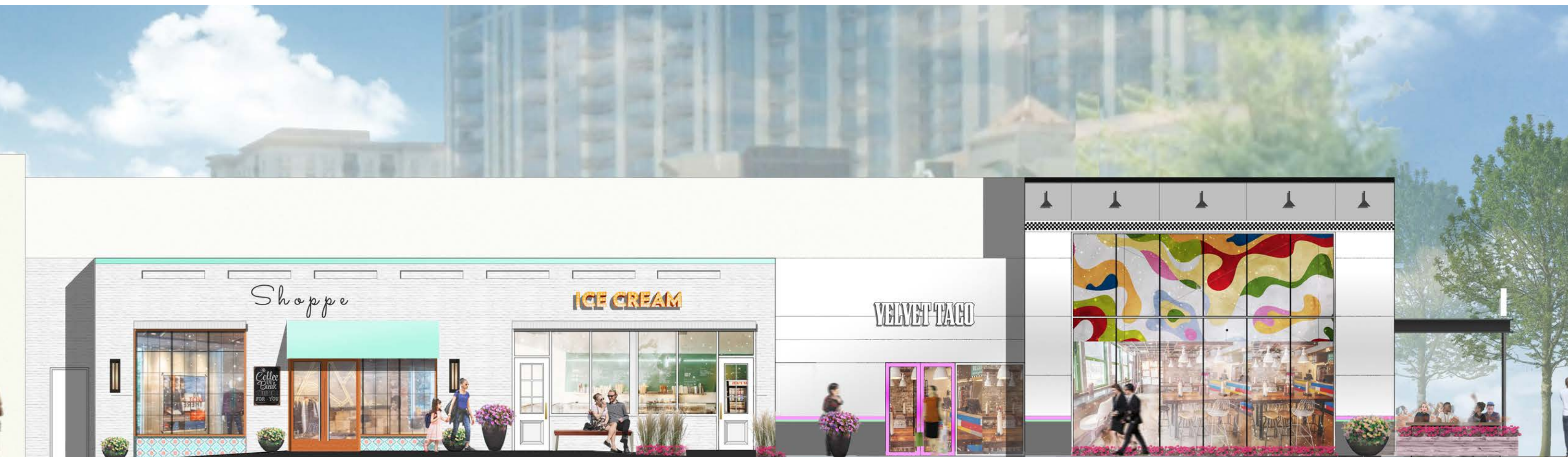
C. LOROPETALUM



BUTTERFLY BUSH (TO BE DEMOLISHED, x2)
**MARK DENOTES BUTTERFLY BUSH TO BE REMOVED - SEE DEMO PLAN

LANDSCAPING SCHEDULE						
MARK	ITEM	VARIETY / COLOR	LOCATION	PROVIDED BY	REMARKS	QTY
PLANTS, TREES & SHRUBS						
A	NANDINA	MATCH EXISTING VARIETY	SEE PLAN SHEET L1	LANDSCP		18
B	DAYLILY	MATCH EXISTING VARIETY	SEE PLAN SHEET L1	LANDSCP	RE-USE & RE-PLANT EXISTING DAYLILIES REMOVED FROM CRACKED/SEWER FLOWER BEDS TO THE GREATEST EXTENT POSSIBLE. PROVIDE & PLANT NEW PLANTS NEEDED PER LANDSCAPING PLAN.	15
C	LOROPETALUM	MATCH EXISTING VARIETY	SEE PLAN SHEET L1	LANDSCP		7
OTHER						
D	MULCH	DARK BROWN	SEE PLAN SHEET L1	LANDSCP	MATCH EXISTING IN ADJACENT FLOWER BEDS	NA

ALL SPECIES PLANTED ARE TO MATCH EXISTING SPECIES FOUND ON SITE. NO NEW PLANT SPECIES TO BE INTRODUCED.



ENLARGED ELEVATION





CHARACTER OF POTENTIAL FURNITURE

BENCHES
 LF STRATA BEAM BENCH
 WHITE, GRAY, WARM WOOD



PLANTER POTS
 URBILIS MADISON
 WHITE, DARK GRAY

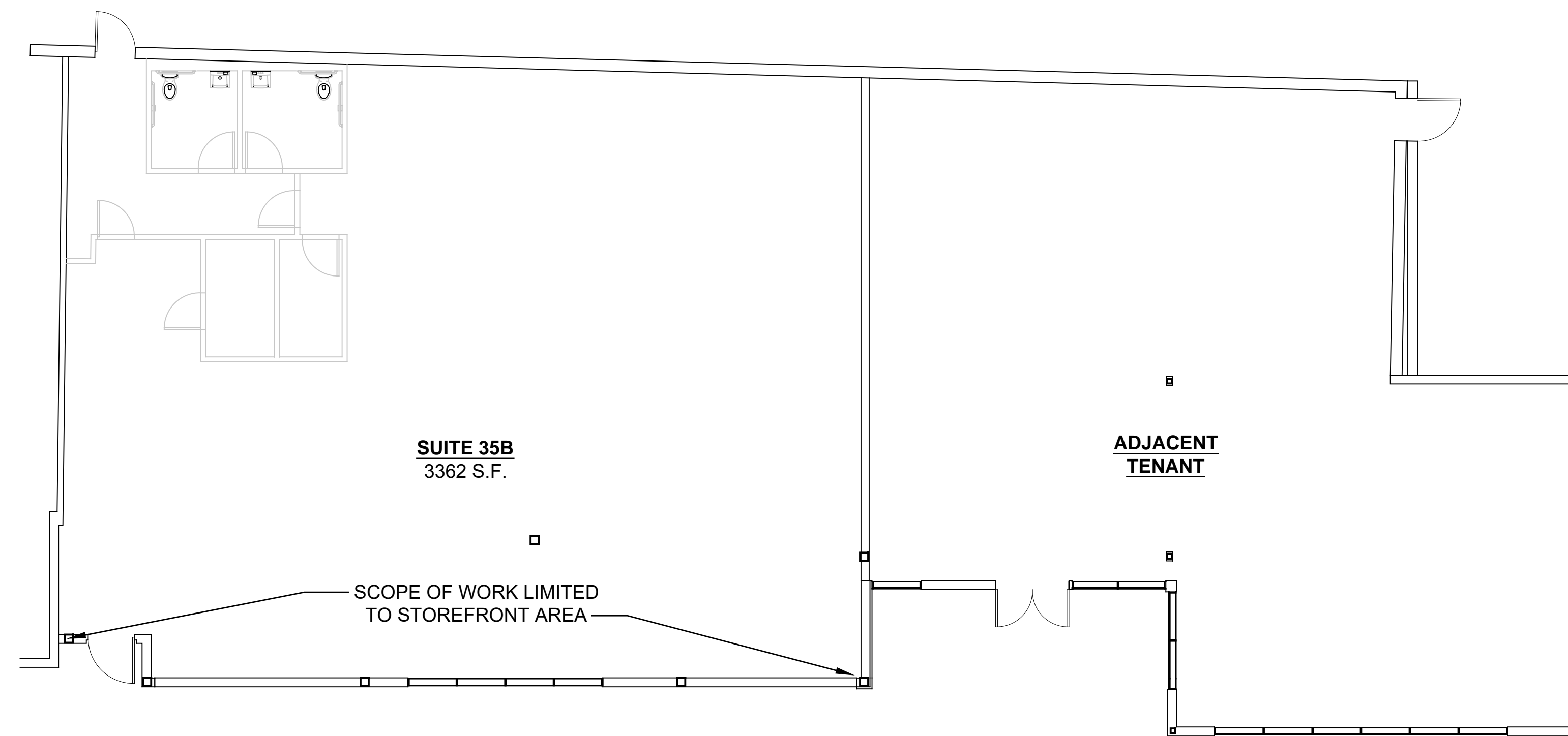


STOREFRONT MODIFICATION FOR:

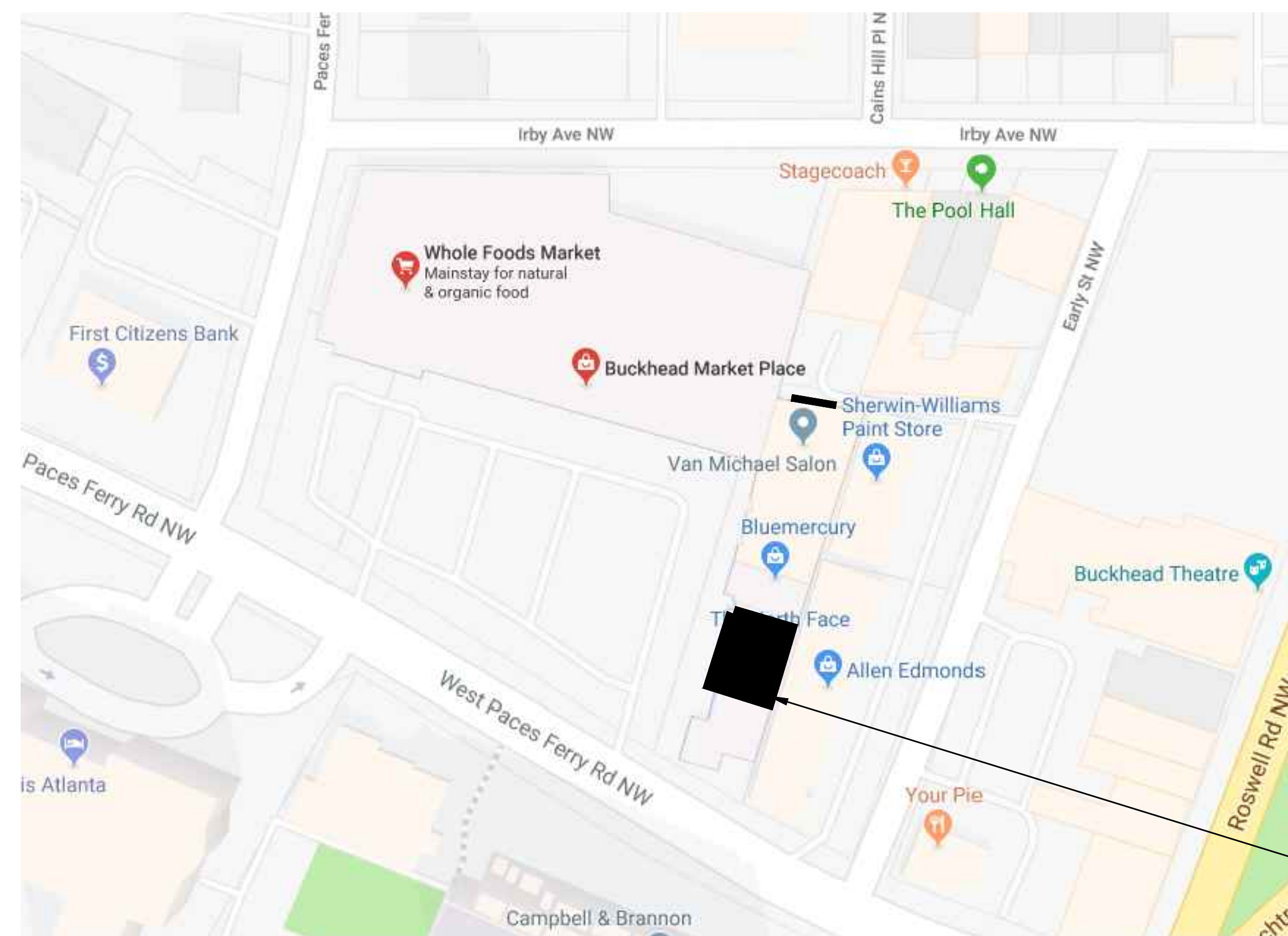


BUCKHEAD MARKET PLACE SUITE 35B, 3362 S.F. 77 WEST PACES FERRY RD. ATLANTA, GA. 30305

PROJECT DIRECTORY PROJECT NAME & LOCATION WHITE BOX TENANT BUILTOUT FOR EDENS: Buckhead Market Place 77 West Paces Ferry Rd Suite 35B, 3362 S.F. Atlanta, GA. 30305
LANDLORD: Edens Attn: Matt Schell Tenant Construction Manager 3050 Peachtree Rd. NW, Suite 580 Atlanta, GA. 30305 (678)-527-0401 mschell@edens.com
PROJECT ARCHITECT TAP Architects, LLC Attn: Taylor Pitelka, Architect 830 Glenwood Ave Se, Suite 510-248 Atlanta, GA 30316 404/584-1681, Fax: -1695 Direct: 404/584-1683, Fax: -3204 Email: tpitelka@tap-architects.com
BUILDING DEPARTMENT: City of Atlanta Office of Buildings Commercial Permits Division 55 Trinity Ave, Suite 3900 Atlanta, GA 30303 (404) 330-6696



SITE PLAN
NORTH ↙



SUITE 35B

SCOPE OF WORK FOR SUITE 35B:
 1. DEMO PORTION OF EXISTING CMU BLOCK WALL AT STOREFRONT.
 2. PROVIDE & INSTALL KNEE WALL W/ GLAZING ABOVE AT STOREFRONT FACADE
 3. PROVIDE (3) NEW STOREFRONT DOORS AS SCHEDULED
 4. PATCH/REPAIR ANY DAMAGE TO EXISTING EXT. METAL FRAMED WALL IF/AS NECESSARY

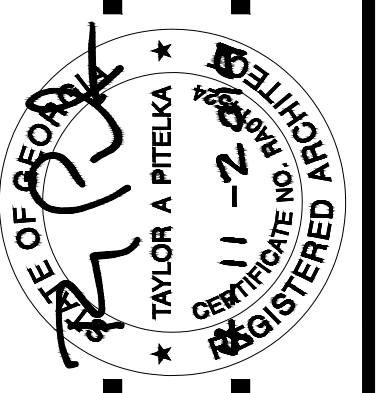
INDEX TO DRAWINGS		
#	SHEET NAME	SHEET NO.
1	KEY PLAN, GENERAL NOTES, DIRECTORY	T1
2	DEMOLITION FLOOR PLAN	D1
3	ARCHITECTURAL PLAN	A1
4	STOREFRONT ELEVATION & DETAILS	A2
5	STRUCTURAL DETAILS	S1
6	PROJECT SPECIFICATIONS	SP1

ABBREVIATIONS	
SUPP	SUPPLIER
INST	INSTALLER
TEN	TENANT/OWNER/FRANCHISEE
TGC OR CON	TENANT'S CONTRACTOR
LL	LANDLORD
MATL	MATERIAL
FIN	FINISH
PT	PAINT
PWD	PLYWOOD
P.L.	PLASTIC LAMINATE
GWB	GYPSUM WALLBOARD
AFF	ABOVE FINISHED FLOOR

AREA CALCULATION (SUITE 35B):				
OCCUPANCY	AREA NAME	ALLOWANCE: FLOOR AREA IN S.F. PER OCCUPANT	AREA S.F.	NUMBER OF OCCUPANTS
BUSINESS	SALES AREA	30 S.F. GROSS	3,362 S.F./30	113
	OCCUPANTS			113

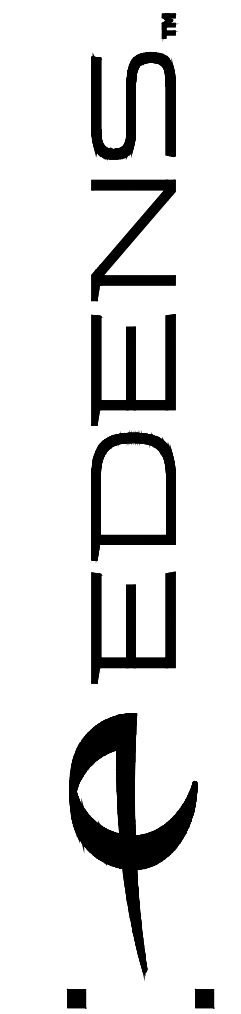
PROJECT DATA	
CODE REFERENCE	2012 INTERNATIONAL BUILDING CODE w/ GA AMENDMENTS (2014, 2015, 2017) 2012 INTERNATIONAL RESIDENTIAL CODE w/ GA AMENDMENTS (2014, 2015) 2012 INTERNATIONAL PLUMBING CODE w/ GA AMENDMENTS (2014, 2015) 2012 INTERNATIONAL MECHANICAL CODE w/ GA AMENDMENTS (2014, 2015) 2012 INTERNATIONAL FUEL GAS CODE w/ GA AMENDMENTS (2014, 2015) 2012 INTERNATIONAL FIRE CODE w/ GA AMENDMENTS (2014) 2012 INTERNATIONAL SWIMMING POOL & SPA CODE w/ GA AMENDMENTS (2014) 2009 INTERNATIONAL ENERGY CODE w/ GA AMENDMENTS (2011, 2012) 2017 NFPA 70 - NATIONAL ELECTRIC CODE 2012 NFPA 101 - LIFE SAFETY CODE w/ GA AMENDMENTS (2013) 2010 GA ACCESSIBILITY CODE
TENANT	SUITE 35B MERCANTILE USE GROUP "M" GROSS FLOOR AREA: 3,362 S.F. CONSTRUCTION TYPE: IIB SPRINKLERED: NO FIRE ALARM: NO 1-HOUR PROTECTED: YES NUMBER OF STORIES: 1 CALCULATED LOAD FOR OCCUPANCY: 113

AREA PLAN NORTH ↑



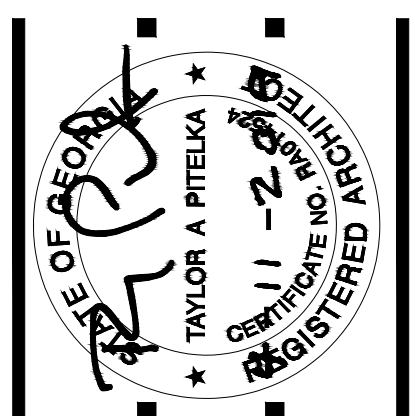
DATE: 4-11-2019
REVISION:

BUCKHEAD MARKET PLACE
SUITE 35B, 3,362SF.
77 WEST PACES FERRY RD.
ATLANTA, GA. 30305



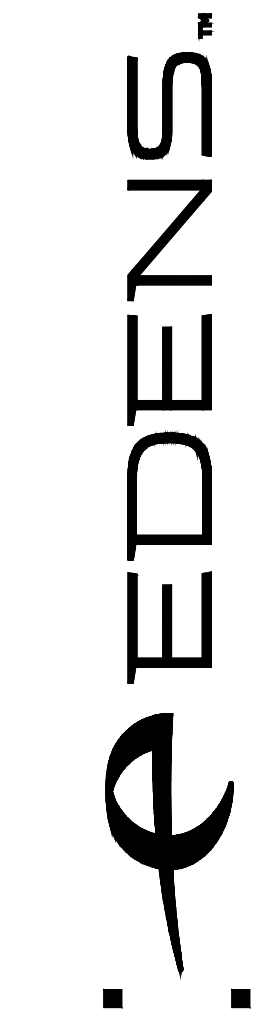
Cover Sheet

T1



DATE
4-11-2019
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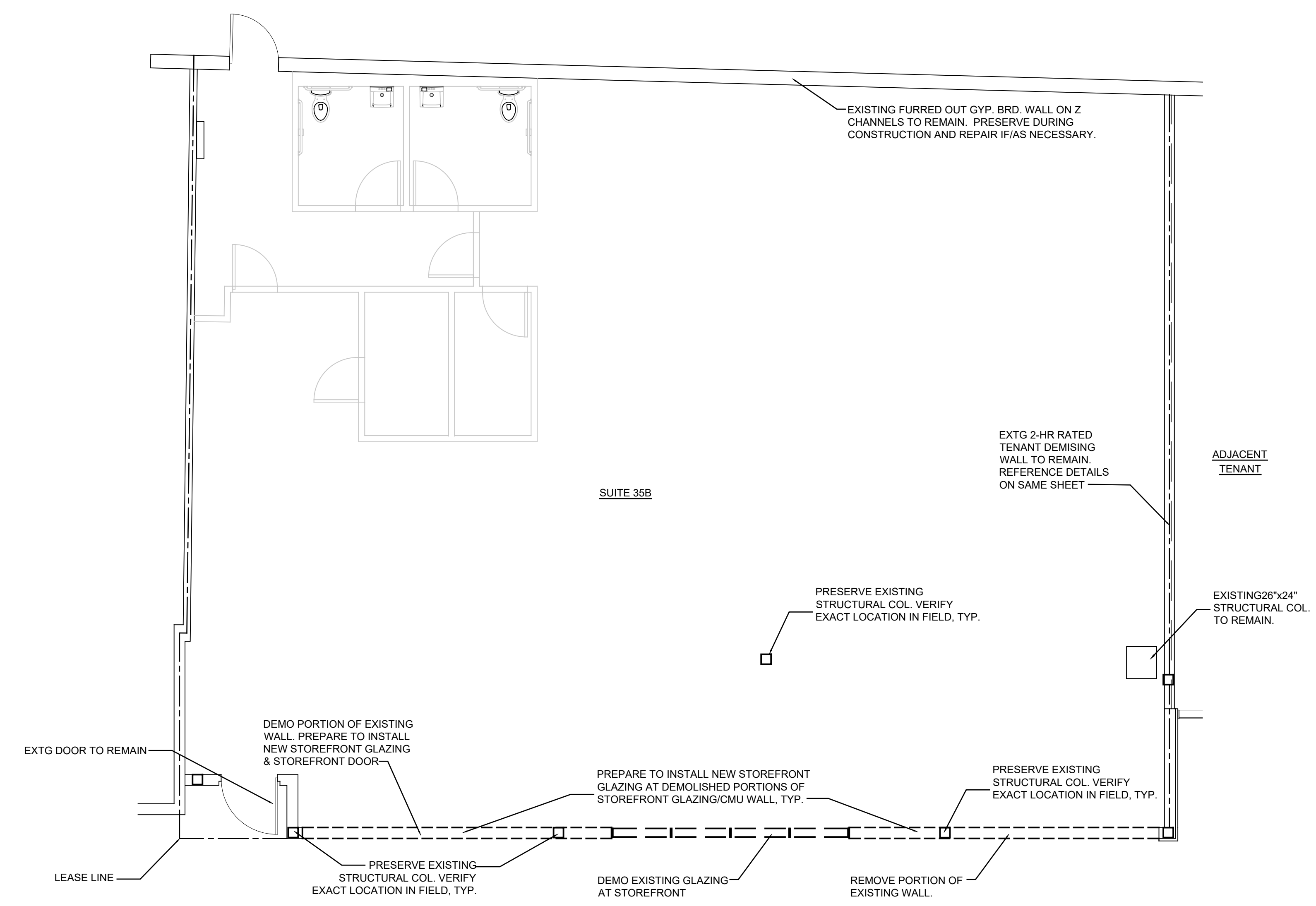
BUCKHEAD MARKET PLACE
SUITE 35B, 3,362SF.
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DEMOLITION PLAN
DEMOLITION NOTES

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CONSTRUCTION

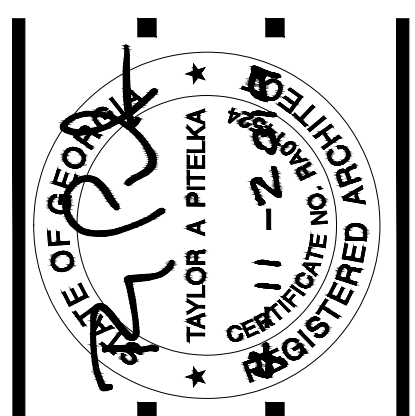
TAP ARCHITECTS, LLC
630 GLENWOOD AVE SE SUITE 510-248 ATLANTA, GA. 30316 TEL: 404/584-1880 FAX: 404/584-1695



DEMOLITION FLOOR PLAN
3/16" = 1'-0"

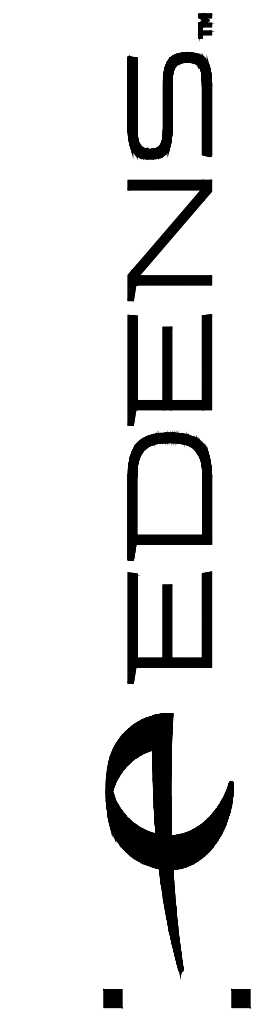
DEMOLITION GENERAL NOTES:	
1.	TENANT'S GENERAL CONTRACTOR (TGC) SHALL EXAMINE THE EXTG CONDITIONS OF THE STORE PREMISES IN ORDER TO DETERMINE THE EXACT SCOPE & EXTENT OF DEMOLITION WORK TO BE PERFORMED. TGC SHALL OBTAIN NECESSARY PERMITS & PERFORM ALL DEMOLITION REQ'D BY THE DRAWINGS AND/OR NECESSARY TO PERFORM ALL THE NEW CONSTRUCTION SHOWN.
2.	EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL, IF DAMAGED, BE REPAIRED AS NECESSARY FINISH ALL NEW & EXT'G CONSTRUCTION AS SHOWN. MAINTAIN FIRE RATINGS ON DEMISING WALLS AS REQUIRED. IF NOT EXT'G, PROVIDE 5/8" FIRE RATED GYPSUM BOARD TO STUDS AND SEAL TO DECK.
3.	ANY DISCREPANCIES IN THE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
SCOPE OF DEMOLITION: FLOOR	
1	DASHED LINES INDICATE ITEMS TO BE REMOVED: GLAZING, WALLS, ETC.:
2	WALLS: REMOVE PORTIONS OF EXISTING EXTERIOR WALLS & STORE GLAZING IN SPACE AS INDICATED

D1



DATE: 4-11-2019
REVISION:

BUCKHEAD MARKET PLACE
SUITE 35B, 3,362SF.
77 WEST PACES FERRY RD.
ATLANTA, GA. 30305

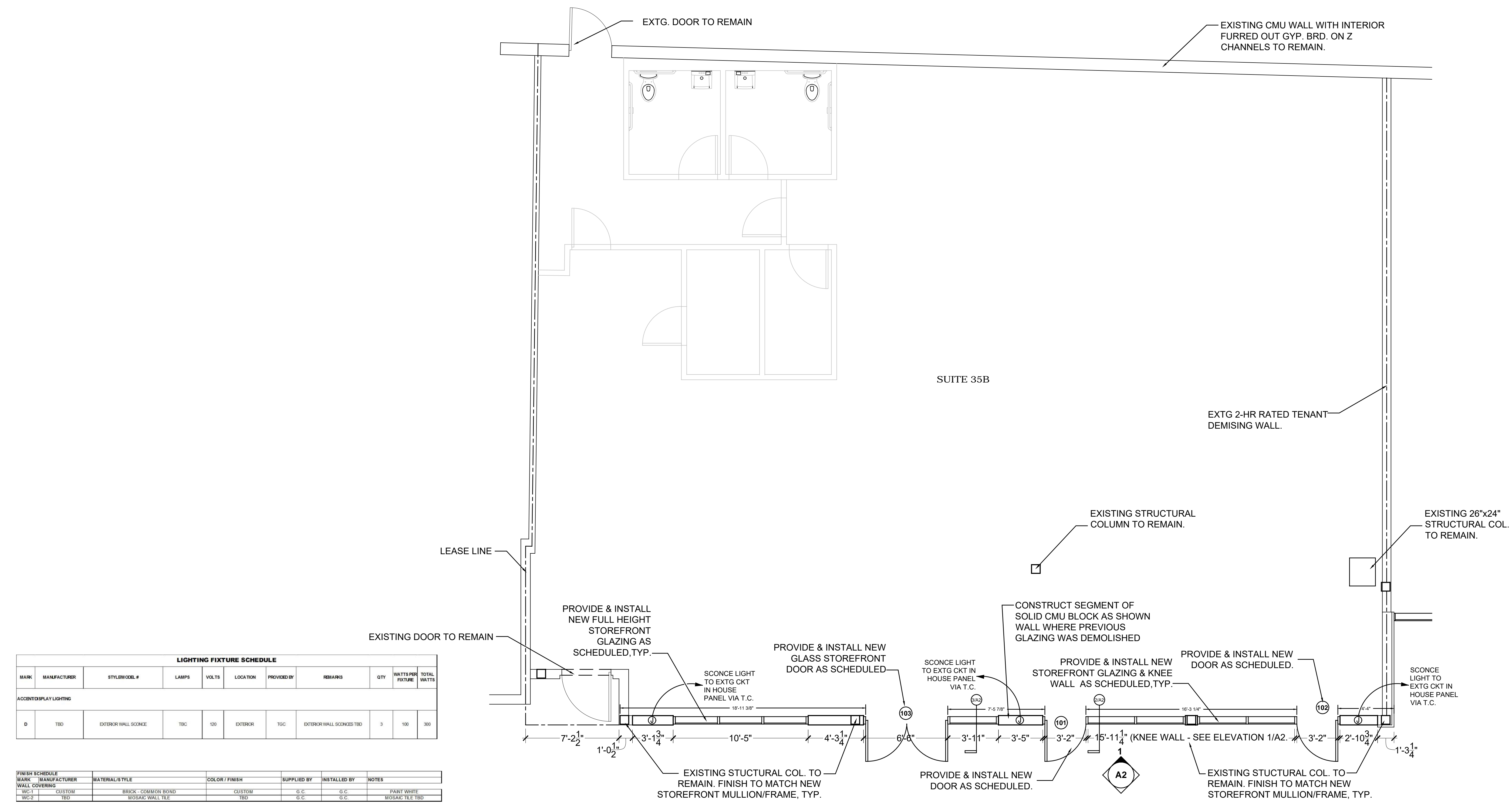


ARCHITECTURE FLOOR PLAN

A1

TAP ARCHITECTS, LLC
630 GLENWOOD AVE. SUITE 510-248 ATLANTA, GA. 30316 TEL: 404/584-1880 FAX: 404/584-1895

RELEASED FOR CONSTRUCTION



LIGHTING FIXTURE SCHEDULE										
MARK	MANUFACTURER	STYLE/MODEL #	LAMPS	VOLTS	LOCATION	PROVIDED BY	REMARKS	QTY	WATTS PER FIXTURE	TOTAL WATTS
ACCENT/DISPLAY LIGHTING										
D	TBD	EXTERIOR WALL SCONCE	TBC	120	EXTERIOR	TGC	EXTERIOR WALL SCONCES TBD	3	100	300

FINISH SCHEDULE						
MARK	MANUFACTURER	MATERIALS/STYLE	COLOR/FINISH	SUPPLIED BY	INSTALLED BY	NOTES
WC-1	CUSTOM	BRICK - COMMON BOND	CUSTOM	G.C.	G.C.	PAINT WHITE
WC-2	TBD	MOSAIC WALL TILE	TBD	G.C.	G.C.	MOSAIC TILE TBD

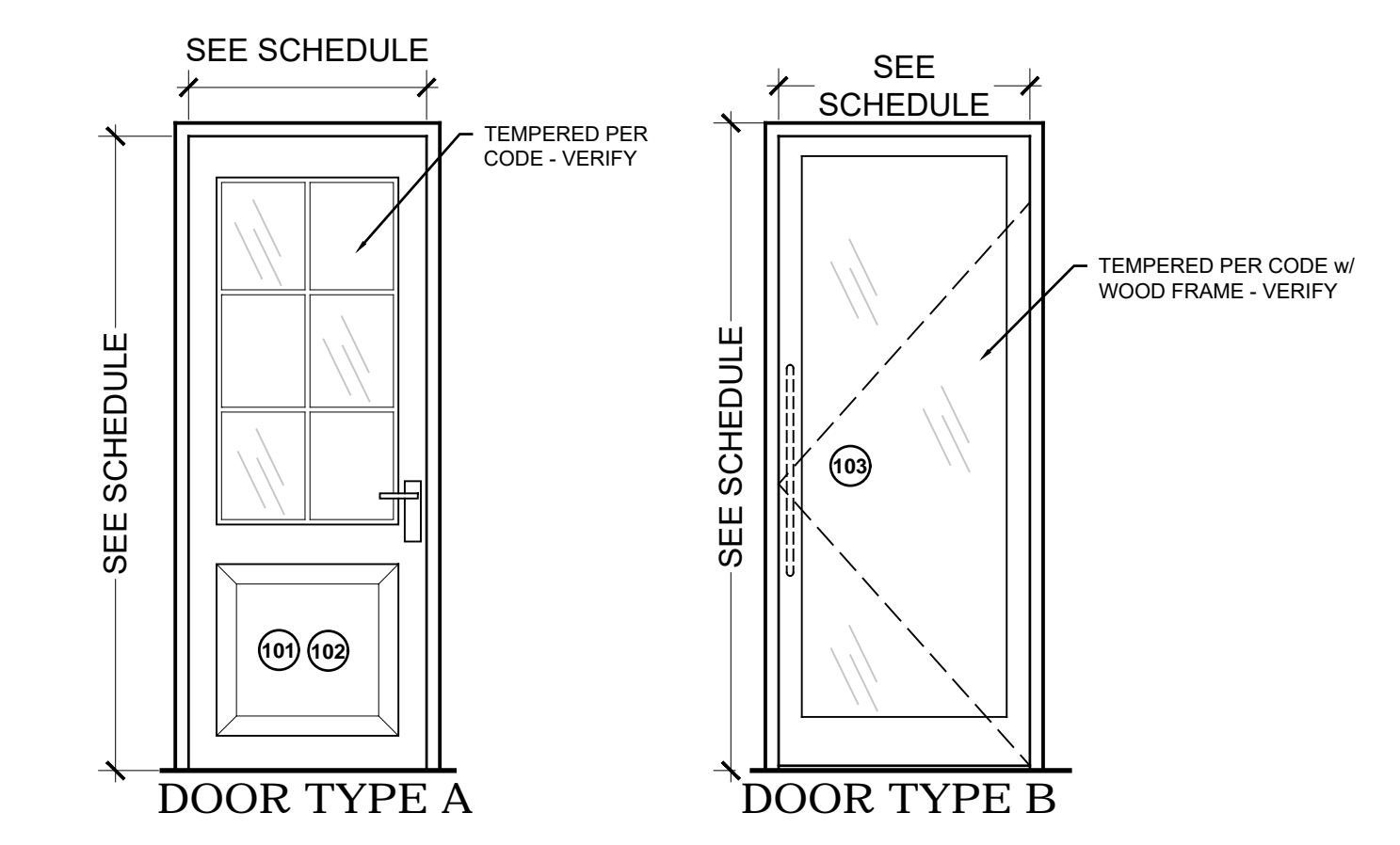
1 | ARCHITECTURAL FLOOR PLAN
1/4" = 1'-0"

DOOR SCHEDULE

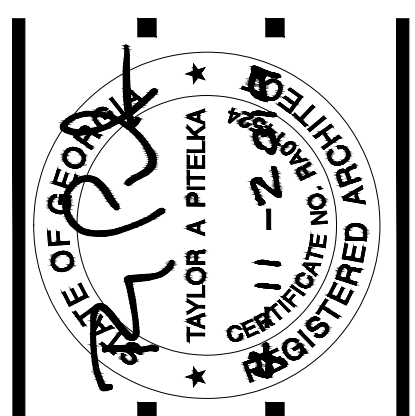
NO.	ROOM	DOOR TYPE	DOOR SIZE	DOOR RATING	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE	SUPPLY BY:	NOTES:
101	FRONT ENTRY	A	3'-0" X 10'-0"	VERIFY	WOOD w/ TEMPERED GLASS	PAINT WHITE	MTL.	WHITE ANOD. ALUM.	CONTINUOUS HINGE WITH STAINLESS BALL BEARINGS, OFFSET PULL BAR, PUSH BAR, ADA ACCESSIBLE THRESHOLD, TOP JAMB MOUNTED CLOSER, RIGHT HAND REVERSE LOCK CYLINDER	GC	VERIFY ALL HARDWARE IS IN ACCORDANCE WITH GA ADA REQUIREMENTS. REPLACE IF AS NEEDED.
102	FRONT ENTRY	A	3'-0" X 10'-0"	VERIFY	WOOD w/ TEMPERED GLASS	PAINT WHITE	MTL.	WHITE ANOD. ALUM.	CONTINUOUS HINGE WITH STAINLESS BALL BEARINGS, OFFSET PULL BAR, PUSH BAR, ADA ACCESSIBLE THRESHOLD, TOP JAMB MOUNTED CLOSER, RIGHT HAND REVERSE LOCK CYLINDER	GC	VERIFY ALL HARDWARE IS IN ACCORDANCE WITH GA ADA REQUIREMENTS. REPLACE IF AS NEEDED.
103	FRONT ENTRY	B	3'-0" X 10'-0"	VERIFY	WOOD w/ TEMPERED GLASS	STAIN LIGHT BROWN	MTL.	BRONZE ANOD. ALUM.	CONTINUOUS HINGE WITH STAINLESS BALL BEARINGS, OFFSET PULL BAR, PUSH BAR, ADA ACCESSIBLE THRESHOLD, TOP JAMB MOUNTED CLOSER, RIGHT HAND REVERSE LOCK CYLINDER	GC	VERIFY ALL HARDWARE IS IN ACCORDANCE WITH GA ADA REQUIREMENTS. REPLACE IF AS NEEDED.

SCOPE OF WORK

1. PROVIDE & INSTALL NEW KNEE WALL & GLAZING AT STOREFRONT.
2. PROVIDE & INSTALL (2) NEW DOORS AT STOREFRONT AS SCHEDULED.
3. PATCH AND REPAIR ANY OPENINGS OR PENETRATIONS IN EXISTING CMU BLOCK WALL AT STOREFRONT IF/AS NECESSARY



2 | DOOR TYPES

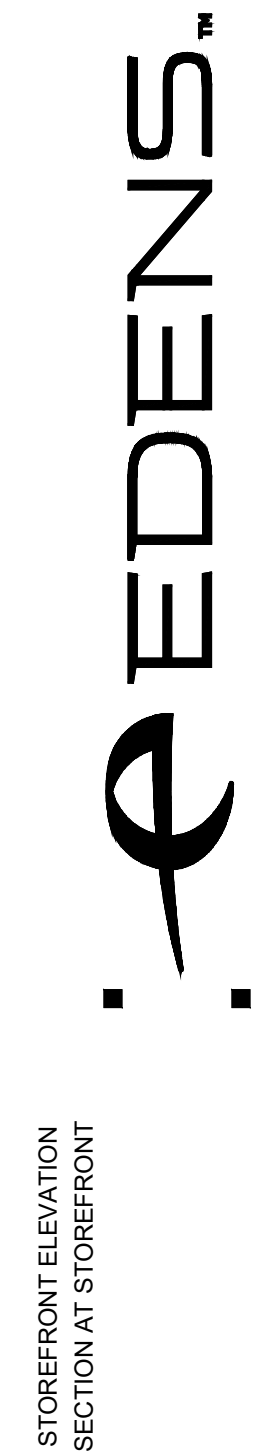


DATE
4-11-2019

REVISION

BUCKHEAD MARKET PLACE
SUITE 35B, 3,362SF.
77 WEST PACES FERRY RD.
ATLANTA, GA. 30305

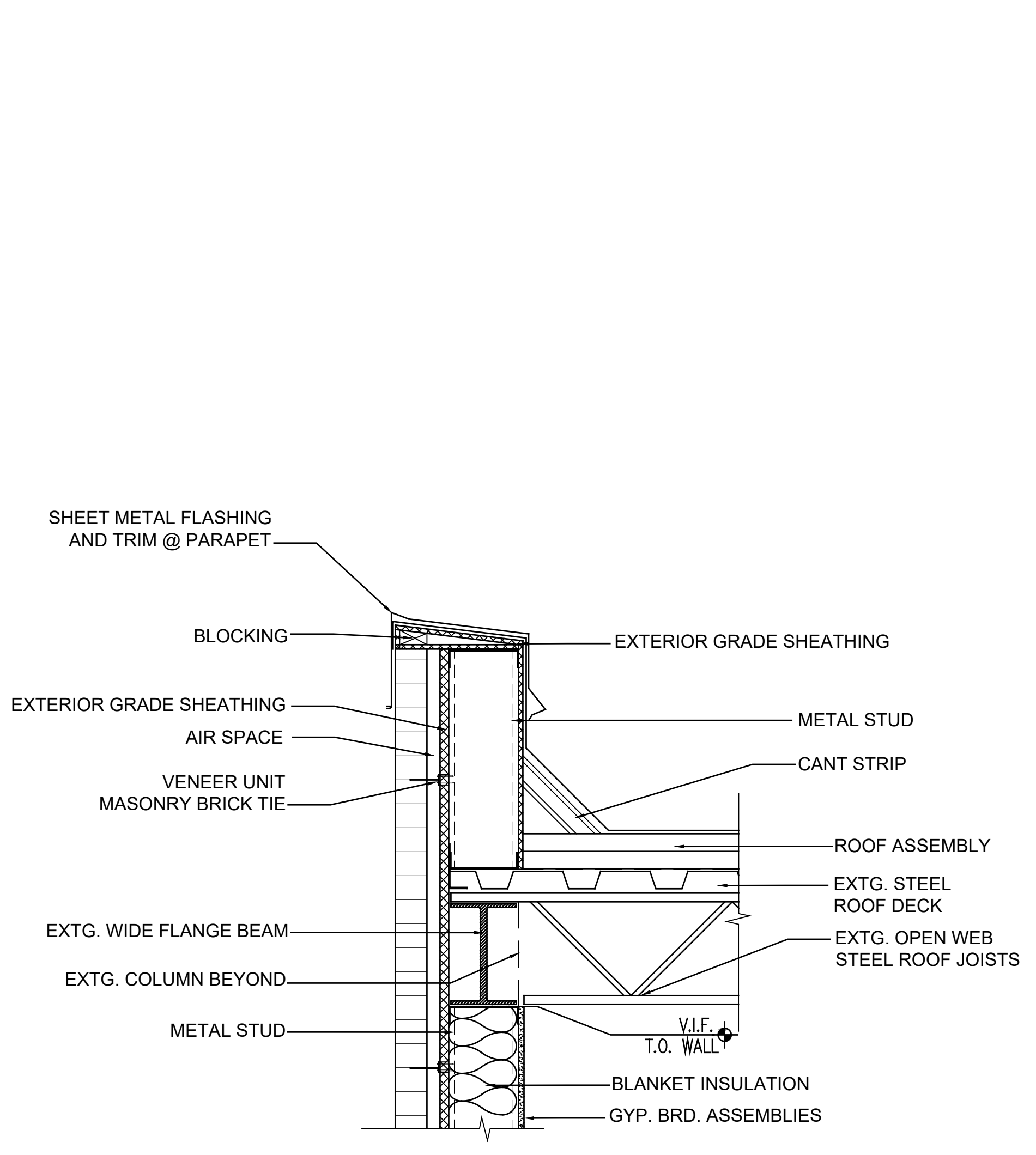
TAP ARCHITECTS, LLC
630 GLENWOOD AVE. SUITE 510-248 ATLANTA, GA. 30316 TEL. 404/584-1800 FAX 404/584-1895



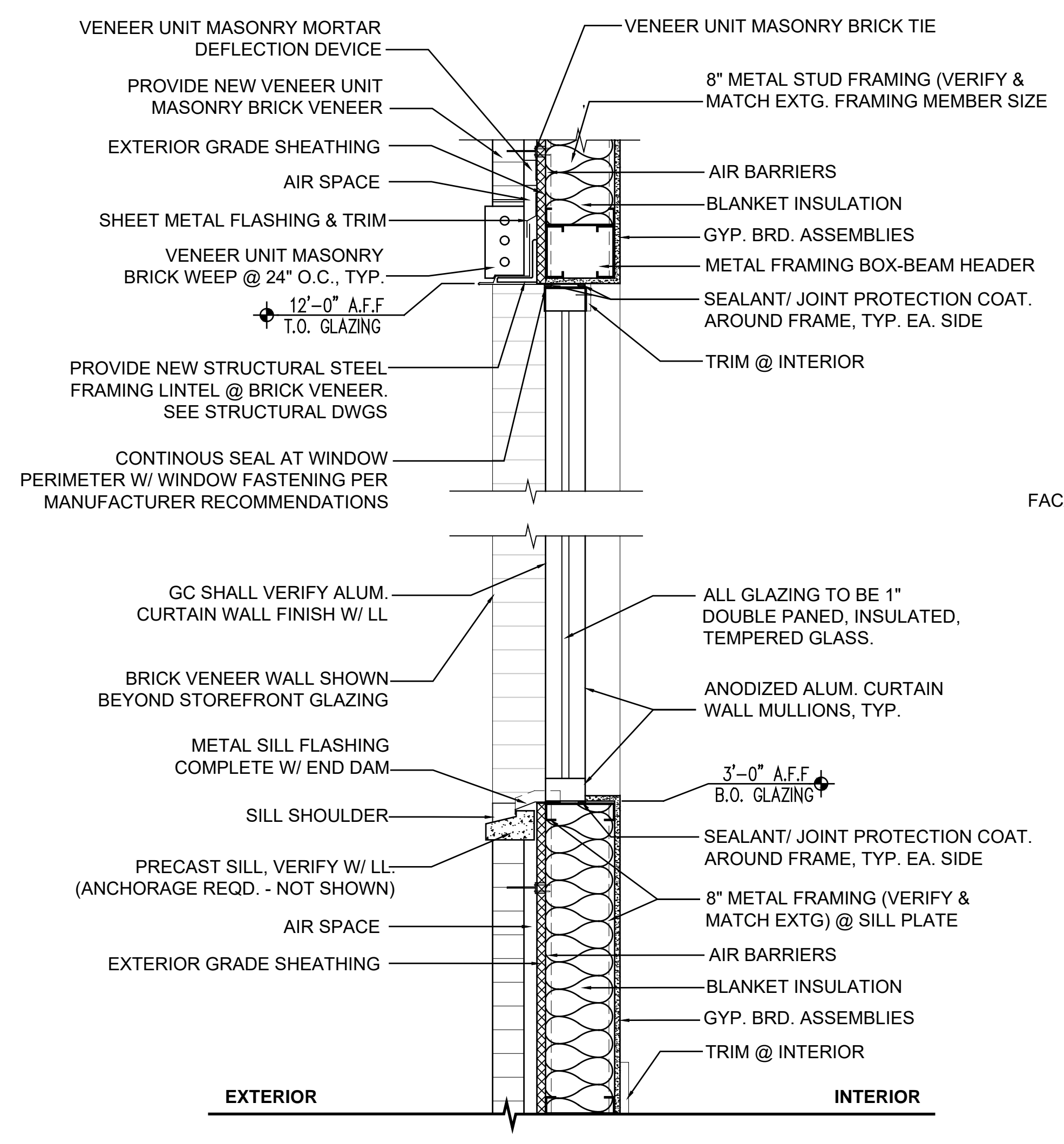
STOREFRONT ELEVATION
SECTION AT STOREFRONT

RELEASED FOR
CONSTRUCTION

A2



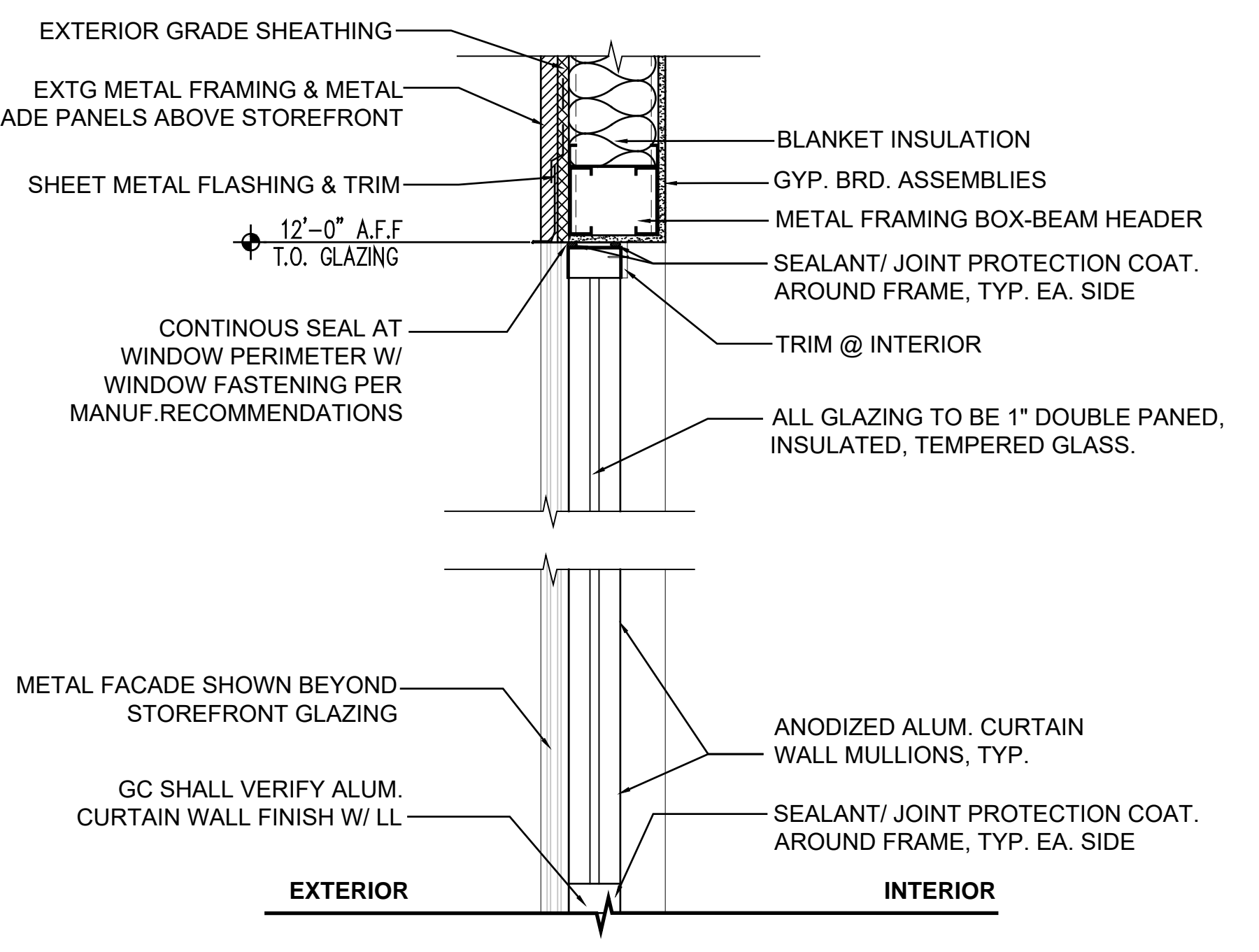
4 METAL DECK ROOF DETAIL
1" = 1'-0"



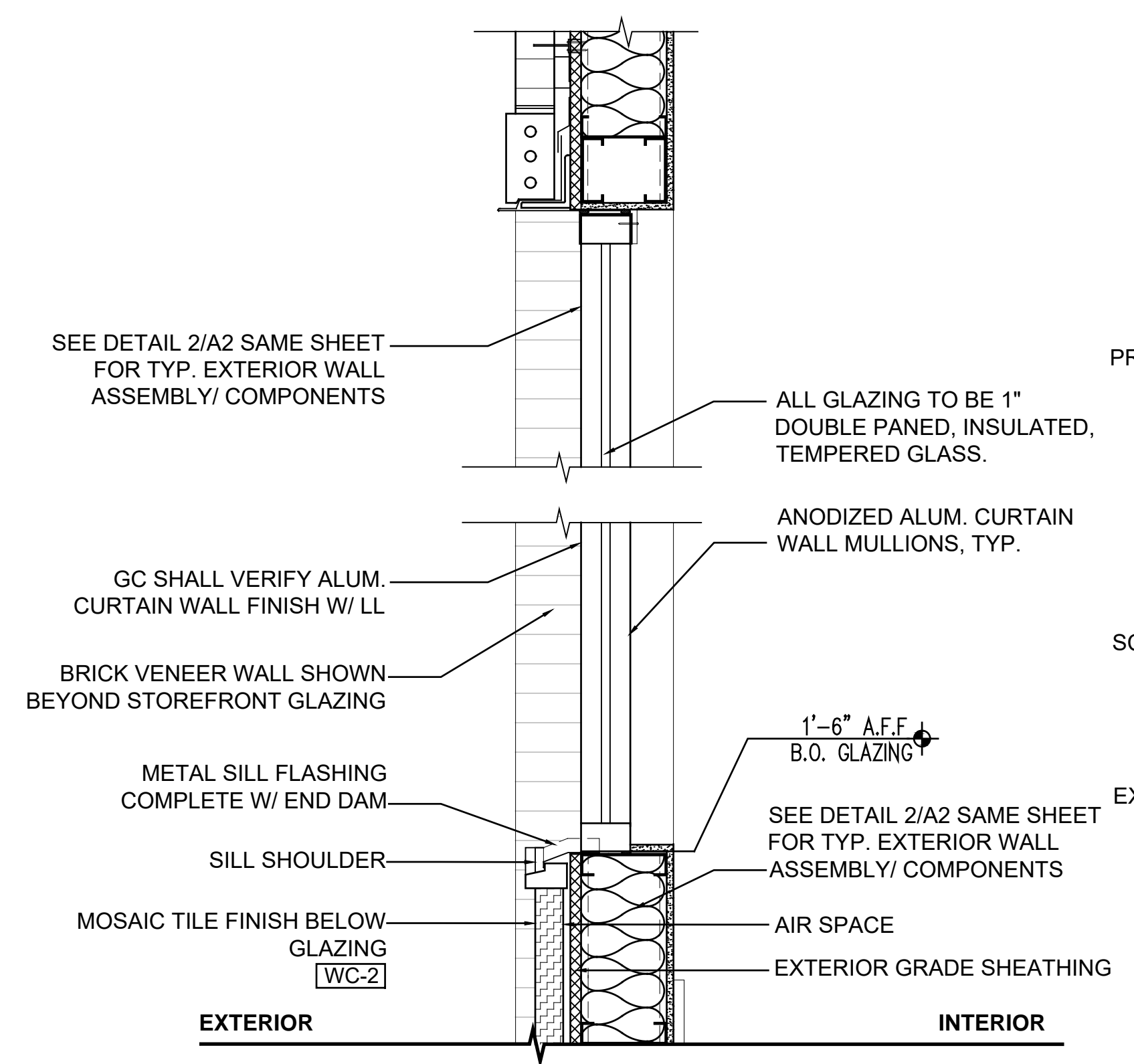
2 SECTION AT KNEE WALL & GLAZING
1" = 1'-0"

NOTE(S):

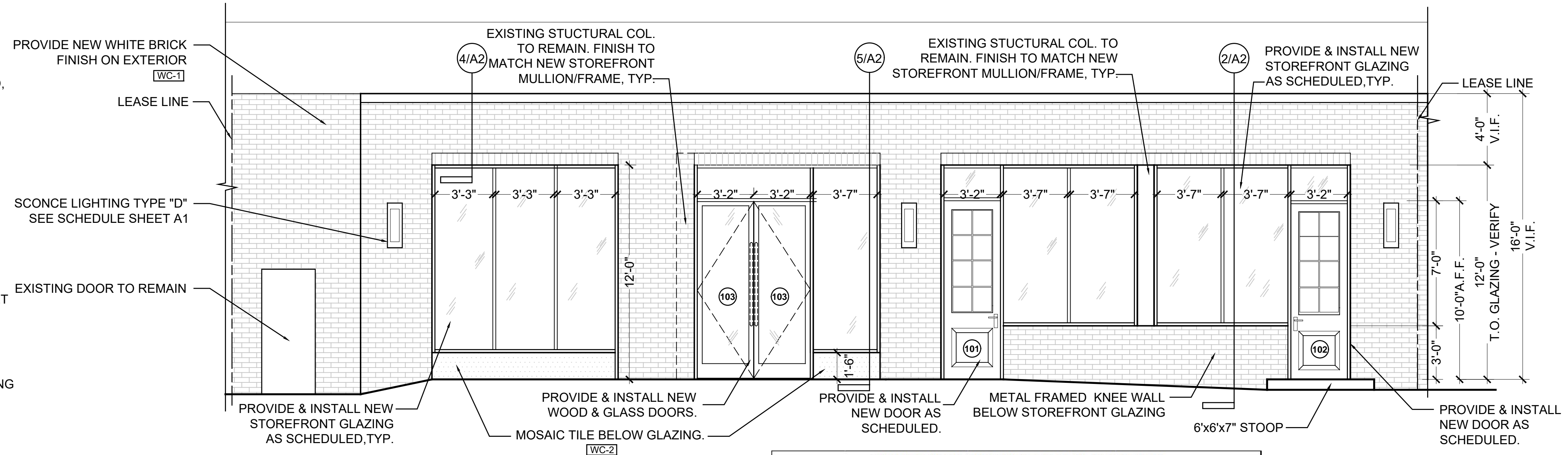
- PATCH AND REPAIR EXTG BRICK VENEER WALL AT AREAS AROUND NEW STOREFRONT IF/AS NECESSARY. PAINT TO MATCH BLDG.
- EXTERIOR GRADE SHEATHING TO BE DENS GLASS OR EQUAL.



3 SECTION AT FULL HEIGHT GLAZING
1" = 1'-0"



5 SECTION AT LOW WALL & GLAZING
1" = 1'-0"



1 STOREFRONT ELEVATION
1/4" = 1'-0"

SUMMARY OF CHANGES TO FENESTRATION			
CONDITION	EXISTING	PROPOSED	NET CHANGE
LENGTH OF BUILDING	60'-0"	60'-0"	0
LENGTH OF GLAZING	16'-0"	43'-10"	+27'-10"
% FENESTRATION	26.60%	73%	46.40%

Scope of work results in an increase of length of fenestration by 46.4%

1 GENERAL REQUIREMENTS

1A-GENERAL REQUIREMENTS

1A-01. STANDARD GENERAL CONDITIONS.

A. Except as modified below, "The General Conditions of the Contract for Construction" AIA Standard Form A-101 & 201 is hereby made a part of these specifications to the same extent as it herein written out in full.

1A-02. TENANT/OWNER.

A. Wherever the terms "Tenant" and "Owner" occur in the documents, they shall refer to the following:
Tenant: Owner: See LL Tenant Coordinator
See Franchise contact on page T1 for contact info on sheet T1

1A-03. CONTRACTOR.

A. Wherever the term "Contractor" occurs in the documents it shall refer to the General Contractor with whom the Tenant/Owner enters into a contractual agreement for the construction work described in these Drawings and Specifications.
B. The Contractor shall coordinate his work and shall cooperate with any other separate contractor(s) employed by the Owner, so as to avoid delays.

1A-04. APPROVALS OF WORK TO BE PERFORMED.

A. Prior to beginning work, Contractor shall obtain in writing, or verify that approval has been granted by the following parties:

1. The Mall Landlord, Landlord's Architect and Engineers
2. The Local Building Inspector and Local Fire Marshal
3. The Local Health Department Sanitarian
4. State Authorities as required

1A-05. CORRELATION AND INTENT OF CONTRACT DOCUMENTS.

A. Prior to a bid submission, the Contractor shall examine the premises and verify existing conditions, dimensions and Landlord requirements affecting the work under this contract. Minor changes of dimensions or conditions necessary to fit new work to the existing in accord with the intent of the contract documents, may be made on the job. If major discrepancies are discovered between dimensions or conditions shown in drawings and those actually existing, the contractor shall report to the Architect, and shall not proceed with the work until the contract documents have been adjusted.

1A-06. BIDS & FORM OF AGREEMENT.

A. Lump sum bids are required.
B. Itemized breakdown of costs is required before signing the Agreement. Standard forms will be provided by the Tenant/Owner.
C. At the discretion of the Tenant/Owner, the form of agreement shall be either AIA Document A101 or AIA Document A107. The agreement shall be prepared by the Owner.

1A-07. COMPLIANCE WITH CODES, PERMITS AND LANDLORD REQUIREMENTS.

A. All work of the Contractor and Subcontractors shall conform to the provisions of all State, City and County building laws, ordinances, rules and regulations, and to Landlord requirements. In case of conflict, the most stringent requirement shall apply.

B. Before making any code-related deviation from the Drawings and Specifications, the Contractor shall give the Architect written notice specifying the proposed deviation, the costs involved, and the reason therefor. A Change Order shall be issued as specified in "Changes in the Work".

C. Unless the law specifically requires the Owner to do so, the Contractor shall obtain all necessary permits and licenses, give all necessary notices, and pay costs of all incidental fees.

1A-08. BONDS & RELEASE OF LIENS.

A. Prior to signing the Agreement, the Contractor shall obtain and pay for Performance and Payment Bonds in the amount of 100 percent (100%) of the Contract amount.
B. The Contractor shall provide Contractors Affidavit of Payment of Debts and Claims (AIA Document G706) along with Consent of Surety to Final Payment (AIA Document G707), if acceptable to both the Owner and the Surety, the contractor may provide Contractor's Affidavit of Release of Liens (AIA Document G706A) in lieu of G706 and G707.

1A-09. SCHEDULE OF WORK.

A. Prior to beginning work, Contractor shall provide a construction schedule bar-chart with specified completion date. Contractor shall adhere to this schedule and completion date in accordance with the Owner-Contractor agreement.

1A-10. INSURANCE AND INDEMNIFICATION.

A. The Contractor and all subcontractors shall provide, as a minimum, the insurance coverages described below and shall deliver to the Owner and the Landlord's Tenant Coordinator certificates of insurance before commencing work. The required insurance shall be maintained through the duration of the work.

1. Worker's Compensation with statutory limits, and Employer's Liability Insurance with limits of not less than \$100,000.
2. General Liability Insurance with limits of not less than \$1,000,000 combined single limit for bodily injury and property damage, including personal injury, Contractual liability coverage specifically endorsed to cover the indemnity provisions contained herein, and Contractor's Protective Liability coverage.
3. Motor Vehicle Liability Insurance with limits of not less than \$200,000 per person, \$500,000 per accident for bodily injury and \$100,000 for property damage.
4. These insurance certificates shall name Landlord and Owner as additional insureds for the full amounts of insurance.

1A-11. HOLD HARMLESS AGREEMENT.

A. The Contractor agrees to indemnify and save harmless the Landlord, the Tenant/Owner and the Architect, their agents and employees from and against any and all liability of damage arising from injuries to persons or damage to property occasioned by any act or omission of the Contractor, his sub-contractors, agents, or employees, including any and all expense, legal or otherwise, which may be incurred in the defense of any claim, settlement or suit.

1A-12. BARRICADES.

A. Contractor shall, at his cost, install and remove barricades required by Landlord.
B. Contractor shall perform demolition required by the work, and shall remove from the premises resulting debris. During construction, all debris shall be contained within the tenant space.
C. Unless otherwise specifically stated in the contract documents, all existing materials to be removed and not required to be reused, shall become the property of the Contractor.

1A-13. TEMPORARY UTILITIES.

A. Contractor shall make all temporary utility connections required by the work, and shall pay all charges for utilities during construction.

1A-14. COPIES OF DRAWINGS FURNISHED.

A. The Contractor will be furnished free of charge one set of reproducible Plans and Specifications. Additional copies will be at Contractor's expense.

1A-15. SHOP DRAWINGS.

A. Prior to ordering equipment or fabricating fixtures, Contractor shall submit to the Architect in triplicate, shop drawings, product data or samples, if required, which reflect dimensions, utility requirements and installation requirements consistent with the drawings.

1A-16. SUBSTITUTIONS.

A. The use of brand or trade names in describing materials or products is intended to set minimum standards for those items. Any substitution must be approved in writing by the Owner.
B. If materials or products are specified by manufacturer's name, trade name, or catalog reference without using the phrase "or equal," they shall be the basis of the proposal, without substitution, and shall be furnished under the contract unless changed by mutual agreement in writing. Where two or more brands are named, Contractor shall make the choice.

1A-17. TAXES.

A. Contractor shall assume liability for (1) sales taxes, (2) federal and state unemployment compensation and Social Security payments, and (3) all other federal or state required payments.

1A-18. CLAIMS FOR ADDITIONAL COST OR TIME.

A. The Contractor shall give the Tenant/Owner written notice of any increase in the contract sum or an extension in the contract time before proceeding to execute work causing the need for claim (except in an emergency endangering life or property).
B. No claim for extra work or time will be allowed unless approved in writing by the Tenant/Owner.

C. The price for extras shall be calculated at the Contractor's cost, plus overhead and profit at the same percentage as in the original contract cost breakdown.

1A-19. JOB SAFETY.

A. The Contractor shall take all necessary precautions for the safety of employees, and comply with applicable provisions of Federal, State, and Municipal Safety laws to prevent accidents or injury to persons on or adjacent to the premises.
B. Machinery, equipment, and all hazards shall be guarded or eliminated in accordance with the safety provisions of the OSHA Manual of Accident Prevention in Construction to the extent that such provisions are not contrary to applicable law or requirements of OSHA.

1A-20. OWNER'S RIGHT TO TERMINATE THE CONTRACT.

A. Should the Contractor neglect to prosecute the work properly, or fail to perform any provisions of the Contract, the Owner, after seven (7) days written notice by the Contractor, without prejudice to any other remedy it may have, shall make good the deficiencies and may deduct the cost thereof from the payment then or thereafter due the Contractor, or, at its option, may terminate the Contract and take possession of all materials, tools and appliances and finish the work by such means as it sees fit, and if the unpaid balance of the Contract price exceeds the expense of finishing the work, such excess shall be paid to the Contractor, but if such expense exceeds such unpaid balance, the Contractor shall pay the difference to the Owner.
B. Non-loadbearing studs shall be channel-type roll-formed from 25 gauge electro-galvanized steel, sizes as indicated.

1A-21. GUARANTEES.

A. Unless specifically stated otherwise, all materials provided under this contract shall be new and free from defects.
B. The Contractor shall guarantee all work for a period of one (1) year from the date of acceptance by the Tenant/Owner. Lamps shall be guaranteed for a period of one month from acceptance.

C. The Contractor shall promptly correct all deficiencies which may appear in the work within one year of its completion arising from defective or improper material or workmanship, including all costs in connection with removal or replacement of the work.

D. A manufacturer's warranty on any item shall not relieve the Contractor and/or his subcontractor from full responsibility under all guarantees called for in the Specifications.

E. All warranties or guarantees shall be written to the benefit of both Landlord and Tenant/Owner as their respective interests appear, and shall permit enforcement by either party.

F. Original copies of all warranties shall be furnished to the Landlord at the completion of the job.

1A-22. CLEANING UP.

A. Premises must always be kept free from waste materials.
B. At completion of the work, resilient floors shall be waxed and buffed. The Contractor shall remove his tools, scaffolding and debris, and shall leave the premises broom clean.

C. Contractor shall assemble and transmit to the Tenant/Owner maintenance and operation manuals, warranties, and keys, and shall demonstrate to the Tenant/Owner the usage of equipment.

1A-23. PAYMENTS AND COMPLETION.

A. The Tenant/Owner shall make payment on account of the contract, upon application for payment by the Contractor, as follows:
1. Thirty percent (30%) after Plumbing, Elect and HVAC rough-ins.
2. Six percent (60%) at Substantial Completion of the work.
3. Ten percent (10%) upon completion of Punch List items.
B. Prior to the application for final payment, Contractor shall submit a lien release covering all labor, materials, subcontractors and other costs incurred as a part of the work.

1A-24. SUBCONTRACTOR LIST.

A. When the work is completed, Contractor shall furnish to the Owner, a list of all Subcontractor's names, addresses, phone numbers and emergency numbers.

1A-25. OWNER-CONTRACTOR AGREEMENT.

A. In case of conflict with the Plans and Specs, the terms and conditions of the Owner-Contractor Agreement shall govern.

3 CONCRETE

3A-CONCRETE.

- 3A-01. MATERIALS:
- | | |
|---|---------------|
| A. Portland Cement, Type 1 | ASTM C-150-68 |
| B. Fine Aggregate | ASTM C33-69 |
| C. Course Aggregate (Table 11, Size 57) | ASTM C33-69 |
| D. Water - Clean and potable | |
| E. Wire Fabric Reinforcement | ASTM A185-69 |

3A-02. CONCRETE.

A. Concrete shall be proportioned to develop 3000 psi at 28 days and have a maximum slump of 4-12 inches.
B. Minimum cement content shall be 5-1/2 bags (517#) per cubic yard.

3A-03. REINFORCEMENT.

A. Concrete shall be reinforced with 6x6x10/10 welded wire fabric, lapped 6" at ends and side laps.

3A-04. BASE PREPARATION.

A. Subgrade shall be brought to the specified level, compacted and finished smooth. Gravel fill and soil poisoning treatment shall be installed if and as required by Landlord.
B. Prior to placement of wire fabric and concrete, the entire floor area shall be covered with a 6 mil polyethylene vapor barrier. All laps shall be sealed with tape. All penetrations or punctures shall be sealed.

3A-05. CONCRETE PLACEMENT.

A. All concrete slabs shall be screeded to the level shown.
B. Slab shall be floated and after the water sheen has disappeared, the slab shall be given a steel trowel finish.
C. All concrete slabs shall be plane with a maximum tolerance of 1/8" in 10' and fall not vary at any point more than 1/8" above or below the plane surface.
D. Concrete slabs shall be cured by the use of chlorinated rubber liquid membrane curing, or other hardening compounds, "Clearbond", "Clearseal", "Masterseal", "Sealcrete" or approved equal.

6 CARPENTRY

6A-CARPENTRY.

6A-01. GENERAL.

A. All wall framing and furring shall be metal studs and channels unless fire-retardant-treated or non-treated wood is permitted both by local codes and the Landlord.

6A-02. MATERIALS.

A. If permitted, framing lumber and blocking shall be Southern Yellow Pine, No. 2, S4S or cut to shape as required, kiln dried to 19% maximum moisture, treated with Celcure, and, if required, be fire-retardant pressure treated.

B. Rough hardware shall meet the standards of the trade and the needs of the work. Powder activated fasteners shall be of the type and size suitable for the intended use.

6A-03. INSTALLATION.

A. Carpentry work shall conform to the best standards of practice. Work shall be laid out in accordance with the drawings, and to accommodate work of other trades.

B. Doors and hardware shall be installed so that doors will swing easily, quietly and freely, and close accurately against stops without binding. Latch bolts must engage positively with strikes when doors are closed.

C. Provide all necessary bracing for structure for partitions, ceilings, platforms, etc., whether or not called for on drawings.

D. Provide all necessary in-wall framing and blocking required to carry shelving, standards, variances, etc., whether or not called for on drawings.

9 FINISHES

9A-GYPSUM DRYWALL.

9A-01. GENERAL.

A. If required by the drawings, building codes, Landlord, or otherwise at the Contractor's options, steel studs may be used.

B. In-wall blocking shall be provided at all wall-hung items.

9A-02. MATERIALS.

A. Gypsum wallboard shall be ASTM C36 "Sheetrock" as manufactured by the U.S. Gypsum Co., or equal. Thickness and type as noted, with tapered edges. Use Type WR board conforming to ASTM C360 behind all ceramic tile. Use Type X board where one-hour fire rating is required.

B. Joint reinforcing tape, adhesive and metal corner reinforcement standard products recommended by the wallboard manufacturer.

C. Fasteners shall be self-drilling self-tapping countersunk bugle head drywall screws for attachment of wallboard to metal studs. Use gypsum wallboard nails for attachment to wood studs.

D. Structural studs shall be punched or unpunched 1/6 gauge steel having minimum yield point of 33,000 psi, sizes as indicated.

E. Non-loadbearing studs shall be channel-type roll-formed from 25 gauge electro-galvanized steel, sizes as indicated.

F. Furring channels shall be roll-formed, 25 gauge minimum electro-galvanized steel hat section with wing flanges.

9A-03. INSTALLATION.

A. Installation of "Sheetrock Firecode" shall be in accordance with manufacturer's recommendations for fire-rated partitions.

B. Gypsum wallboard shall be attached to metal studs with screws. All joints shall be taped and finished smooth with spackling compound.

C. Gypsum wallboard shall be attached to masonry with metal furring channels and screws with all joints taped and finished.

D. Wallboard shall be attached to wood studs with special wallboard nails. Joints shall be taped and finished smooth.

9B-RESILIENT FLOORING.

9B-01. MATERIALS.

A. Vinyl comp tile shall conform to F.S. SS-T-312 Type IV. See Finish Schedule for size and color.

B. Edge and reducer strips shall be molded rubber at all locations where edge of tile would otherwise be exposed. Strips to finish flush with surface of flooring.

C. Bases shall be set-on-type rubber. See Finish Schedule.

D. Adhesive shall be type as recommended by tile manufacturer.

9B-02. INSTALLATION.

A. Check floor for clean, dry condition, and the surface for imperfections or unevenness. Contractor shall correct surfaces prior to beginning installation. Faulty work due to imperfect slab conditions will not be accepted. Minor imperfections such as pits or scratches shall be filled by flooring contractor by filling with "Floor Stone" or other approved non-gypsum, non-time leveling material, shrinkproof and water resistant.

B. Application shall not begin until the work of all other trades, including painting, is complete. Maintain all room and subfloors at a minimum of 70° F. for at least 48 hours before, during, and 48 hours after application of tile.

C. Follow printed instruction of the tile manufacturer especially regarding the storage and application of tile, cement and base.

D. Upon completion of the installation, clean floors and base, wax with water emulsion wax and leave in satisfactory condition.

9B-03. GUARANTEE.

A. Guarantee resilient flooring work in writing against defects in labor and materials for a period of one year from date of acceptance.

9C-CERAMIC TILE.

9C-01. MATERIALS.

A. Wall tile: See Finish Schedule.
B. Setting materials: Use mortar formula for this set cement of the Tile Council of America as manufactured by L&M Surco, Inc.

9C-02. INSTALLATION.

A. Apply over concrete, waterproof gypsum wallboard, sealed plywood, or other materials as indicated on drawings using approved thin-set cement formula.
B. Clean and level all surfaces as necessary to provide even surfaces, level, true and plumb.

C. In the event surfaces to receive tile are not acceptable, notify the appropriate party prior to tile installation.

9D-PAINTING AND FINISHING.

9D-01. MATERIALS.

A. Paint shall be manufactured by Benjamin Moore, Pittsburgh or Devoe, and brought to the jobsite in unopened containers. See Finish Schedule for colors.

B. Mix paint only in accordance with the manufacturer's printed instructions. Turpentine shall be distilled, and oil shall be added and filtered in enamel oil.
C. Oil-based paints and enamels shall be factory prepared and packaged materials by approved manufacturers.

9D-02. WORKMANSHIP.

A. Inspect all surfaces to be painted and report deficiencies prior to beginning painting.
B. Point up holes and cracks, remove all grease, stains and excess mortar by wire brushing before painting.
C. All surfaces shall be dry and sanded properly. Fill small nail holes with putty, and larger voids with plastic wood and sand. Smooth. All millwork not primed before delivery shall be primed or sealed immediately upon arrival at the job site.

D. Allow ample drying time between coats, and sand properly to give a smooth finish. Carefully cover back edges of trim, edges of doors, and touch up any marred places by putting on hardware or work of other trades.

E. Seal door edges immediately after fitting.
F. Carefully protect other work and leave the job clean.

9D-03. INTERIOR WOODWORK.

A. First: Enamel undercoat, one coat.
B. Second & Third: Two coats of enamel semi-gloss.

9D-04. INTERIOR GYPSUM WALLBOARD (FLAT FINISH):
A. Primer: Vinyl-pigmented primer.
B. Second Coat: Acrylic flat paint.
C. Extent: Gypsum wallboard.

9D-05. CLEANING.

A. On completion, remove all surplus materials and scaffolds from the premises and leave the premises clean.
B. Remove all paint from floor, hardware, glass and other surfaces not painted.

C. Touch-up as necessary after patching and repair of other trades.

9E-ACTUALS WORK:

9E-01. MATERIALS.

A. Acoustical panels shall be equal to Armstrong Mylar faced Fire Guard Item Nos. 882 and 884, 24"x48"x5/8" lay-in panels. Finish shall be a factory applied washable polyester film cemented to tiles.

B. Ceiling suspension system shall include all main tees, cross tees, wall moldings, and all other accessories required for a complete installation. Color to be white. Maximum dimension between supports shall be 48".

9E-02. FIRE-RATED CEILING.

A. Where required by the drawings or where required to conform to fire rating regulations of the local building authority, provide hold-down clips for ceiling tile plus all other accessories necessary for a complete fire-rated installation.

9E-03. INSTALLATION.

A. Installation of ceiling shall be the pattern indicated on the reflected ceiling plan and shall coordinate with mechanical, electrical and sprinkler system requirements.

B. All items to be supported shall be hung with wires of the size and spacing to support the ceiling system and all other work supported therefrom. Maximum spacing of wires shall be 48" o.c.

C. System shall be square and level with deflection not to exceed 1/8" in 10 feet.

9E-04. CLEANING.

A. Grid and all tiles shall be thoroughly clean and free of marks, cuts, indentations, spots, foreign paint or other blemishes and imperfections or shall be replaced.

9E-05. REPLACEMENT MATERIALS.

A. Contractor shall provide five (5) full tiles of replacement material at the completion of the project.

9E-06. WARRANTY.

A. Provide ceiling system guarantee in writing against defects in labor, materials, and maximum deflection of 1/16" of the span for a period of one year from date of owner acceptance.

10 SPECIALTIES

10A-SPECIALTIES.

10A-01. FIXTURES AND EQUIPMENT INSTALLATION:
A. Contractor shall accept delivery, provide all labor and material necessary to suitably store and install all cabinetwork, ovens, refrigerators, fixtures and equipment shown to be installed on the Fixture and Equipment Schedule.

10A-02. MISCELLANEOUS SPECIALTIES:
A. Furnish and/or install specialties as shown on the Fixture and Equipment Schedule.

10A-03. SIGNS.

A. Illuminated storefront logo signs or lettering shall be furnished and installed by Contractor. Submit shop drawings to Landlord, Tenant and Architect as required.

B. Non-illuminated wall plaques, decals and logos shall be furnished by Tenant and installed by Contractor. Plaques shall be mounted flush with walls using clear silicone. Details and logos shall be provided as directed.

10A-04. FIRE EXTINGUISHERS:
A. Amerex Model #371 Helon wall mounted type or equal. Mount in accordance with NFPA #10. Locate where indicated. See Fixture and Equipment Schedule.

10A-05. ACCESSORIES:
A. Furnish and install at heights and positions recommended by manufacturers the following accessories:

1. Toilet tissue holder, Nutone HM-771 or equal.
2. Mirror, Nutone HM-M-1622 metal framed mirror at lavatory, wax with water emulsion wax and leave in satisfactory condition.

B. Install at recommended heights the following accessories furnished by others:

1. Paper towel dispensers: At each lavatory area as shown, dispensers by RITCHIE'S, stainless steel in areas visible to the public.
2. Liquid soap dispensers: Above each lavatory as indicated.

White

15 MECHANICAL

15A-PLUMBING.

15A-01. GENERAL:
A. Plumbing work shall conform to applicable local, state and national codes, and to Landlord requirements.

B. The contractor shall obtain and pay for all permits and inspection certificates required by the work.

C. Contractor shall determine the location of existing water and sewer sub-drains, and shall connect to the most convenient acceptable points.

D. Contractor shall provide a completed functional system, connecting all fixtures as recommended by manufacturers.

E. Water meter, if required, shall be obtained and paid for by the Contractor. Water and sewer tap fees, if any, shall be paid by the Contractor.

F. Provide air chambers or shock absorbers in piping system to prevent noise and damage due to water hammer.

G. Provide shut off valves in the supply piping in each branch, at each fixture and at each water stub-out.

15A-02. MATERIALS:
A. See Plumbing Fixture Schedule for fixtures and trim.

B. Materials shall be new, and shall fit the space available. Verify all dimensions at the site. Valves and cleanouts shall be located so as to permit access without damage or disruption to finished work.

C. Sanitary waste lines shall be service weight cast iron.

D. Branch drain pipes and vent pipes shall be standard weight cast iron. Vent pipes 2 inches and smaller may be galvanized steel pipe or copper tube D.V.V. weight or heavier.

E. Domestic water piping shall be Type L copper with wrought iron copper fittings joined with ASTM 95-S solder. Provide dielectric fittings when joining or abutting dissimilar metals.

F. Insulate domestic hot and cold water, and condensate piping with 1/2" thick fiberglass insulation with a non-combustible UL-rated vapor barrier jacket or closed cell flexible insulation equal to Armaflex II.

15B-HVAC.

15B-01. GENERAL:
A. Provide complete Heating, Ventilating and Air Conditioning system to conform with applicable local, state and national codes and standards, and with Landlord's requirements.

B. Provide mechanical equipment, grilles and diffusers as scheduled. Provide air distribution system indicated, temperature controls and fire and smoke protection which may be required.

C. Verify the locations of existing structural memberstand coordinate equipment locations. See architectural ceiling plan for exact locations of grilles and diffusers.

D. Provide controls and wiring as required to maintain space temperatures in accordance with Landlord's requirements. Controls shall not permit condensing unit and duct heater to operate simultaneously and shall be as manufactured by Barber Colman, Honeywell, Johnson, Powers or the equipment manufacturer, and shall be installed as per manufacturer's directions.

E. Thermostat shall be day/night type with lockable cover.

F. All ductwork shall be galvanized sheet steel fabricated in accordance with NFPA 90A and SMACNA Low Pressure Standards, 1976 Edition. Provide all dampers, turning vanes, splitters and extractors required for proper air distribution and balancing. Duct work minimum 24 gauge. Brace, stiffen and seal as required to prevent rattling, sagging, breathing vibrations or leakage. All joints shall be taped with SMACNA-approved foil.

G. Flexible ductwork shall be insulated with 1" thick fiberglass with a vapor barrier, and shall have a lame spread rating not over 25 and a developed smoke rating not over 50. Connect with circumferential compression clamps of stainless steel or nylon. Spin-in fittings shall consist of a collar and air extractor equal to Genflex, Wierwood, or Cleveflex.