

3354-56 Peachtree Mixed Use Development

DRC SUBMISSION

TIER REIT

REGENT
— PARTNERS —

BCDC
BATSON-COOK
DEVELOPMENT
COMPANY

Smallwood, Reynolds, Stewart, Stewart & Associates, Inc.

217078.00

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\\Projects\2017\217078.00 - 3354-56 Peachtree MXD\1.0 Graphics & Presentation\4.0 Presentations\3.0 Milestone Presentations\2019.04.03 - DRC Presentation\ 2019-0318-DRCPresentation.indd

April 3, 2019



3354-56 PEACHTREE MIXED USE DEVELOPMENT

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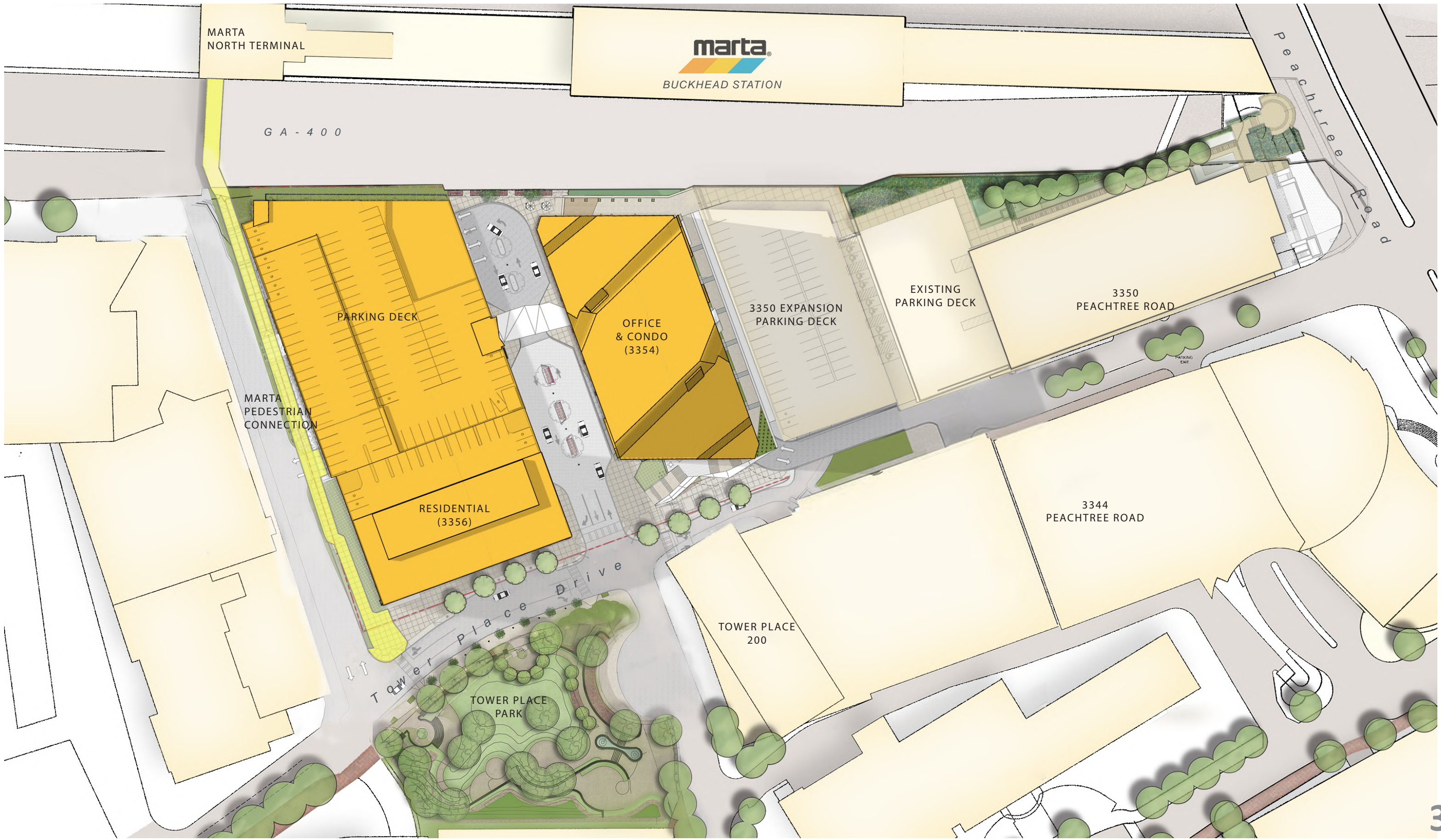
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COMPANY

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VICINITY PLAN

Smallwood, Reynolds, Stewart, Stewart & Associates, Inc.



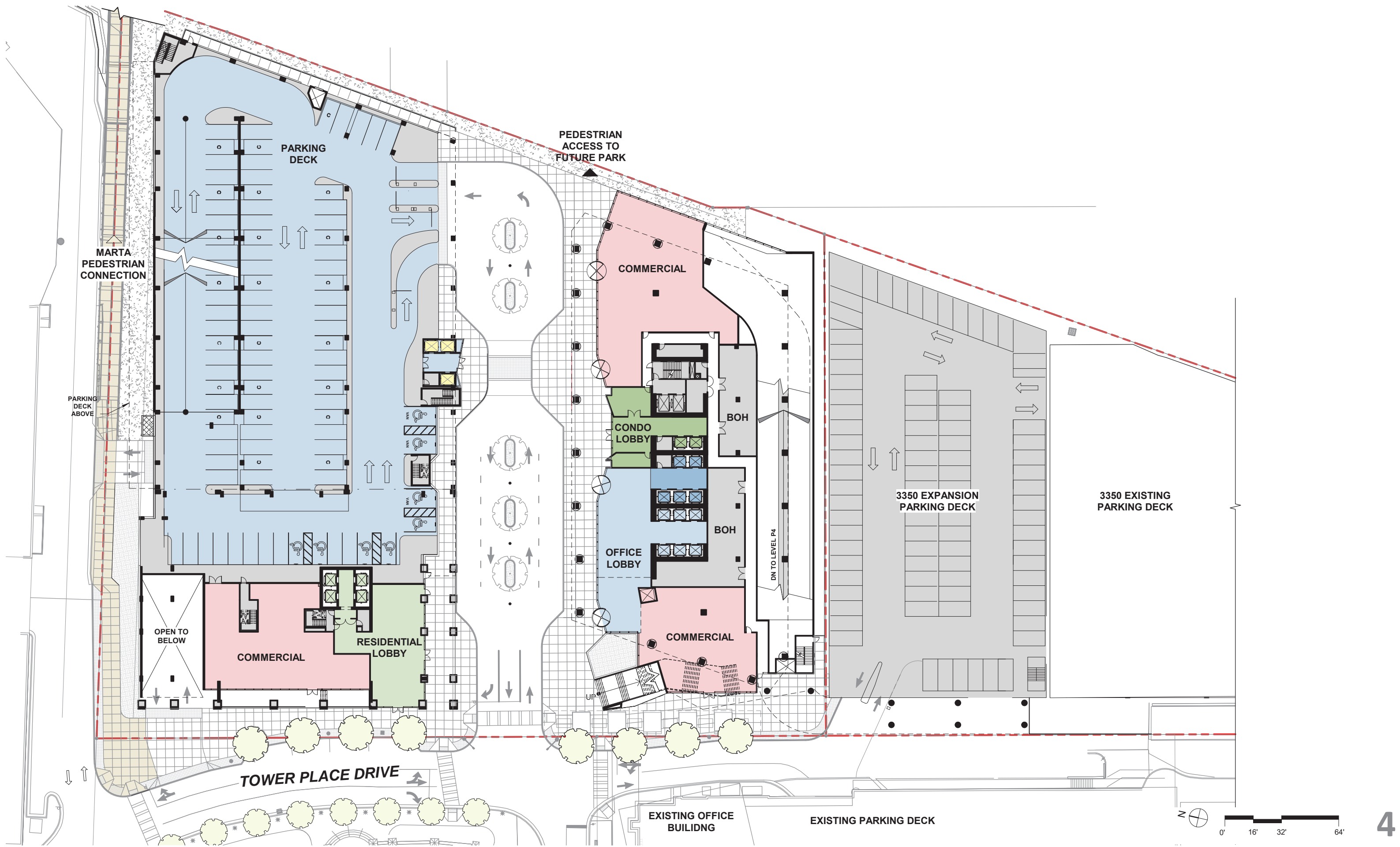
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SITE PLAN

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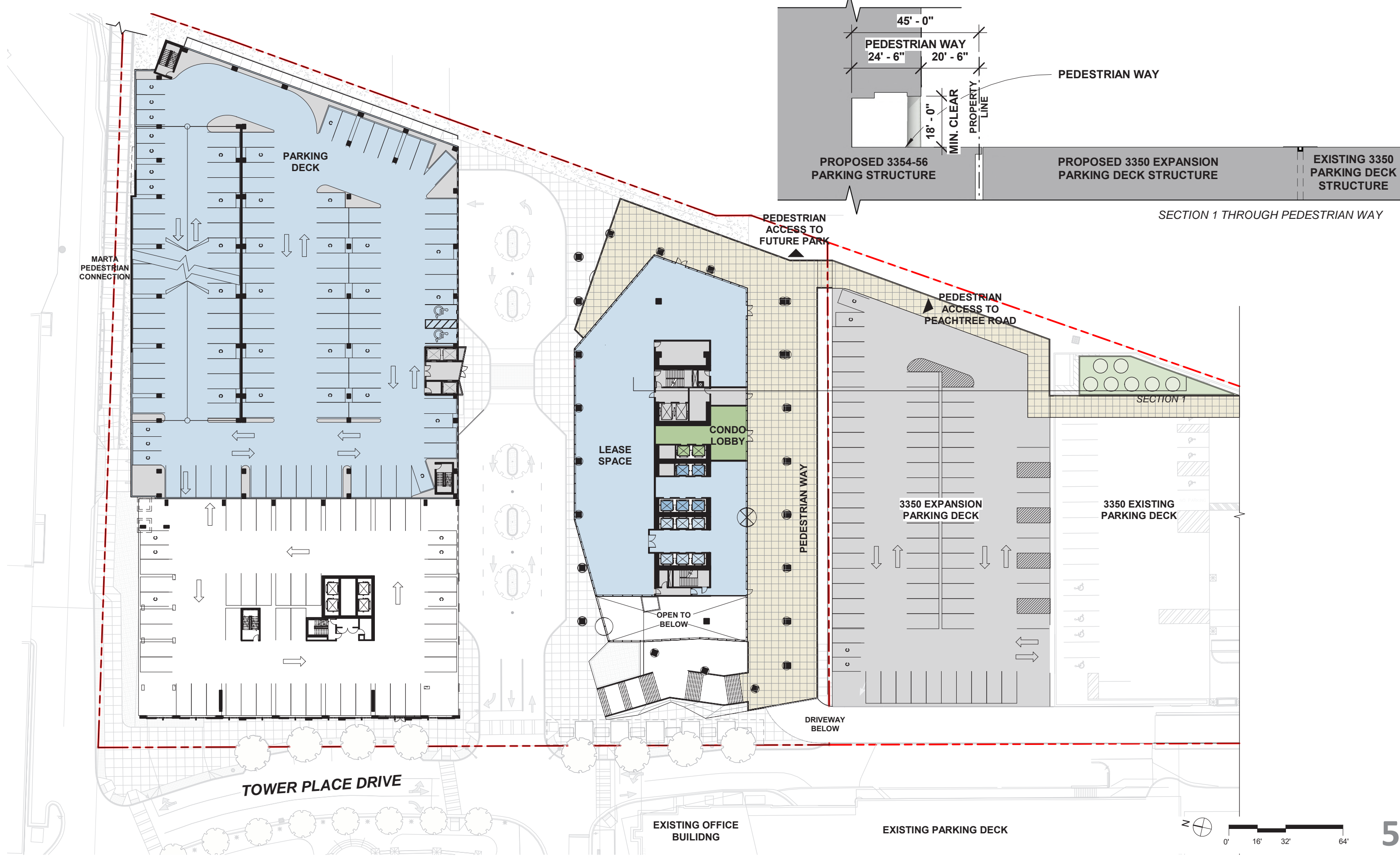
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TIER REIT

TOWER PLACE DR LEVEL PLAN EL. = 976'-0"

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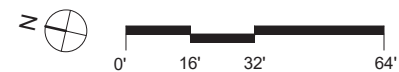
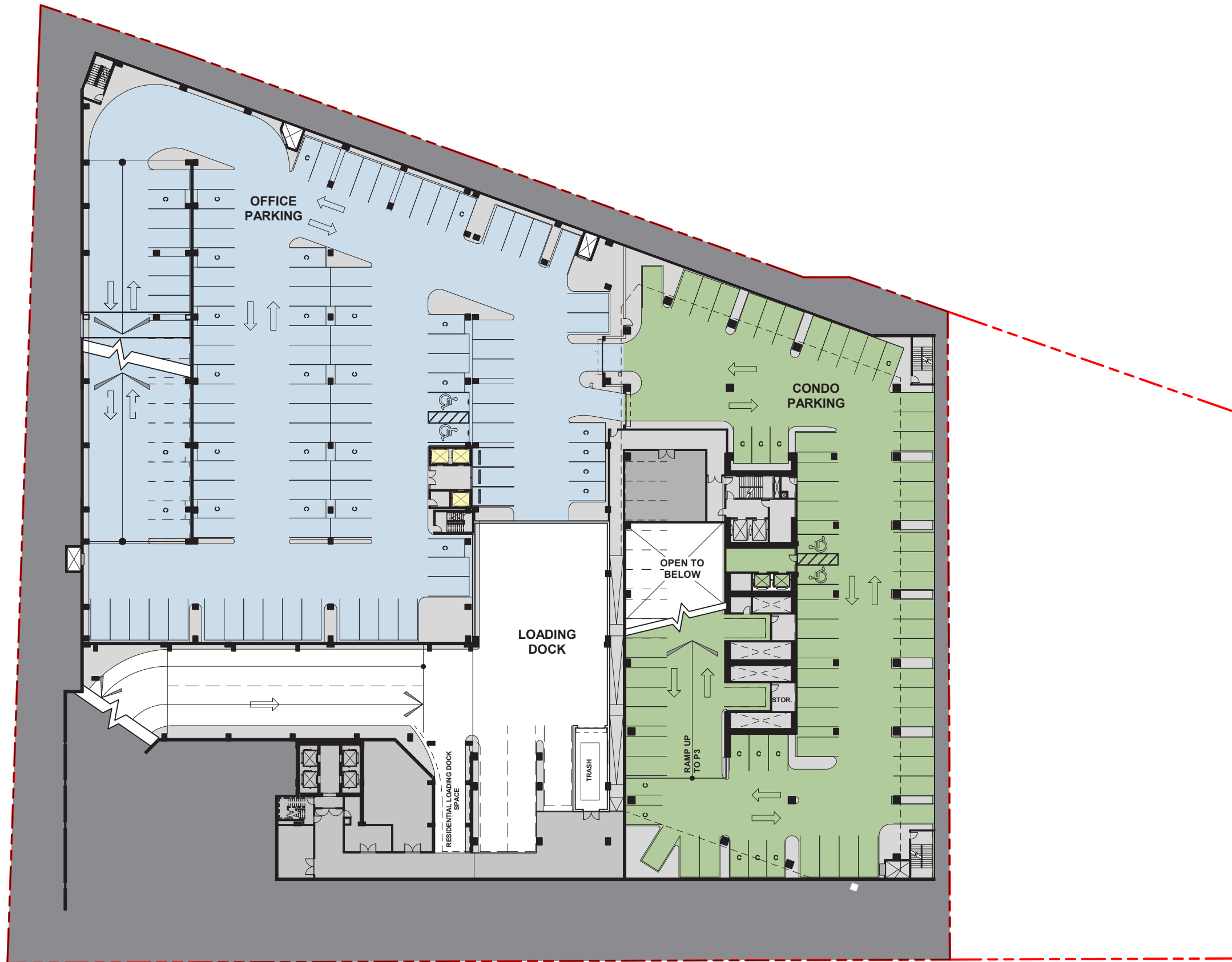
3354-56 PEACHTREE MIXED USE DEVELOPMENT

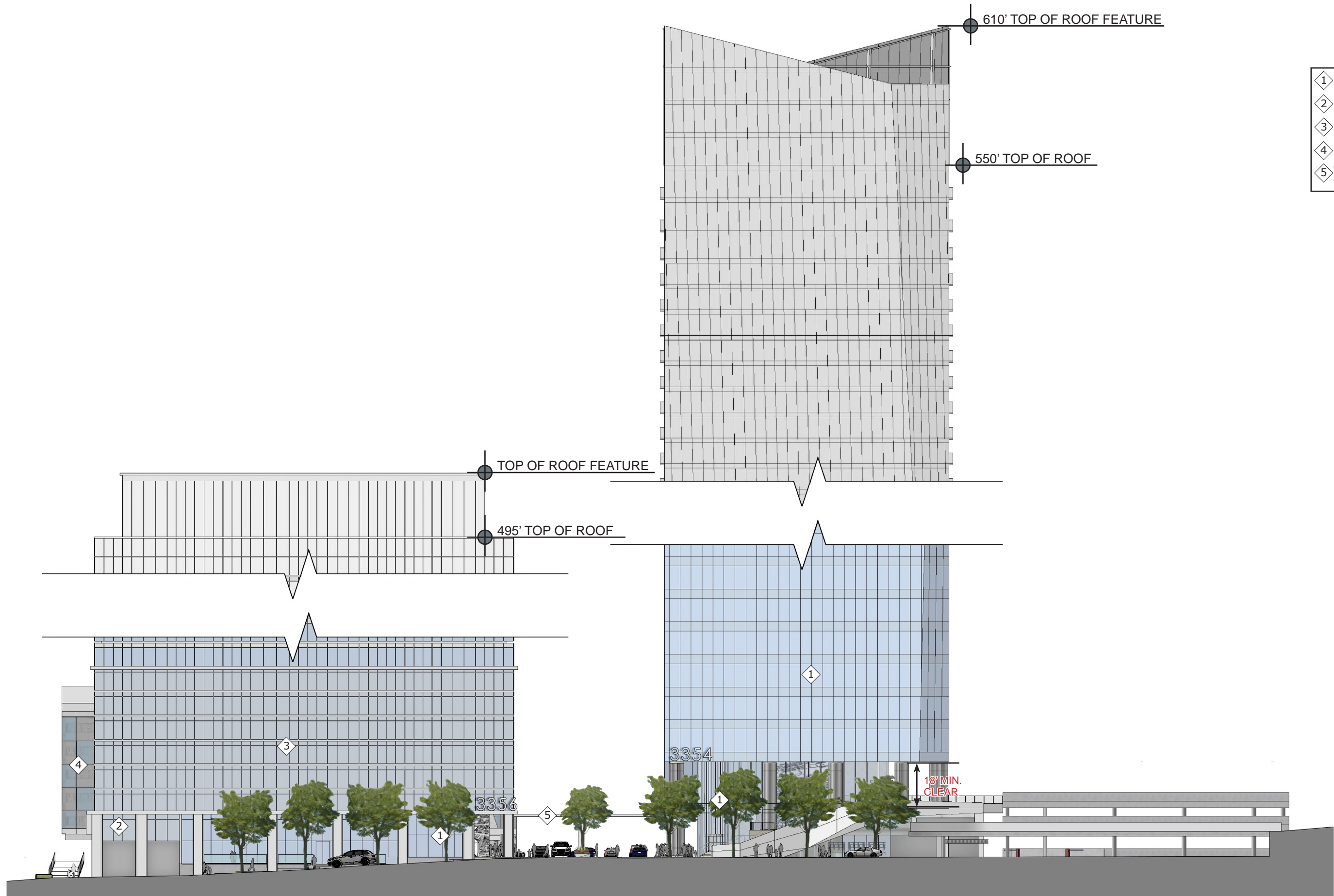
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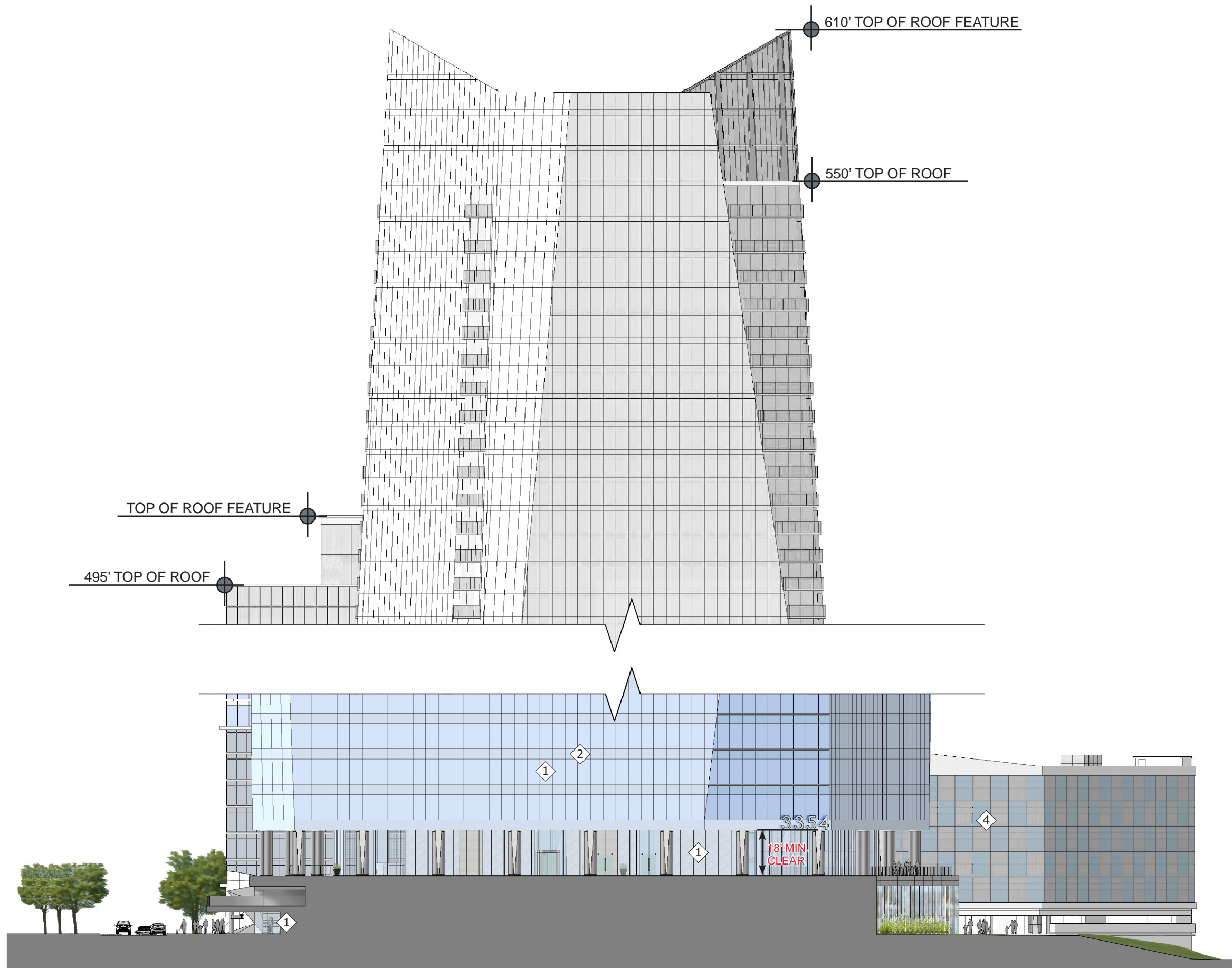
PEACHTREE RD LEVEL PLAN EL. = 999'-0"

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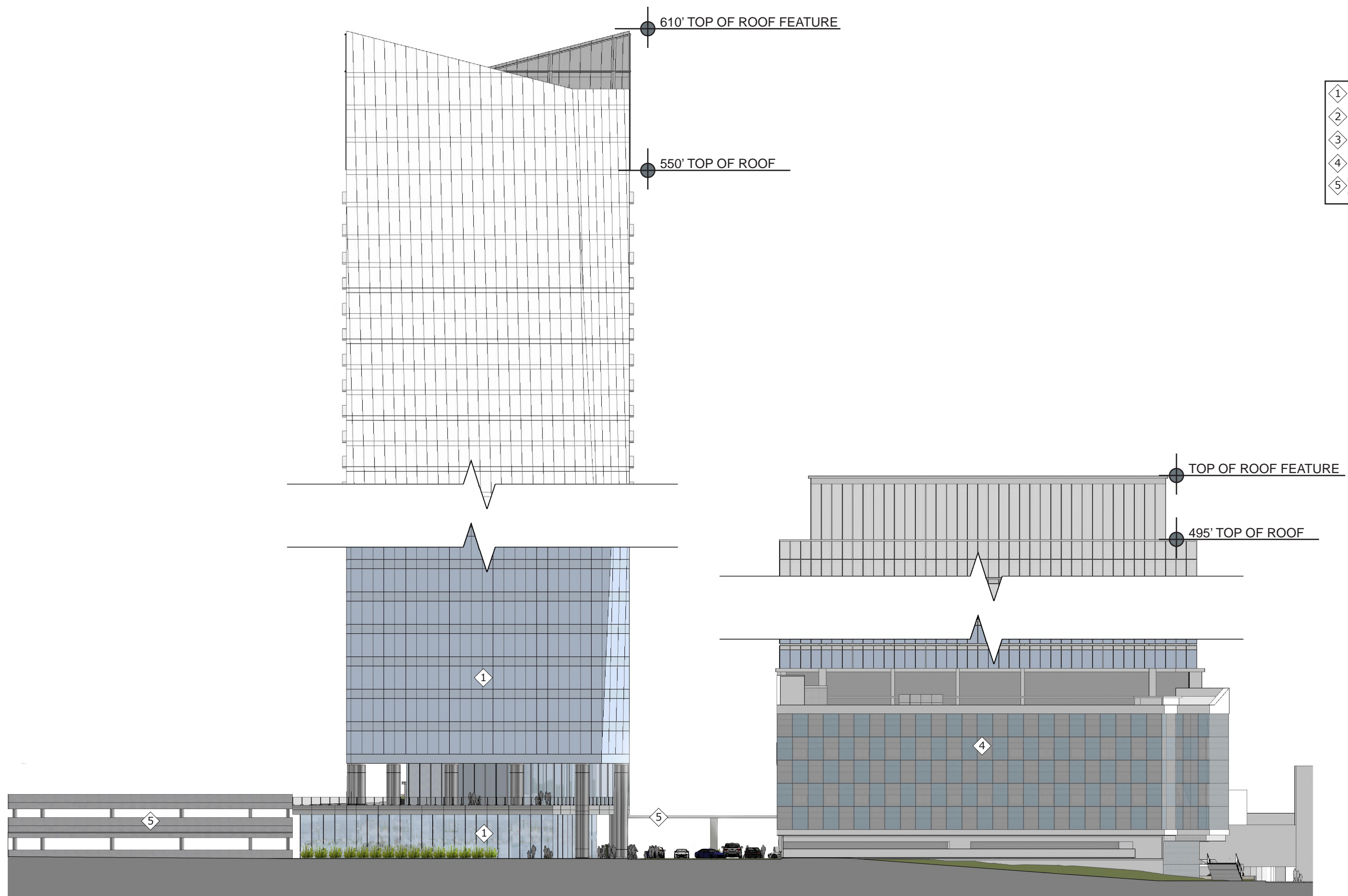




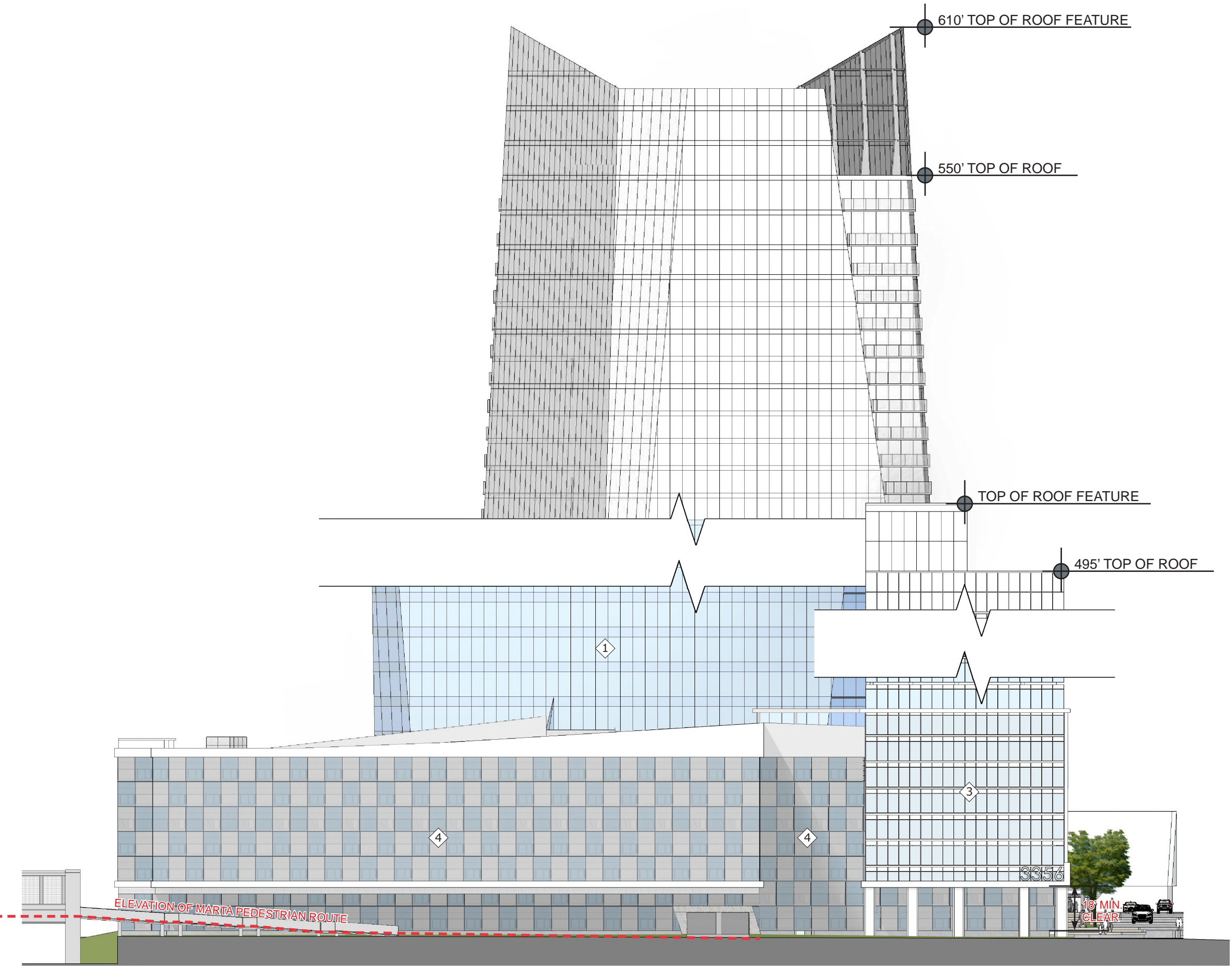
- ① Clear Low-E Vision Glazing
- ② Spandrel Glazing
- ③ Opaque Spandrel Material
- ④ Decorative Parking Deck Façade
- ⑤ Canopy at pedestrian connection to parking



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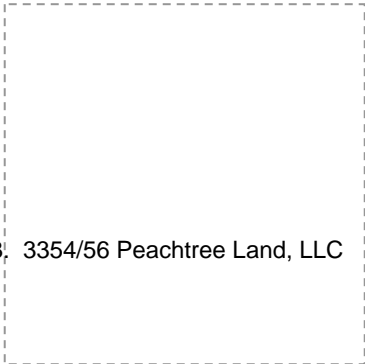


- ① Clear Low-E Vision Glazing
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APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)
For SPI, Beltline Overlay, LW, MR, MRC, and NC Zoning Districts
City of Atlanta, Office of Planning (404/330-6145)

APPLICANT Shannon Skinner c/o Regent Partners, LLC/Jim Feldman
*Applicants must appear in person to file an application. Applications by mail or courier will not be accepted.
COMPANY Kimley-Horn and Associates
ADDRESS 817 West Peachtree Street NW Suite 600 Atlanta, GA 30308
PHONE NO. (404) 201-6131 **EMAIL** shannon.skinner@kimley-horn.com



PROPERTY LANDOWNER 1. Cousins One Capital City Plaza LLC 2. 3350 Office/Condo, LLC 3. 3354/56 Peachtree Land, LLC
ADDRESS 3340 Peachtree Road, NE, Suite 1400, Atlanta, GA 30326
PHONE NO. (404) 995-1520 **EMAIL** jfeldman@regentpartners.com

ADDRESS OF PROPERTY 3350/3354/3356 Peachtree Road Peachtree Rd.

Is property within the BeltLine Overlay District? Yes No

Zoning Classification SPI-12/SA 1 Land District 17 Land Lot 62 Council District 7 NPU B

INSTRUCTIONS (approved SAP plans shall be included in Building Permit Application submittal to the Office of Buildings):

- **Demolition Permits:** Applications for demolition permits shall not be approved until the SAP is approved.
- **Signage:** SAP approval for free-standing/monument and/or projecting structures only. Signage approval issued by Office of Buildings.
- **Photographs:** For alterations to existing building facades to document existing conditions.
- **Submittal Package Requirements (See detailed checklist):**
 - 1) **Project Summary:** Describe all new construction, alterations, repairs or other changes to the exterior of existing structures or to the site. Requests for administrative variations must be accompanied by a written justification for each variation requested.
 - 2) **Property Survey:** Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.
 - 3) **Site Plan (released for construction and sealed) and Building Elevations:**
 - a. **Initial Plan Submission:** **Two (2)** copies for initial review (**four** copies that require DRI & NPU review). Also, copies of applicable Rezoning Legislation, Special Use Permit, Variance or Special Exception letters from the Board of Zoning Adjustment.
 - b. **Final Plan Submission (after staff review) incorporating staff comments:** **11** copies of site plan and **5** copies of elevations.
 - c. **Other information:** Additional plans or documents may be required at the discretion of the Office of Planning.
 - 4) **Property Owner Authorization:** Submit required notarized owner consent per attached form.
 - 5) **Notice to Applicant:** Submit attached form with signature and date.
- **Additional Submittal Requirements (as applicable):**
 - 1) **BeltLine, NC-10, NC-11, NC-12 Districts:** Pre-application conference with Planning Staff is required prior to SAP submittal. **INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE** for the required 21-day NPU review period as detailed below:
 - a. Mail a copy of the SAP application and plans which are stamped received by the Office of Planning to the NPU.
 - b. Submit a copy of U.S. Postal Service Certificate of Mailing within 5 business days of SAP application submittal.
 - c. Submit notarized Affidavit of NPU Notification within 5 business days of SAP application submittal.
 - 2) **Development Review Committee (DRC):** Projects within SPIs 1, 9, 12, 15, 16, 17 districts may require review by DRC.
 - 3) **Development of Regional Impact (DRI) Study:** Developments either; over 300,000 sf; or greater than 400 residential units; or a mixed-use development with more than 222 residential units require a DRI approval by GRTA and ARC.
 - a. **Initial submission:** DRI Form 1 with the SAP application. Planning staff will then submit information to GRTA and ARC.
 - b. **Final submission:** Copy of the DRI Notice of Decision letter shall be printed on the final site plan submission.
- **Fees (non-refundable):** Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.
 - Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.
 - Developments < 50,000 sqft of floor area: \$500.
 - Developments between 50,000 and 250,000 sqft of floor area: \$1,000.
 - Developments ≥ 250,000 sqft of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date _____ Signature of Applicant _____

The City Code provides that Planning Director shall review each request for an SAP within 30 days of a filing of a **completed*** application. (Atlanta Code Chapter 16, Section 16-25). * **Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.**

(FOR OFFICE OF PLANNING OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was **approved** or **denied** on _____
See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.

Signed for Director, Office of Planning _____

Staff Reviewer - Print Name _____

MEMORANDUM

To: Mr. Christian Olteanu, City of Atlanta

From: Shannon Skinner, PLA

Date: April 3, 2019

Subject: 3350, 3354 and 3356 Peachtree Road SAP-14-159 Revision

The intent of this memorandum is to outline the site plan, block area and curb cut revisions proposed for the 3350, 3354 and 3356 Peachtree Road mixed-use development. SAP-14-159 was approved on September 22, 2015. The information provided below outlines the changes to the development program and variation request submitted for SAP application amendment.

Comparison of Approved SAP-14-159 to Current Proposal

Development Standard	SAP-14-159	Current Proposal
Acreage	5.63 acres	5.70 acres (per CON-15-048)
Block Area	151,000 SF	127,902 SF
Uses	Multifamily residential, office and retail/restaurant	Multifamily residential, office and retail/restaurant
Multi-Family Unit Count	356	415
Height	550 feet plus 60 roof feature	550 feet plus 60 roof feature
Address	3350	3350, 3354, 3356

The revised SAP Site Plan, Block Area Exhibit and Open Space Exhibit are included with this submittal. **The original project summary and variation request is included below. No additional variations are required as part of the revised site plan.**

From SAP 14-159, approved September 22, 2015:**SAP 14-159****3350, 3354, 3356 Peachtree Road****Project Summary**

This SAP application proposes the redevelopment of an existing parking lot with a new mixed-use development consisting of a podium parking deck with a residential tower and a combined office and residential tower. Ground floor commercial uses will be provided along portions of the private drive that provides the primary access to the site.

The site is part of a lot that is bound by Peachtree Road, Georgia 400, the MARTA walkway and Tower Place Drive, a private drive that acts as a public street. The existing Capital City Plaza office building is located along the Peachtree Road frontage and is owned by a third party. A new pedestrian way will be implemented between the existing Capital City Plaza office building and the proposed development as demonstrated on the plans included in this application.

Block Area

The applicant requests a modification to the block area map to separate out the development site from the balance of the lot and also from the balance of Tower Place. The plans enclosed include the identification of the new block area, which yields a 151,000 square foot block bound by Georgia 400, the MARTA walkway, Tower Place Drive and a new pedestrian way. Section 16-18L.007(3)(b)(iii) provides that the director shall create and maintain a block area map illustrating blocks that meet the block definition. Section 16-18L.005 defines a block area as “[t]he total area (in square footage) within a block perimeter continuously bound by any of the following street types defined in this Chapter: Peachtree Road, Primary Streets, Local Streets, Pedestrian Ways, and private streets that function as a public street.” Georgia State Route 400 and the MARTA northern concourse pedestrian bridge are counted as streets for the purpose of the block area calculation pursuant to the definition in Section 16-18L.005. The new pedestrian way meets the requirements of Section 16-18L.015 as required to be utilized in the block area regulations. A map detailing the block area calculations and dimensions has been included in the application.

Curb Cut Width

Section 16-18L.014(2)(b)(i) and (ii) provide limitations for curb cuts. Specifically, curb cuts accessing parking areas are limited to a maximum of 36 feet per street, private street or private drive and curb cuts accessing loading areas have a maximum width of 14 feet per curb cut per building. Without variation, SPI-12 permits a total of 50 feet of curb cut(s) located on Tower Place Drive for this development for parking and loading. The applicant contends that there is only one,

24 foot wide curb cut on Tower Place Drive for the development located northwest of the proposed roundabout. This single curb cut serves parking areas and eight loading spaces. The other vehicular access point to this development from Tower Place Drive is the terminus of Tower Place Drive and not a curb cut. At its terminus, the width of Tower Place Drive is 65 feet wide which includes two 2.5' wide medians.

The term “curb cut” is not a defined term in the City of Atlanta Zoning Ordinance. Typically, limitations on width or number of curb cuts are intended to provide a safe and pleasant passageway for pedestrians and to maximize interface of pedestrians and building facades. Curb cut limitations are also imposed to minimize interference of traffic flow on the intersecting roadway caused by vehicles entering such intersecting roadway from multiple points.

The terminus of Tower Place Drive into the development does not actually cut a curb, intersect with a street, cross a sidewalk or interfere with pedestrian traffic. There is not pedestrian traffic located at this area. No pedestrian sidewalk is being crossed or impacted. There is also no vehicular traffic perpendicular to the terminus of Tower Place Drive. The beginning language of Section 16-18L.014(2)(b) expressly provides that the curb cut limitations identified are for “[s]treets, private streets and private drives *intersecting* with all other street types.” The area in question does not intersect with any street type found in SPI-12 or any street at all. It is the continuation of a private street acting as a public street that becomes a driveway accessing parking areas.

If a variation is deemed necessary for the curb cut width, the proposed plan, even if not in “strict accordance” with SPI-12, clearly satisfies public purposes and intent as hereinabove discussed. Further, the access to the parking deck creating the second “curb cut” provides public protection to an equivalent or greater degree that strict enforcement of the curb cut width requirement would provide because the area in question does not cut a curb or interfere with pedestrian or vehicular traffic. From a transportation perspective, the 24 foot wide curb cut and the terminus of Tower Place Drive are suitable separated with approximately 380 feet between these areas. To the extent necessary, attached is information from a certified traffic engineer evidencing the need for the dimensions identified on the plan as required per 16-18L.014(2)(b)(iii).

City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP)
Written Findings and Conditions of Approval

SAP-14-159

Property Address: 3354-3356 Peachtree Rd.

Zoning District: SPI-12, SA-1

Approval Date: 9/22/2015

Staff Signature: 

Project Summary: New 610' ht. mixed-use project with residential (356 units), office and retail uses and accessory attached parking deck along with existing parking totaling 2,504 spaces.

Improvements at the above address are hereby authorized to apply for a building permit in accordance with Sections 16-18.006 and 16-25.002(3) of the City of Atlanta Zoning Ordinance. Improvements are granted as indicated on the attached site plan and building elevations with:

No variations are granted.

Variations are granted in accordance with Sections 16-18.007, 16-33.006, 16-34.007, 16-35.005, and 16-36.005 (as applicable) as indicated in the attached Written Findings and Conditions of Approval.

Approval is subject to the attached Written Findings and Conditions of Approval.

Approval is subject to red-line comments on the plans.

Administrative Variation: In accordance with Section 16-18.007, the following variations are granted from the code sections referenced:

1. **Section 16-18L.014(b)(i)** : Max curbcut width along a private street (Tower Place Dr.) from 36' max to 89' total including one- 24' width near the MARTA concourse at the northwest and a 65' width extension at the current terminus point of Tower Place Dr. to the southeast.

Findings of Staff, which support the relief granted:

1. Variations #1: Staff finds that the Code allows such variation to be granted administratively due to the nature and scale of the proposed mixed use building and adjacent private street (Tower Place Dr.) which shares the same private street in addition to the minimal potential conflict with pedestrians and vehicles due to the proposed configuration as a practical extension of the private street (Tower Place Dr.) at its current terminus located adjacent and below pedestrian way(s). Therefore, it is staff's opinion strict application of the regulations is not necessary & public protection is satisfied.

Approval Condition: In accordance with Sections 16-18.006 and 16-25.002(3), the following is a condition to the SAP approval for this application:

1. DRI Approval: GRTA conditions of DRI (#2453) approval to be implemented.
2. Parking Structure: The proposed parking deck shall meet the full applicable requirements of Sec. 16-28.028 regarding parking structures.



SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION

Notice to Applicants

File # _____

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Planning (OOP) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OOP.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OOP. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OOP. It shall be the responsibility of the applicant, not the OOP, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OOP at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OOP staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OOP for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Applicant Printed Name

Applicant Signature

Date



City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications

File # _____

These forms are intended to assist applicants in preparing the required submission materials for a Special Administrative Permit approval. In addition to these forms to be completed by the applicant, all applicable specifications should be shown on the **site plan in chart form**. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

Definitions and Methods of Calculation				
<ul style="list-style-type: none"> Net Lot Area (NLA) = length of property line X width of property line GLA for corner lots = (NLA) + [(street "A" right-of-way width ÷2) X (street "A" length of property line)] + [(street "B" right-of-way width ÷2) X (street "B" length of property line) + [(street "A" right-of-way width ÷2) X (street "B" right-of-way width ÷2)] GLA (with only one front yard adjacent to street) = (NLA) + [(street right-of-way width ÷2) X (length of front property line)] GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width. GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts. Building Lot Coverage provided = (net lot area minus area of building footprint) ÷ (net lot area) 				
Lot Size (in square footage)				
Gross Land Area (GLA)	NA			
Net Lot Area (NLA)	5.70 AC = 248,402 SF			
Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input type="checkbox"/> GLA, or <input type="checkbox"/> NLA				
	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage
SPI-12 HEIGHT REQUIREMENTS				
Base Allowed	HEIGHT=225'			
Base Provided	225' HT			
Bonus Allowed	BLOCK AREA= 225' TRANSIT= 100'			
Bonus Provided	550' HT	550'+60' ROOF FEATURE		
Bonus FAR Program (check bonus utilized if applicable)				
Transit Station <input checked="" type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>
Residential Units			Total Provided: 415 Units	
Number of Units Provided (without bonus)			NA	
Number of Bonus Units Provided (without workforce housing)			NA	
Number of Bonus Workforce Housing Units Provided (20% required)			NA	
Total Number of Units per Acre			NA	
Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)				
	Percentage (%)		Square Footage	
Max. Permitted	NA			
Provided	117,860 (TP) + 50,218 SF (CAP)			
Fenestration (% of each street-fronting facade calculated separately, per district regulations)				
	Residential Façade Percentage (%)		Non-residential Façade Percentage (%)	
	on Local Street	on Arterial/Collector	on Local Street	on Arterial/Collector
Min. Required	50%		50%	25%
Provided (specify for each street)	88%		88%	66%



City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications

File # _____

Residential Open Space Requirements (refer to Chapter 28 for clarification)

Definitions and Methods of Calculation	
<ul style="list-style-type: none"> • LUI = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations) • TOSR are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides. <ul style="list-style-type: none"> ○ TOSR required = (LUI table) X (GLA). ○ TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces). • UOSR requirements are calculated using the residential FAR (of the <u>corresponding net lot or GLA lot sized used</u> to calculate FAR) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations. <ul style="list-style-type: none"> ○ UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR). ○ If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way). 	
TOSR: Total Open Space Requirements for Residential Only Projects	
<i>(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)</i>	
	Ratio
	Total Square Footage
Minimum Required	
Provided	
Square Footage breakout of UNCOVERED TOSR amount provided by the following:	
GLA minus building square footage	
Open exterior balconies (per Section 16-28 or district regs)	
Roof area improved as recreation space	
Square Footage breakout of COVERED TOSR amount provided by the following:	
Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments	
<i>(These are areas not counted towards Public Space Requirements) NLA = 245,242</i>	
	Ratio
	Total Square Footage
Minimum Required	RESIDENTIAL = 20% NLA (50.4% applied use) = 25,039 sf 15% NLA (0.6 applied use) = 2,236 sf RETAIL = 10% NLA OFFICE = 10% NLA
Provided	(51% applied use) = 12,669 sf TOTAL = 39,944 SF
Square Footage Breakdown of UOSR amounts provided by the following:	
Balconies	NA
Rooftop Terraces	14,724
Landscaped Areas and Plazas	3,754
Portions of Sidewalks on Private Property	23,813
Portions of Landscaped Areas in Right-of-way adjacent to Property	NA

PEDESTRIAN WAY = 16,134

PET WALK AREA = 500

TOTAL PROPOSED = 58,925

EXISTING CAPITOL CITY GREENSPACE = 14,468

73,393



City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications

File # _____

Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

PSR: Public Space Requirements for Non-residential & Mixed-use Developments		
<i>(These are areas not counted towards UOSR)</i>		
Public Space provided = (square footage area of exterior space) + (square footage area of interior space)		
	Percentage (%)	Total Square Footage
Minimum Required		
Provided		
Square Footage Breakdown of PSR amounts provided by the following:		
EXTERIOR (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)		
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout					
	Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
On-site Parking Spaces	Residential		Non-residential Uses		
Minimum Required	0		0		
Provided	497		1,294(RETAIL+OFFICE)+440 (3350 EXPANSION)+684 (EXISTING)		
Maximum Allowed	684		2,685: 1,125 (3350)1,534 (office)+26 (retail)		
Bicycle Parking Spaces	Residential		Non-residential Uses		
Minimum Required	50		50		
Provided	50		50		
On-site Loading Spaces (see applicable zoning district requirements or Section 16-028.015)					
	Residential/Hotel		Non-residential Uses (break out by use)		
Minimum Required (specify for each use)	2 - 12'x35'		2 - 12'x35'		
Provided (specify for each use)	2 - 12'x35'		2 - 12'x35'		

EXISTING CAPITOL CITY LOADING = 5 - 12'x35'



City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized authorization by Property Landowner

File # _____

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: **Special Administrative Permit**

I, _____ SWEAR THAT I AM THE **LANDOWNER**
owner(s) name

OF THE PROPERTY LOCATED AT: _____

AS SHOWN IN THE RECORDS OF _____ COUNTY, GEORGIA
WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE
PERSON NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS
APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

ADDRESS: _____
Atlanta, GA 30326

TELEPHONE: _____ EMAIL: shannon.skinner@kimley-horn.com

Signature of Property Landowner

Print Name of Property Landowner

Personally Appeared
Before Me

Who Swears That The
Information Contained
In this Authorization
Is True and Correct
To The Best of His or Her
Knowledge and Belief.

Signature of Notary Public

Date



City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
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Atlanta, GA 30326

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Signature of Property Landowner

Print Name of Property Landowner

Personally Appeared
Before Me

Who Swears That The
Information Contained
In this Authorization
Is True and Correct
To The Best of His or Her
Knowledge and Belief.

Signature of Notary Public

Date

December 29, 2016

Mr. Rob Ross
Vice President
Kimley-Horn
817 West Peachtree Street NW, Suite 601
Atlanta, Georgia 30308

RE: DRI Re-Review Determination for 3354 & 3356 Peachtree Road (DRI #2453)

Dear Mr. Ross,

This letter is in response to your December 22, 2016 e-mail request for a DRI re-review determination for 3354 & 3356 Peachtree Road (DRI #2453). Please forward this letter to your client.

Per our DRI rules at 110-12-7-.05(1)(c), ARC may evaluate whether a new review is warranted on a site that was previously reviewed. Examples of project changes that ARC considers include, but are not limited to, a substantial increase in project size or a substantial change in the mix of uses. ARC also considers whether the potential for project impacts has changed and whether significant time has passed since the previous DRI process, thereby increasing the likelihood that the views of potentially affected parties have changed.

Based on our telephone conversation and the information you provided regarding the new plan (enclosed), ARC's determination is that the current proposed changes are not substantial enough to warrant a new DRI review. Factors supporting this determination include: residential units are increasing roughly 19 percent, which is not substantial in relation to the scope of the project as a whole; densities for other site uses are remaining the same; no new acreage is being added; no new uses are being introduced; site access and circulation are remaining the same; and the original review was completed relatively recently (two years ago).

If there are additional project changes that may result in a DRI threshold being exceeded, information on those changes should be submitted to ARC for another review determination. If GRTA staff request any additional transportation information or analysis relative to the new plan, please provide it accordingly.

Sincerely,



Andrew Smith
Senior Planner, Community Development Division, ARC

Cc: Laura Beall, GRTA
Jonathan Lewis, City of Atlanta



Andrew Smith

From: Rob.Ross@kimley-horn.com
Sent: Thursday, December 22, 2016 1:14 PM
To: Andrew Smith
Cc: elizabeth.johnson@kimley-horn.com
Subject: Follow up on DRI #2453
Attachments: Trip Gen Compare.docx

Andrew, we've attached a trip generation comparison for the changes proposed to the project we discussed yesterday. Let us know if you'd like us to put this in a more formal memo. Our client would like to have a formal letter to document ARC's finding – they are working towards closing on an agreement with a partner in mid-January and would like to have something to share by the end of the first week in January. I'll be out of the office but available to discuss this (or prepare any other documentation you need) through the new year.

Thanks! Merry Christmas and Happy New Year!
Rob

Rob Ross | Vice President

Kimley-Horn | 817 West Peachtree Street, NW, The Biltmore, Suite 601, Atlanta GA 30308

Direct: 404 201 6146 | Mobile: 404 955 5870 | Main: 404 419 8700

rob.ross@kimley-horn.com | www.kimley-horn.com

Table 1: 3354 & 3356 Peachtree Road DRI #2453 vs Current Site Plan			
<i>Previous Density vs. Proposed Density</i>			
Land Use	3354 & 3356 Peachtree Road October 2014 (DRI # 2453)	Current Proposed December 2016 -	% Change
Residential - Apartments	297 units (297,000 SF)	355 units (355,000 SF)	19.5%
Residential Condos	51 units (51,000 SF)	60 units (60,000 SF)	17.6%
Office	613,760 SF	613,760 SF	No change
Retail and Restaurant	9,574 SF	9,574 SF	No change
TOTAL	971,334 SF	1,038,334 SF	6.9%

Table 2: 3354 & 3356 Peachtree Road DRI #2453 vs Current Site Plan			
<i>Anticipated Trip Generation Comparison of Gross Trips</i>			
Site Plan	Weekday Daily	AM Peak Hour	PM Peak Hour
<i>3354 & 3356 Peachtree Road DRI #2453 (2014)</i>	7,580	946	962
<i>Current Site Plan (2016)</i>	7,854	967	986
Percentage Difference in Gross Project Trips	3.6%	2.2%	2.5%

RECEIPT

CITY OF ATLANTA
ATLANTATEST
55 TRINITY AVE SW
Corey Cooper

Application: SAP-14-159
Application Type: Planning/SAP/SPI/NA
Address: 3350 PEACHTREE RD NE, ATLANTA, GA 30326
Owner Name: PARKWAY ONE CAPITAL CITY PLAZA LLC
Owner Address:
Application Name:

Receipt No. 387545

Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received Comments
Check	1025	\$1,500.00	09/30/2014	JADEGBOYE	PAID CITY OF ATLANTA

Owner Info.: PARKWAY ONE CAPITAL CITY PLAZA LLC

SEP 30 2014
OFICIO MUNICIPAL
REVENUE COLLECTOR

Work Description: Redevelopment of an existing parking lot with a new mixed use development.



NOTICE OF DECISION

To: Doug Hooker, ARC
(via electronic mail) Sonny Deriso, GRTA
Bob Voyles, GRTA

Dick Anderson, GRTA
Al Nash, GRTA

To: Mayor Kasim Reed, City of Atlanta
(via electronic mail and certified mail) Jim Feldman, Regent Partners LLC

From: Kirk Fjelstul, GRTA Acting Executive Director

Copy: Laura Beall, GRTA
(via electronic mail) Jon West, DCA
Jon Tuley, ARC
Mike Lobdell, GDOT Dist 7
Greg Floyd, MARTA

Jonathan Lewis, City of Atlanta
Jessica Hill, Morris Manning Martin
Rob Ross, Kimley-Horn & Associates
Denise Starling, Buckhead CID

Date: October 31, 2014

Re: DRI #2453 3354-3356 Peachtree Road

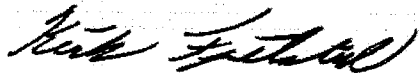
**Notice of Decision for
Request for Expedited Review of
DRI 2453 3354-3356 Peachtree Road**

The purpose of this notice is to inform Regent Partners LLC (the Applicant), City of Atlanta (the local government), the GRTA Land Development Committee, the Georgia Department of Community Affairs (DCA), the Georgia Department of Transportation (GDOT), and the Atlanta Regional Commission (ARC) of GRTA's decision regarding DRI 2453 3354-3356 Peachtree Road (the DRI Plan of Development). GRTA has completed an Expedited Review for the DRI Plan of Development pursuant to sections 3-101 and 3-102 of the *Procedures and Principles for GRTA Development of Regional Impact Review* and has determined that the DRI Plan of Development meets the GRTA review criteria set forth in Sections 3-101 and 3-102.F. The DRI Plan of Development as proposed is **approved subject to conditions**, as provided in Attachment A and subject to the limitations placed on allowable modifications to the DRI Plan of Development, as described in Attachment B.

This decision will become final and no further review will be required, unless: (1) a request for review by the Land Development Committee is submitted to the Acting Executive Director within five (5) business days of receipt of this notice pursuant to Section 2-502 of the *Procedures and Principles for GRTA Development of Regional Impact Review*, or (2) an appeal by the Applicant is submitted to the Acting Executive Director within five (5) business days of receipt of this notice pursuant to Section 2-501, or (3) an appeal by the local government is submitted to the Acting Executive Director within five (5) business days of receipt of this notice pursuant to Section 2-501. If GRTA staff receives a request for review or an appeal, you will receive another notice from GRTA, and the Land Development Committee will hear the appeal or request for Expedited Review at its December 10, 2014 regular meeting.

The notice of decision is based upon review of the applicant's DRI Review Package. The Review Package includes site plan prepared by Kimley-Horn and Associates dated October 10, 2014 and received by GRTA on October 16, 2014, and the transportation analysis dated October 2014 prepared by Kimley-Horn and Associates and received by GRTA on October 16, 2014. The review also includes confirmation from the City of Atlanta and the Atlanta Regional Commission received by GRTA on October 21, 2014 that the Livable Centers Initiative (LCI) criterion has been met.

Approval of the above referenced DRI by expedited review shall not constitute GRTA approval of any subsequent material modifications to the proposed DRI by the local government such that the proposed DRI is no longer eligible for approval by expedited review.



Kirk Fjelstul
Acting Executive Director
Georgia Regional Transportation Authority

Attachment A – General Conditions

General Conditions of Approval to GRTA Notice of Decision:

Pedestrian, Bicycle Accessibility

- Provide connectivity for pedestrians to access adjacent properties and the site from multiple directions.
- Provide pedestrian crosswalks and actuation devices for safe crossings of Tower Place Drive.
- Provide adequate separation between pedestrian and vehicles on western most edge of property line and MARTA bridge access.
- Design the proposed traffic circle to reduce merging conflicts in close proximity to pedestrian crosswalks.

Road Improvements as Conditions to GRTA Notice of Decision:

None.

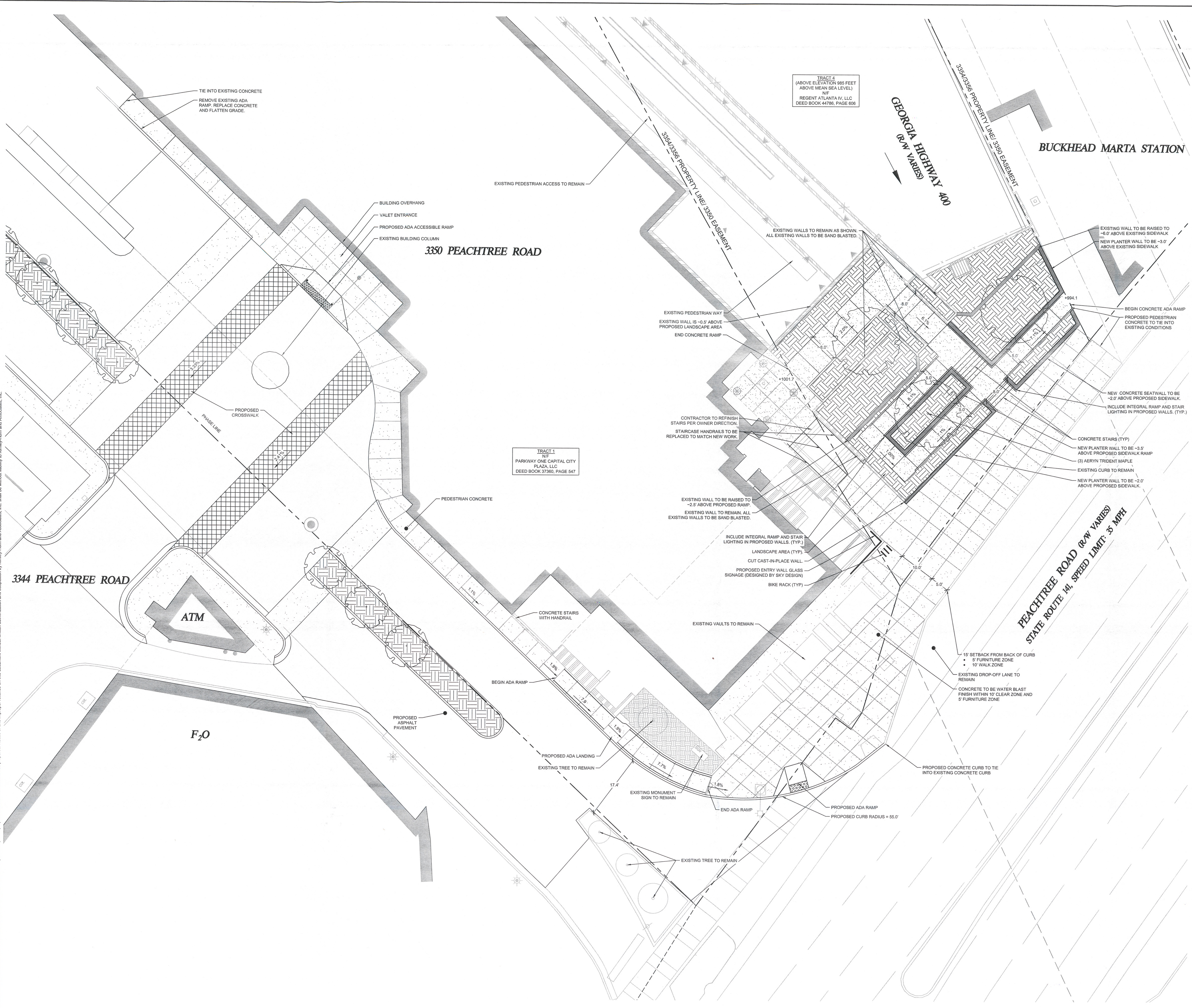
Attachment B – Required Elements of the DRI Plan of Development

Conditions Related to Altering Site Plan after GRTA Notice of Decision:

The on-site development will be constructed materially (substantially) in accordance with the Site Plan. Changes to the Site Plan will not be considered material or substantial so long as the following conditions are included as part of any changes:

- All “Proposed Conditions of Approval to GRTA Notice of Decision” set forth in Attachment A are provided.

Drawing title: K:\AMT_CIVIL\019335033_3350 Peachtree Road\CAD\PlanSheets\CO-20 - SAP SITE PLAN.dwg SITE PLAN - 10 scale Feb 28, 2019 1:47pm by: Morgan Murdock
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without the written approval and signature of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SAP SITE PLAN NOTES:

LOT SIZE:
0.5 ACRES (22,900 SF)

BIKE RACK NOTES:
1. 3 BIKE RACKS (6 SPACES) PROVIDED ON THE SITE WITHIN THE STREETSCAPE SUPPLEMENTAL ZONE.

SAP FILE NUMBER:
SAP-18-151

ZONING CLASSIFICATION:
SPI -12 Subarea 1

ADJACENT STREETS:
HIGHWAY 400 (ARTERIAL)
PEACHTREE ROAD (ARTERIAL)

SITE PLAN LEGEND:

- LANDSCAPED AREA
- STANDARD DUTY CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- STAMPED CONCRETE PAVEMENT

811 THE BUCKHEAD BUILDING SUITE 601 ATLANTA, GEORGIA 30308 PHONE (404) 419-8700 WWW.KIMLEY-HORN.COM	
CLIENT: COUSINS PROPERTIES PROJECT: 3350 PEACHTREE RD TITLE: SAP PLAN	SCALE: 1"=10' DRAWN BY: MEM DESIGNED BY: CAZ CHECKED BY: KSS
DATE: 02/28/2019 PROJECT NO.: 019335033 SHEET NUMBER: C0-20	3344 PEACHTREE ROAD, NE SUITE 1800 ATLANTA, GEORGIA, 30328

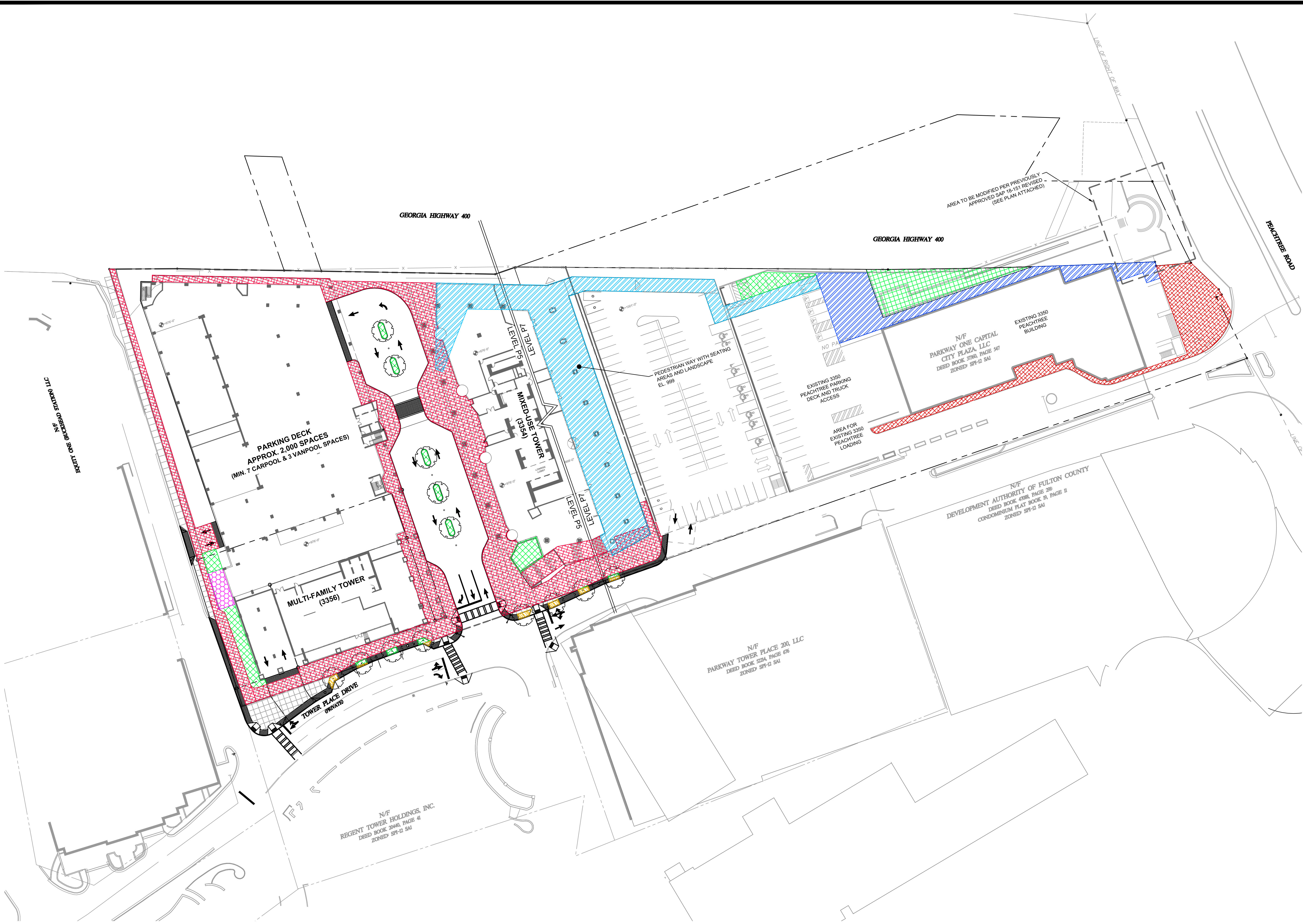
SPECIAL ADMINISTRATIVE PERMIT (SAP)
 City of Atlanta Office of Zoning & Development

Approved
 Approved Conditional
 Read-Line Comments Refer to SAP Application
 No Approval Required

For Director: Office of Zoning & Development Date: 3/28/19

GEORGIA811
 Utilities Protection Center, Inc.
 Know what's below. Call before you dig.

NORTH
 GRAPHIC SCALE IN FEET
 0 5 10 20



PROPOSED

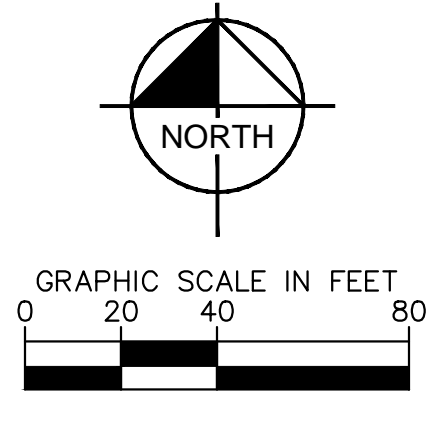
QTY	
3,233 sf	Landscape Area
16,134 sf	Pedestrian Way
500 sf	Pet Walk Area
491 sf	R.O.W. Landscape
23,813 sf	Walk Zone
14,724	Roof Terraces
TOTAL:	58,925 SF

EXISTING

QTY	
5,516 sf	Pedestrian Way
5,353 sf	Walk Zone
3,599 SF	Landscape Area
TOTAL:	14,468 SF

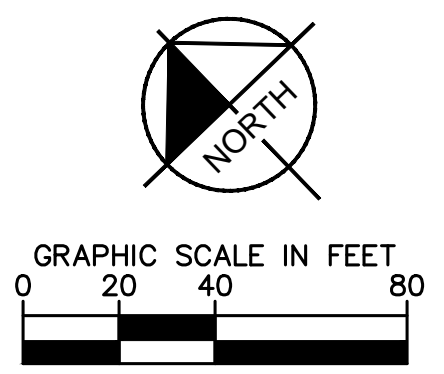
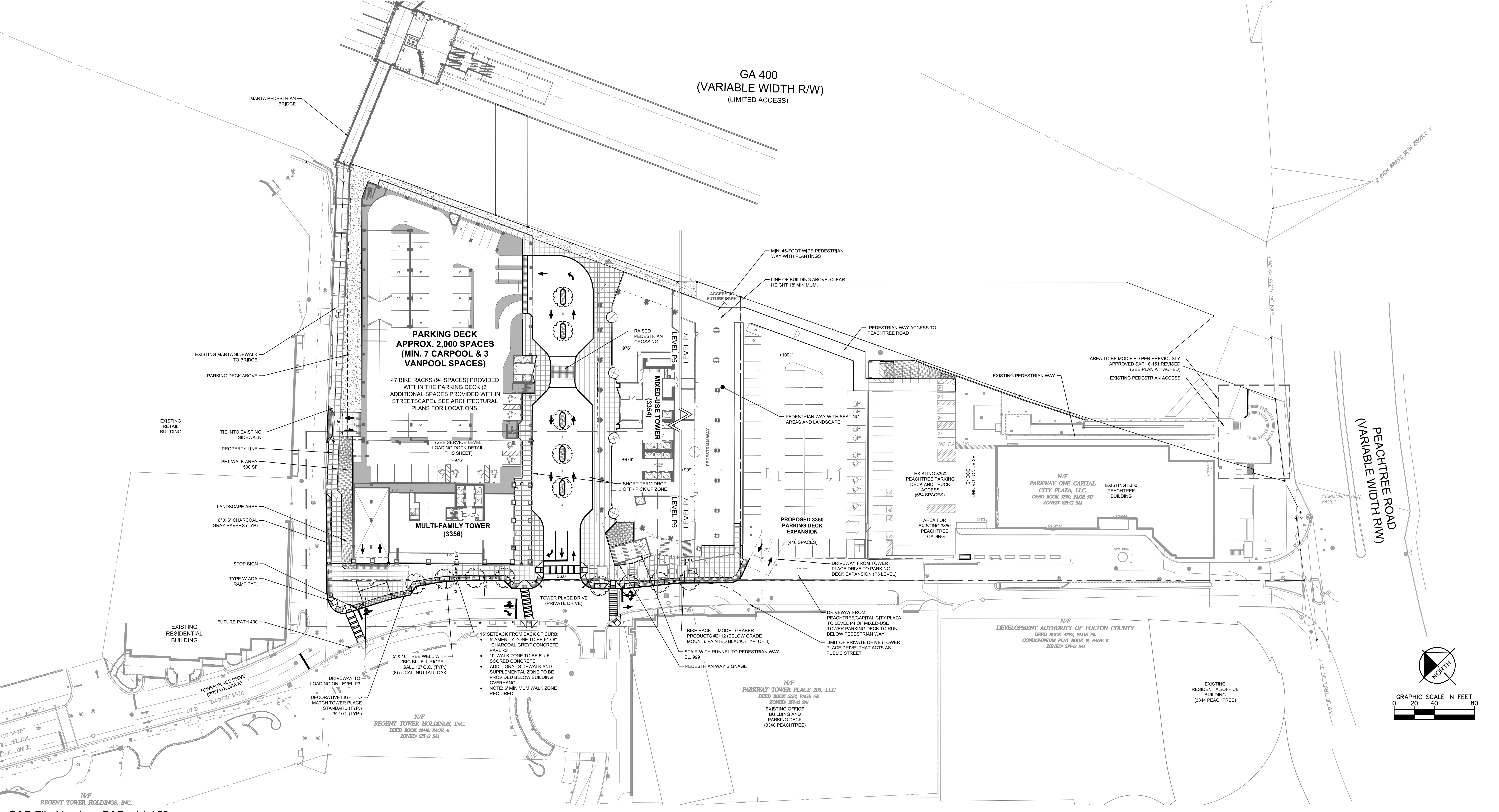
PROPOSED+EXISTING

TOTAL: 73,393 SF



PRELIMINARY - NOT FOR CONSTRUCTION

<p>81 WEST PEACHTREE ST, NW ATLANTA, GEORGIA 30308-1121 Tel: (404) 495-0100</p>																	
<p>NO. 1 REVISIONS/PRINTING 1 SCHEMATIC DESIGN DRAWINGS</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>MEMO</th> </tr> </thead> <tbody> <tr> <td>03/29/2019</td> <td></td> <td></td> </tr> </tbody> </table>	DATE	BY	MEMO	03/29/2019												
DATE	BY	MEMO															
03/29/2019																	
<p>MIXED USE DEVELOPMENT 3360, 3364 & 3366 Peachtree Rd Atlanta, GA 30326</p>																	
<p>UOSR EXHIBIT</p>																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>SCALE (H):</td> <td>AS SHOWN</td> </tr> <tr> <td>SCALE (V):</td> <td>AS SHOWN</td> </tr> <tr> <td>DESIGNED BY:</td> <td>KSS</td> </tr> <tr> <td>DRAWN BY:</td> <td>CAZ</td> </tr> <tr> <td>CHECKED BY:</td> <td>EFM</td> </tr> <tr> <td>DATE:</td> <td>03/29/2019</td> </tr> <tr> <td>N/A PROJECT NO.:</td> <td>015961009</td> </tr> <tr> <td>SHEET NUMBER:</td> <td>C9-02</td> </tr> </table>		SCALE (H):	AS SHOWN	SCALE (V):	AS SHOWN	DESIGNED BY:	KSS	DRAWN BY:	CAZ	CHECKED BY:	EFM	DATE:	03/29/2019	N/A PROJECT NO.:	015961009	SHEET NUMBER:	C9-02
SCALE (H):	AS SHOWN																
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Kimley»Horn
87 WEST PEACHTREE ST, NW
SUITE 607
ATLANTA, GEORGIA 30308-1121
Tel: (404) 495-0100
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NO.	REVISIONS/PARTING	DATE

MIXED USE DEVELOPMENT
3350, 3354 & 3356 Peachtree Rd
Atlanta, GA 30326

SAP SITE PLAN

SAP File Number: SAP - 14-159

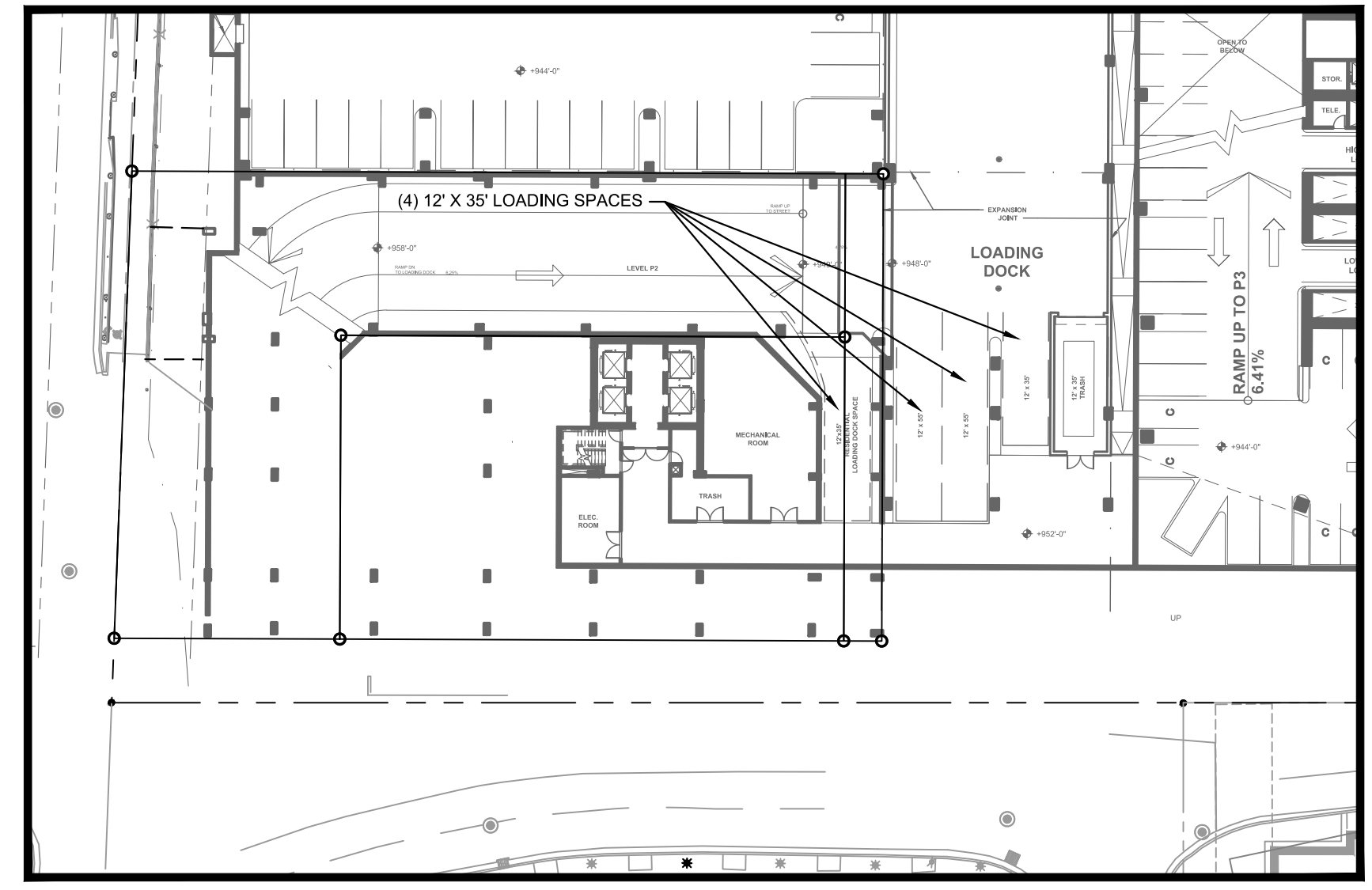
Zoning Classification
SPI-12 SUBAREA 1

- GENERAL NOTES:**
1. ADDRESS NUMBERS ARE TO BE PROVIDED ON BUILDING AND BE A MINIMUM OF 6" IN HEIGHT.
 2. PARKING STRUCTURE LIGHTING SHALL BE CUTOFF LUMINARIES WITH 90 DEGREE ILLUMINATION.
 3. A MINIMUM OF ONE PARKING DECK ENTRANCE TO HAVE A MINIMUM HEIGHT OF 90 INCHES FOR THE INGRESS AND EGRESS OF VANPOOL VEHICLES.
 4. FOUR (4) 12' X 35' LOADING ZONES REQUIRED. FOUR (4) 12' X 35' LOADING ZONES PROVIDED.
 5. MAXIMUM ALLOWABLE BUILDING HEIGHT = 60' + 60' ARCHITECTURE FEATURE.
PROPOSED BUILDING HEIGHT:
BASE = 225'
BONUS = 225' (BLOCK AREA)
100' (TRANSIT)
ROOF FEAT. = 60'
 6. 60% OF GREENSPACE TO BE BIO-DIVERSE PLANTING AND NOT TURF GRASS.
 7. 75% OF BUILDING ROOF SURFACE TO BE 78 SOLAR SRI.
 8. THE OWNER WILL COMPLETE THE BATMA APPLICATION PRIOR TO PROJECT COMPLETION.

- LOT SIZE:**
- 5.70 ACRES (248,402 SF)
- OPEN SPACE CALCULATIONS:**
1. PET WALK AREA = 500 SF
 2. REQUIRED TOTAL OPEN SPACE = 39,926 SF
 3. TOTAL OPEN SPACE PROVIDED = 73,393 SF (29.5 % OVERALL OPEN SPACE)

- BIKE RACK NOTES:**
1. 3 BIKE RACKS (6 SPACES) PROVIDED ON THE SITE WITHIN THE STREETSCAPE FURNITURE ZONE.
 2. 47 BIKE RACKS (84 SPACES) PROVIDED WITHIN THE PARKING DECK. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

BLOCK AREA: SEE SHEET SAP-02 FOR DIMENSIONS AND AREA CALCULATION.

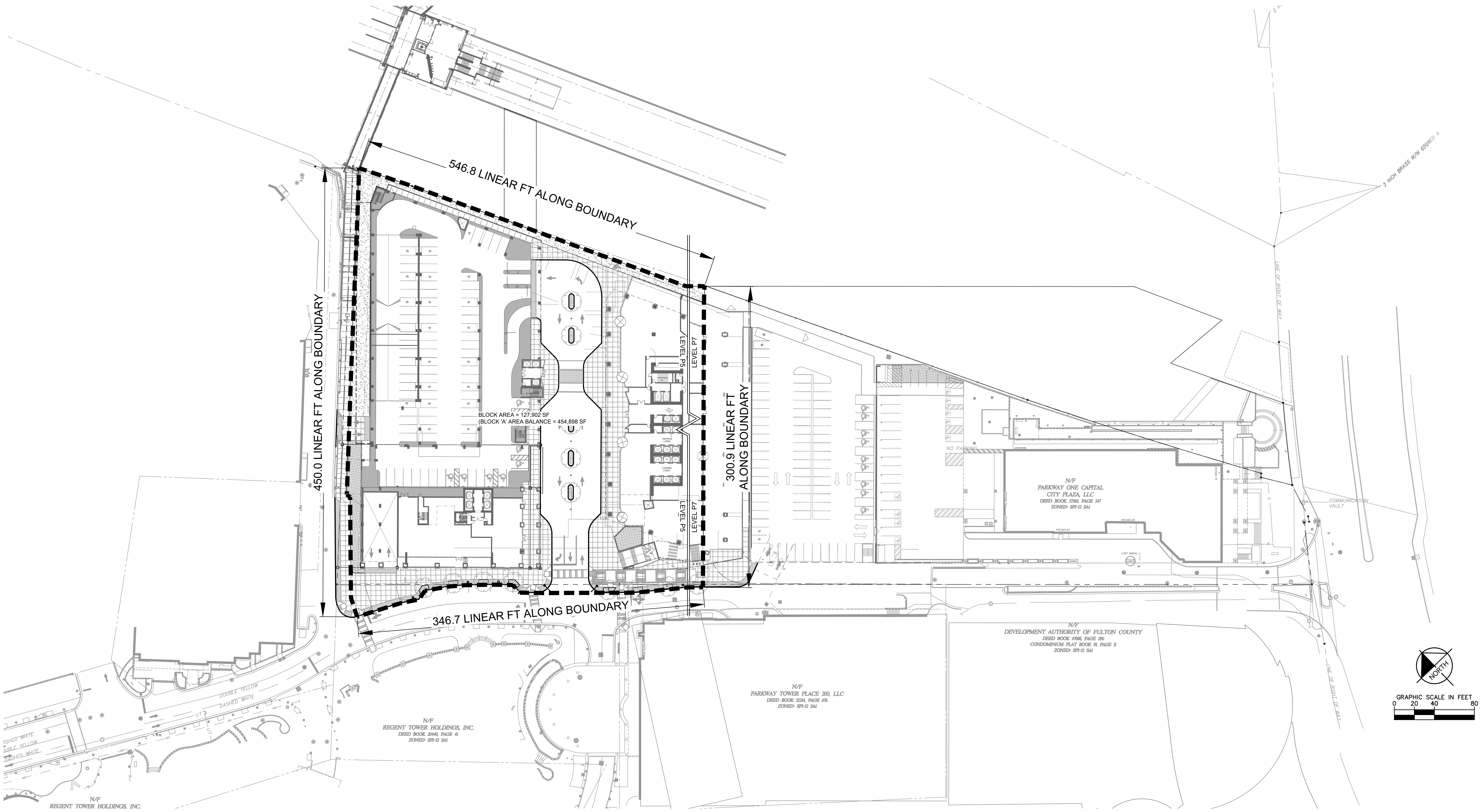


PRELIMINARY - NOT FOR CONSTRUCTION

SCALE (H): AS SHOWN
SCALE (V): AS SHOWN
DESIGNED BY: KSS
DRAWN BY: CAZ
CHECKED BY: EFM
DATE: 10/19/2017
SAP-01

Drawing name: K:\MT_CADD\1980\009_Tower Plaza Mixed Use\CADD\PlanSheets\SAP-01 - SAP SITE PLAN.dwg SAP-02 BLOCK AREA PLAN Mar 26, 2019 2:35pm by: jmathand@ksh.com

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SAP File Number: SAP - 14-159

Zoning Classification
SPI-12 SUBAREA 1

PRELIMINARY - NOT FOR CONSTRUCTION

SCALE (H): AS SHOWN
SCALE (V): AS SHOWN
DESIGNED BY: KSS
DRAWN BY: CAZ
CHECKED BY: EFM
DATE: 10/19/2017
N/A PROJECT NO.: 015961009
SHEET NUMBER
SAP-02

MIXED USE DEVELOPMENT
3350, 3354 & 3356 Peachtree Rd
Atlanta, GA 30326

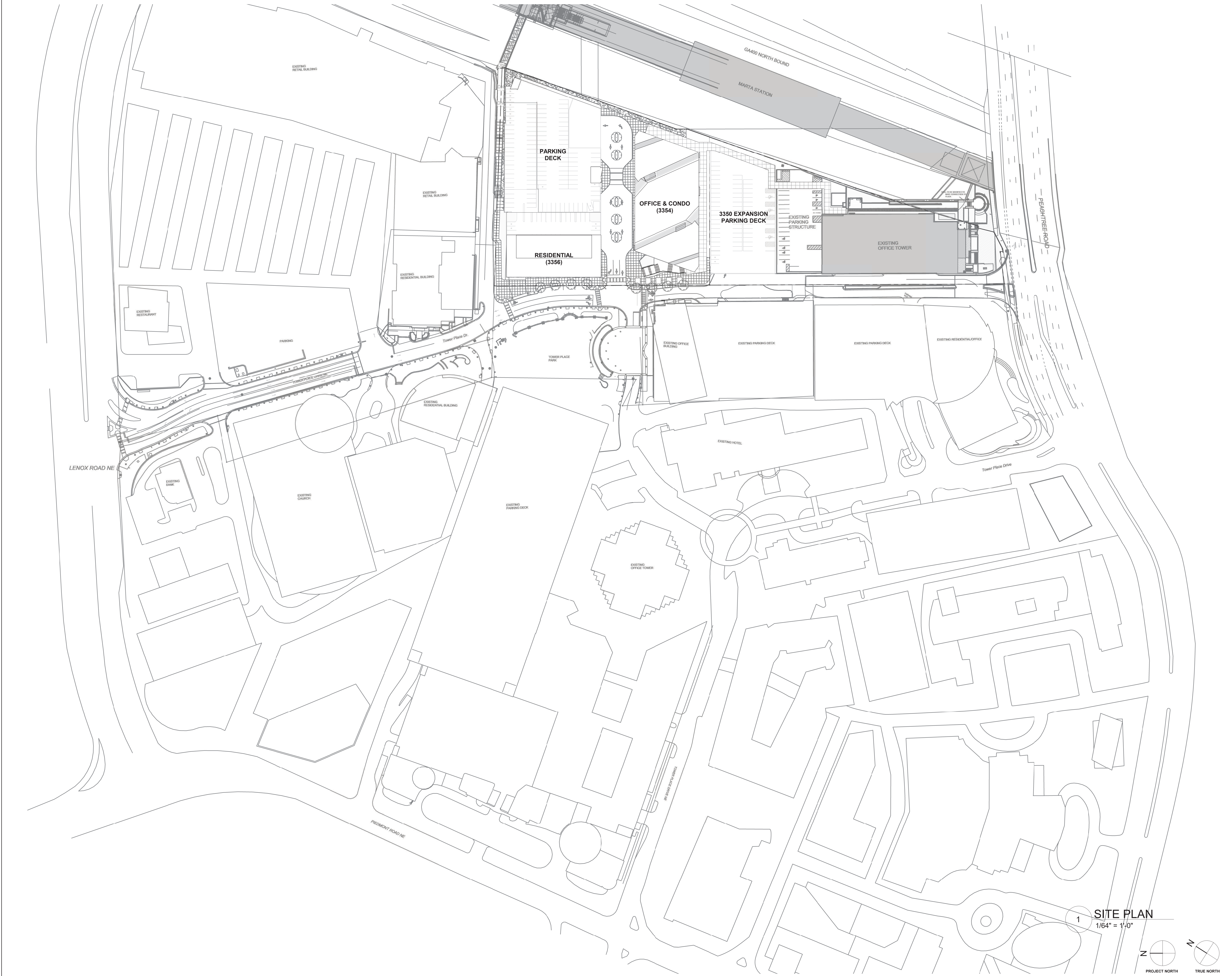
BLOCK AREA EXHIBIT

No. REVISIONS/PRINTING

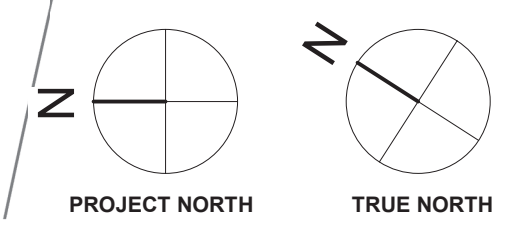
DATE

BY

Kimley»Horn
87 WEST PEACHTREE ST., NW
SUITE 600
ATLANTA, GEORGIA 30308-1721
Tel: (404) 415-9700
© 2017 Kimley-Horn and Associates, Inc.



1 SITE PLAN
1/64" = 1'-0"



REVISIONS / PRINTED		
REV. NO.	DATE	REMARKS
09/30/14	SAP SUBMITTAL	
12/02/14	SAP RESUBMITTAL	
02/18/15	SAP RESUBMITTAL	
04/06/15	SAP RESUBMITTAL	

Smallwood, Reynolds, Stewart, Stewart & Associates, Inc. Architects

One Piedmont Center, Suite 303 3565 Piedmont Road Atlanta, Georgia 30305

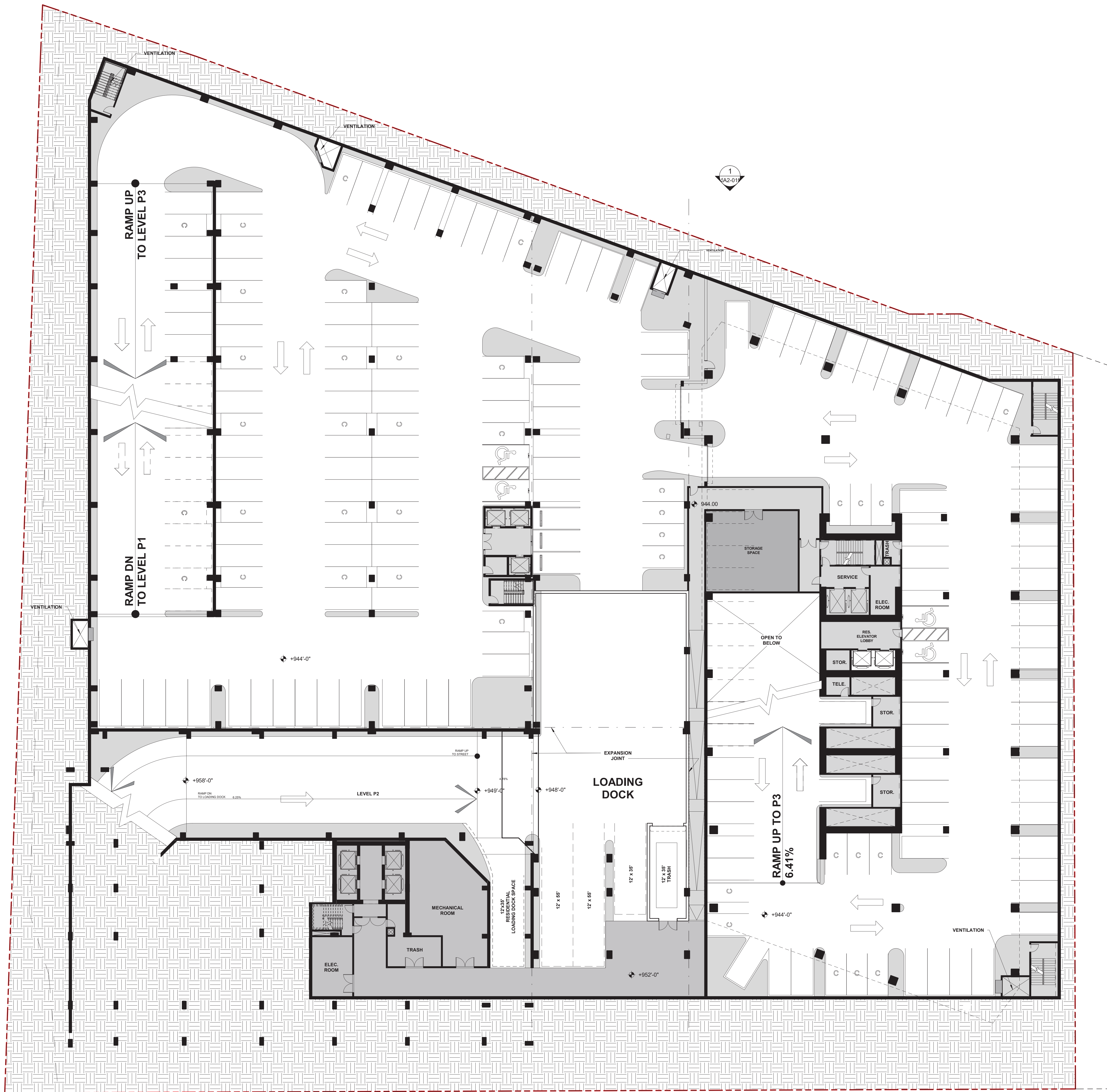
SITE PLAN
3354-56 PEACHTREE MIXED USE DEVELOPMENT

DATE
JOB NO. **217078.00**
SHEET NO.
A0-00

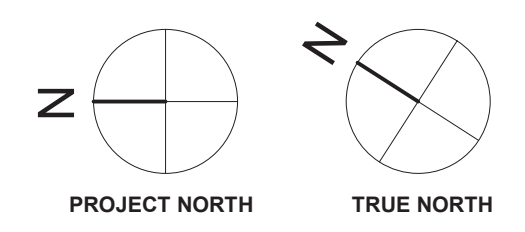
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PERMISSION OF THE ARCHITECT.



NOT ISSUED FOR CONSTRUCTION



1 SERVICE LEVEL FLOOR PLAN
1/16" = 1'-0"



Smallwood, Reynolds, Stewart & Associates, Inc. Architects

One Piedmont Center, Suite 303 3565 Piedmont Road Atlanta, Georgia 30305

LEVEL P2 - SERVICE FLOOR PLAN

3354-56 PEACHTREE MIXED USE DEVELOPMENT

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REV. NO.	DATE	REMARKS
09/30/14		SAP SUBMITTAL
12/02/14		SAP RESUBMITTAL
02/18/15		SAP RESUBMITTAL
04/06/19		SAP RESUBMITTAL

JOB NO. 217078.00

SHEET NO. AP1-03

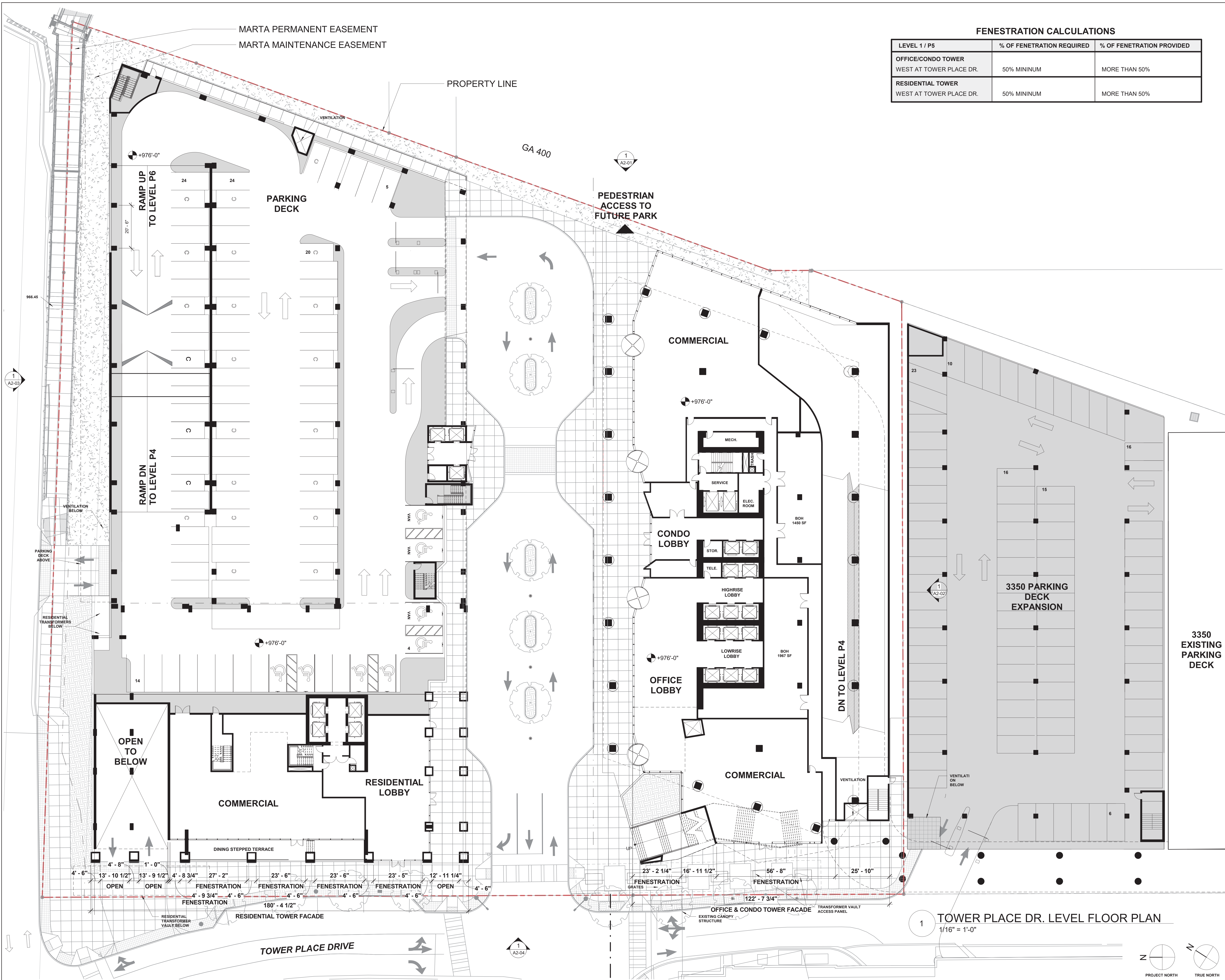
NOT ISSUED FOR CONSTRUCTION

REVISIONS / PRINTED

REGENT PARTNERS

BOUC NATIONAL DEVELOPMENT COMPANY

TIER REIT



FENESTRATION CALCULATIONS

LEVEL 1 / P5	% OF FENESTRATION REQUIRED	% OF FENESTRATION PROVIDED
OFFICE/CONDO TOWER		
WEST AT TOWER PLACE DR.	50% MINIMUM	MORE THAN 50%
RESIDENTIAL TOWER		
WEST AT TOWER PLACE DR.	50% MINIMUM	MORE THAN 50%

1 TOWER PLACE DR. LEVEL FLOOR PLAN
1/16" = 1'-0"

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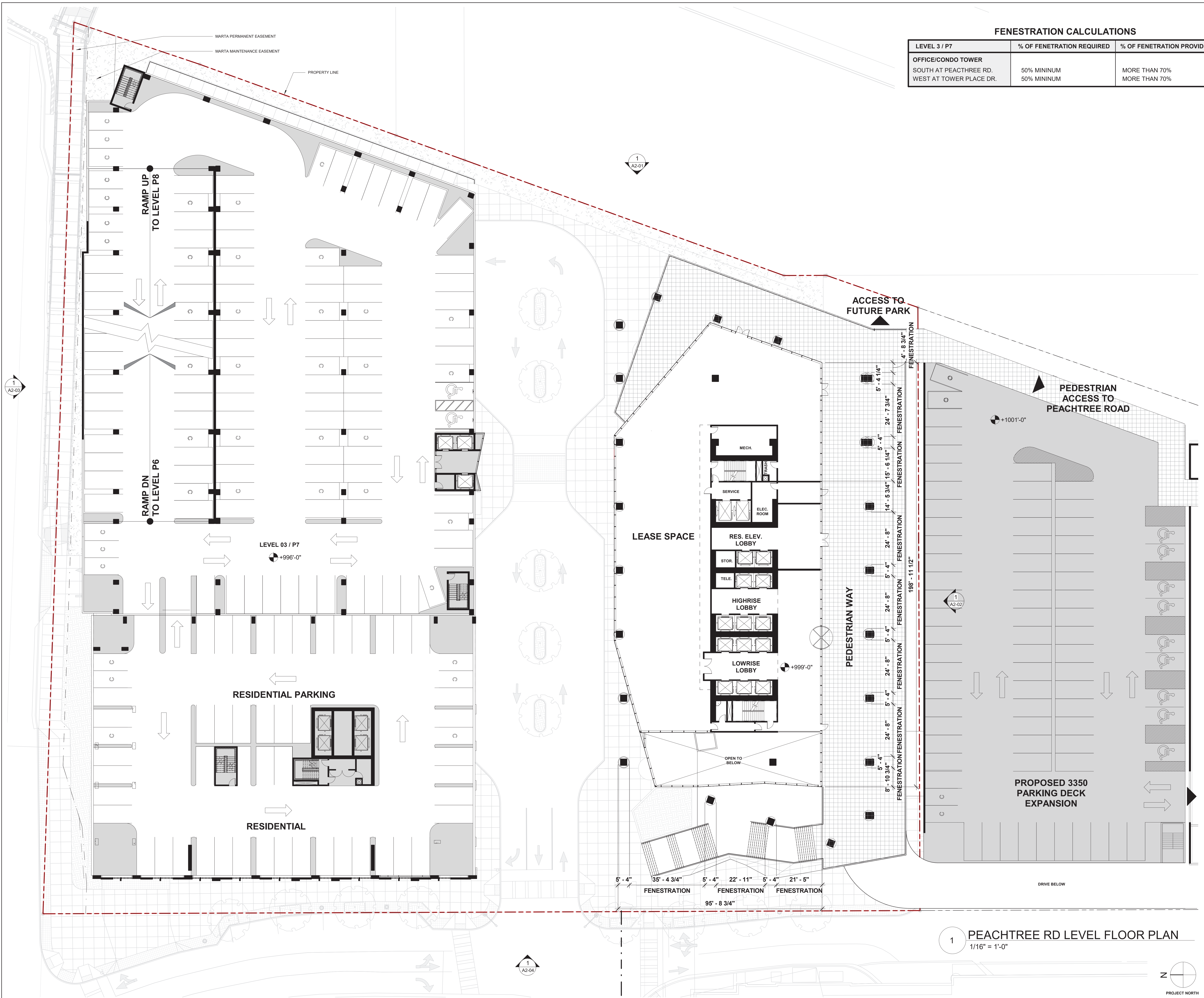
REV. NO.	DATE	REMARKS
09/30/14	SAP SUBMITTAL	
12/02/14	SAP RESUBMITTAL	
02/18/15	SAP RESUBMITTAL	
04/06/15	SAP RESUBMITTAL	

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LEVEL 1/P5 - LOBBY LEVEL FLOOR PLAN
3354-56 PEACHTREE MIXED USE DEVELOPMENT

DATE: _____
 JOB NO: **217078.00**
 SHEET NO: **A1-01A**

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FENESTRATION CALCULATIONS		
LEVEL 3 / P7	% OF FENESTRATION REQUIRED	% OF FENESTRATION PROVIDED
OFFICE/CONDO TOWER	50% MINIMUM	MORE THAN 70%
SOUTH AT PEACHTREE RD.	50% MINIMUM	MORE THAN 70%
WEST AT TOWER PLACE DR.	50% MINIMUM	MORE THAN 70%

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REGENT PARTNERS

BCDC REGIONAL COMMUNITY DEVELOPMENT CORPORATION

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LEVEL 3/P7 - PEACHTREE RD FLOOR PLAN

3354-56 PEACHTREE MIXED USE DEVELOPMENT

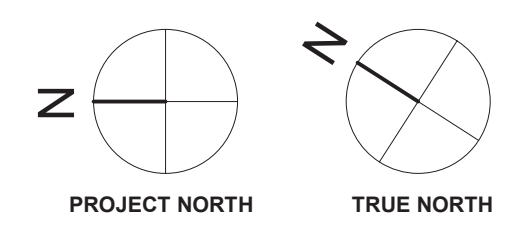
DATE

JOB NO. 217078.00

SHEET NO. A1-07A

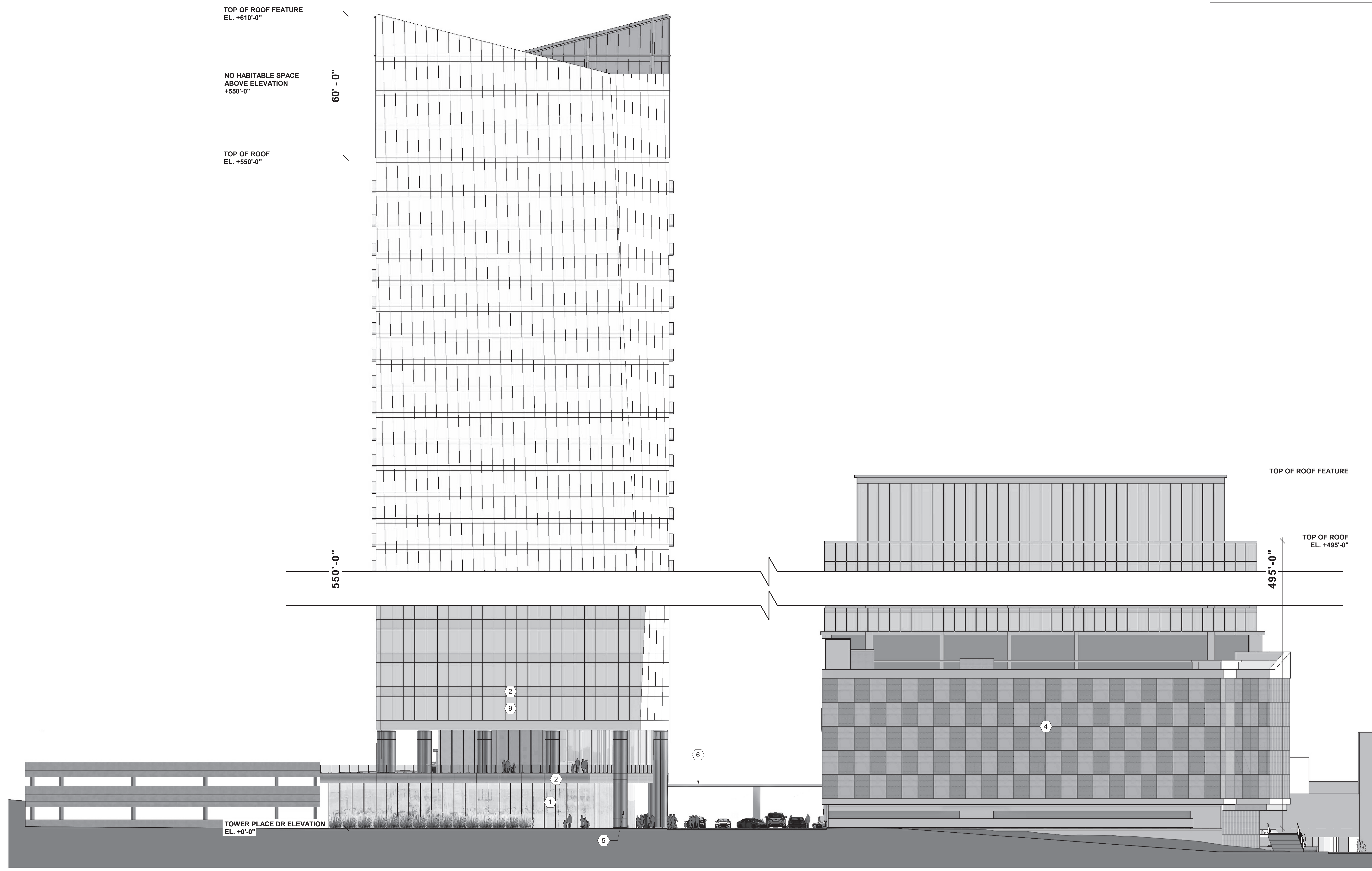
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1 PEACHTREE RD LEVEL FLOOR PLAN
1/16" = 1'-0"



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09/30/14		SAP SUBMITTAL
12/02/14		SAP RESUBMITTAL
02/18/15		SAP RESUBMITTAL
04/06/15		SAP RESUBMITTAL

- DRAWING NOTES**
- 1 ULTRA-CLEAR, LOW-E VISION GLAZING
 - 2 SPANDREL GLAZING
 - 3 OPAQUE SPANDREL MATERIAL
 - 4 DECORATIVE PARKING DECK FACADE
 - 5 OPAQUE FACADE
 - 6 CANOPY AT PEDESTRIAN CONNECTION AT PARKING DECK
 - 7 PARKING GARAGE ENTRANCE/EXIT
 - 8 STAIRS FOR PEDESTRIAN WAY CONNECTION TO PEACHTREE ROAD
 - 9 CLEAR, LOW-E VISION GLAZING
- ELEVATION 0'-0" = 976'-0"



1 EAST ELEVATION
1/16" = 1'-0"

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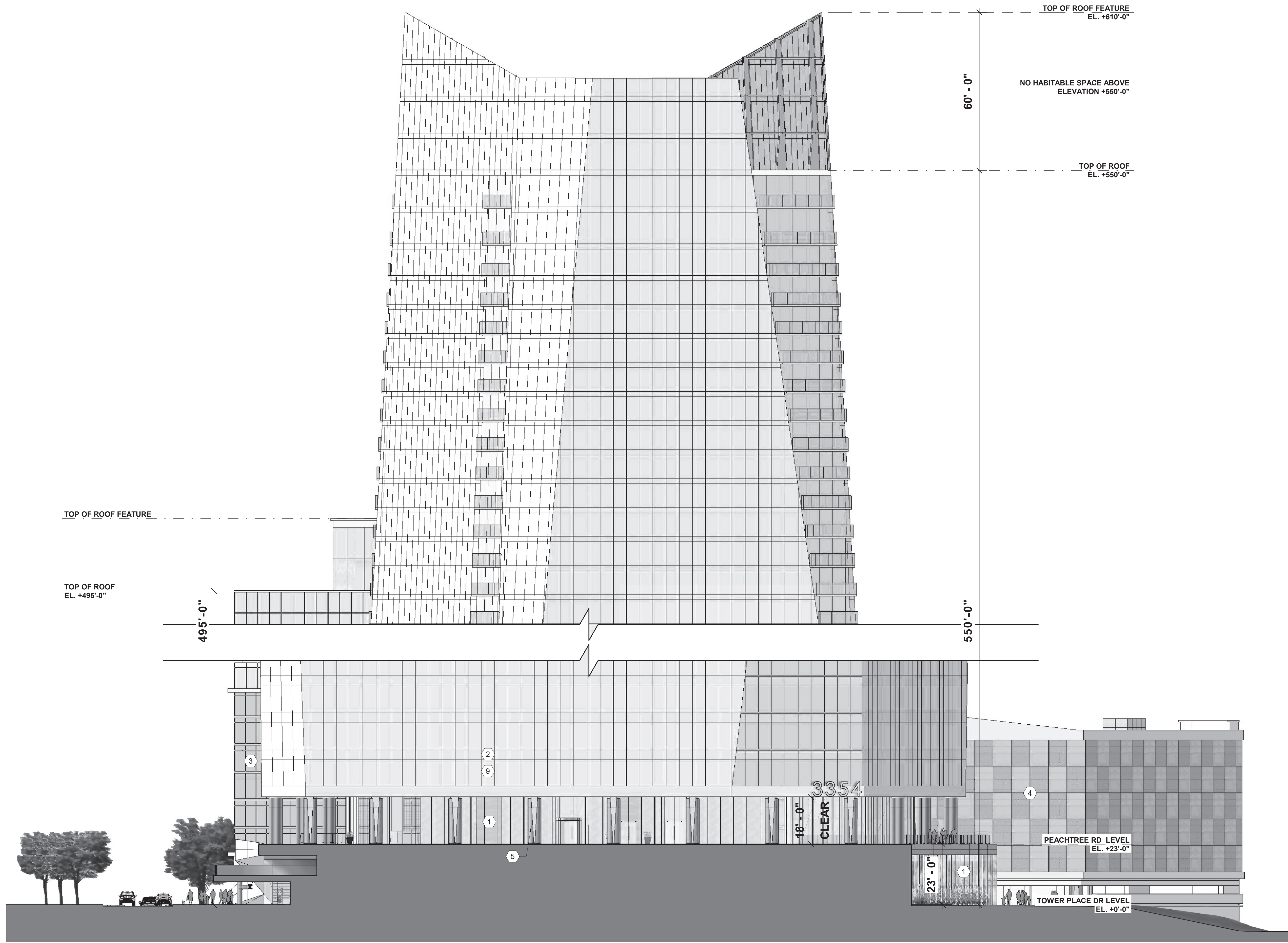


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EAST ELEVATION
3354-56 PEACHTREE MIXED USE DEVELOPMENT

DATE	
JOB NO.	217078.00
SHEET NO.	A2-01

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DRAWING NOTES

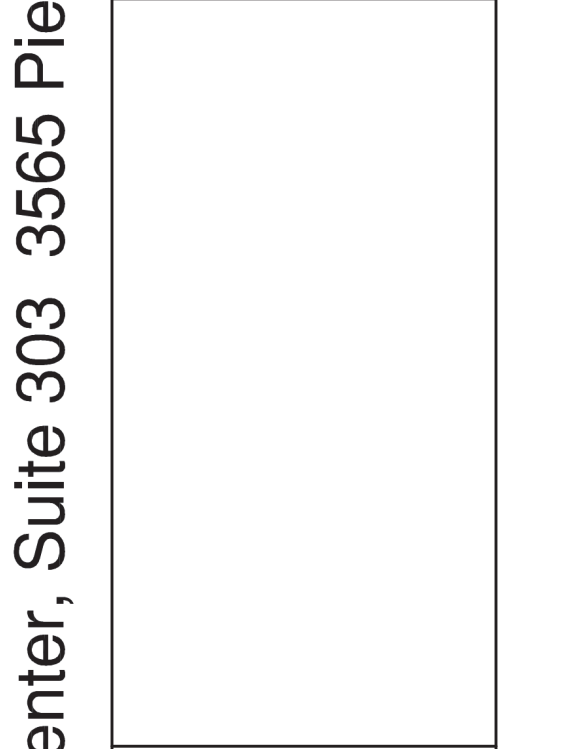
- 1 ULTRA-CLEAR, LOW-E VISION GLAZING
- 2 SPANDREL GLAZING
- 3 OPAQUE SPANDREL MATERIAL
- 4 DECORATIVE PARKING DECK FACADE
- 5 OPAQUE FACADE
- 6 CANOPY AT PEDESTRIAN CONNECTION AT PARKING DECK
- 7 PARKING GARAGE ENTRANCE/EXIT
- 8 STAIRS FOR PEDESTRIAN WAY CONNECTION TO PEACHTREE ROAD
- 9 CLEAR, LOW-E VISION GLAZING

ELEVATION 0'-0" = 976'-0"

1 SOUTH ELEVATION
1/16" = 1'-0"

REVISIONS / PRINTED		
REV. NO.	DATE	REMARKS
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02/18/15	SAP RESUBMITTAL	
04/06/19	SAP RESUBMITTAL	

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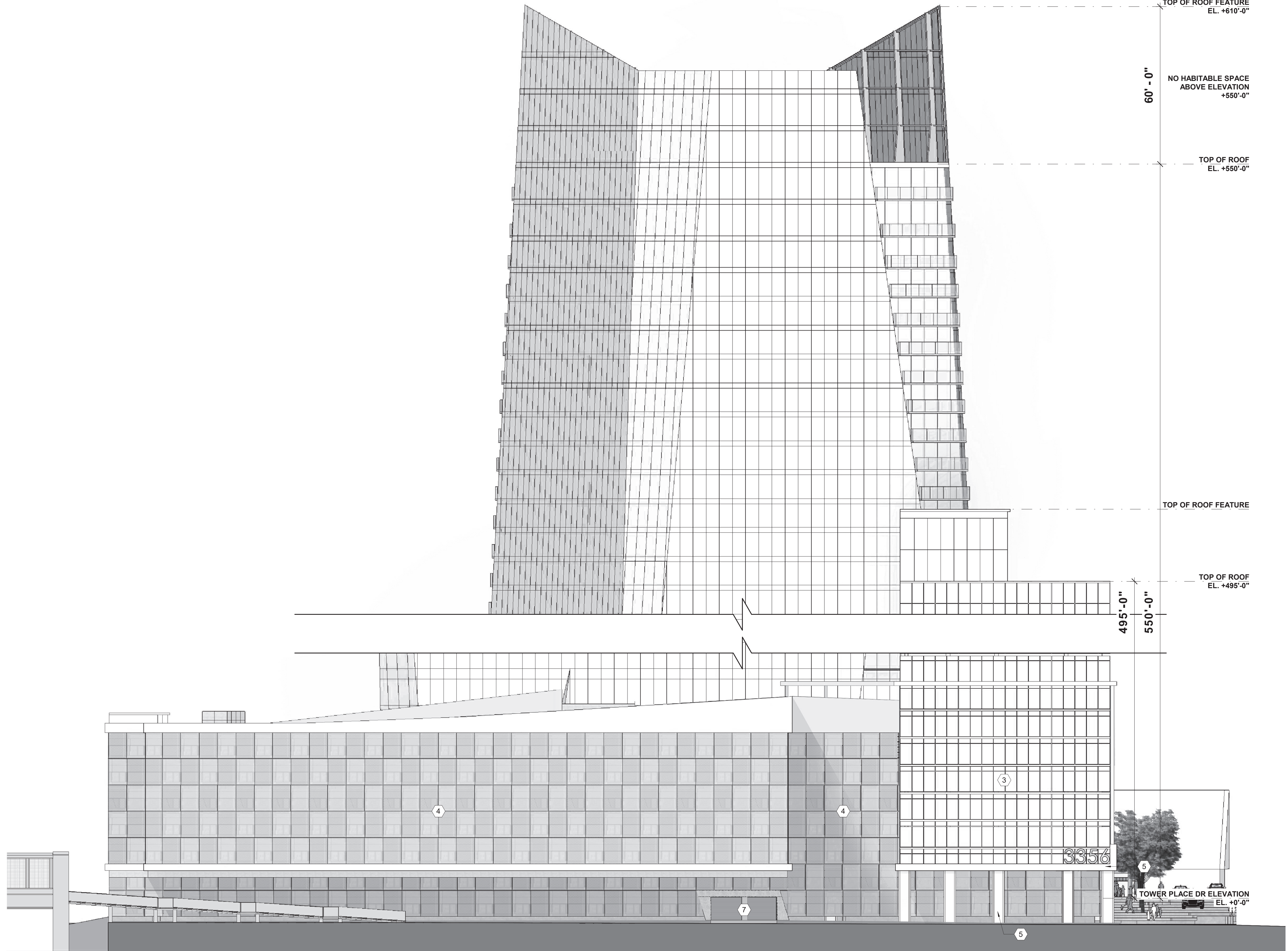


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SOUTH ELEVATION
3354-56 PEACHTREE MIXED USE DEVELOPMENT

DATE: _____
JOB NO. **217078.00**
SHEET NO. **A2-02**

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DRAWING NOTES

- 1 ULTRA-CLEAR, LOW-E VISION GLAZING
- 2 SPANDREL GLAZING
- 3 OPAQUE SPANDREL MATERIAL
- 4 DECORATIVE PARKING DECK FACADE
- 5 OPAQUE FACADE
- 6 CANOPY AT PEDESTRIAN CONNECTION AT PARKING DECK
- 7 PARKING GARAGE ENTRANCE/EXIT
- 8 STAIRS FOR PEDESTRIAN WAY CONNECTION TO PEACHTREE ROAD
- 9 CLEAR, LOW-E VISION GLAZING

ELEVATION 0'-0" = 976'-0"

TOP OF ROOF FEATURE
EL. +610'-0"

60' - 0"
NO HABITABLE SPACE
ABOVE ELEVATION
+550'-0"

TOP OF ROOF
EL. +550'-0"

TOP OF ROOF FEATURE

TOP OF ROOF
EL. +495'-0"

495'-0"
550'-0"

TOWER PLACE DR ELEVATION
EL. +0'-0"

1 NORTH ELEVATION
1/16" = 1'-0"

REV. NO.	DATE	REMARKS
09/30/14		SAP SUBMITTAL
12/02/14		SAP RESUBMITTAL
02/18/15		SAP RESUBMITTAL
04/06/15		SAP RESUBMITTAL

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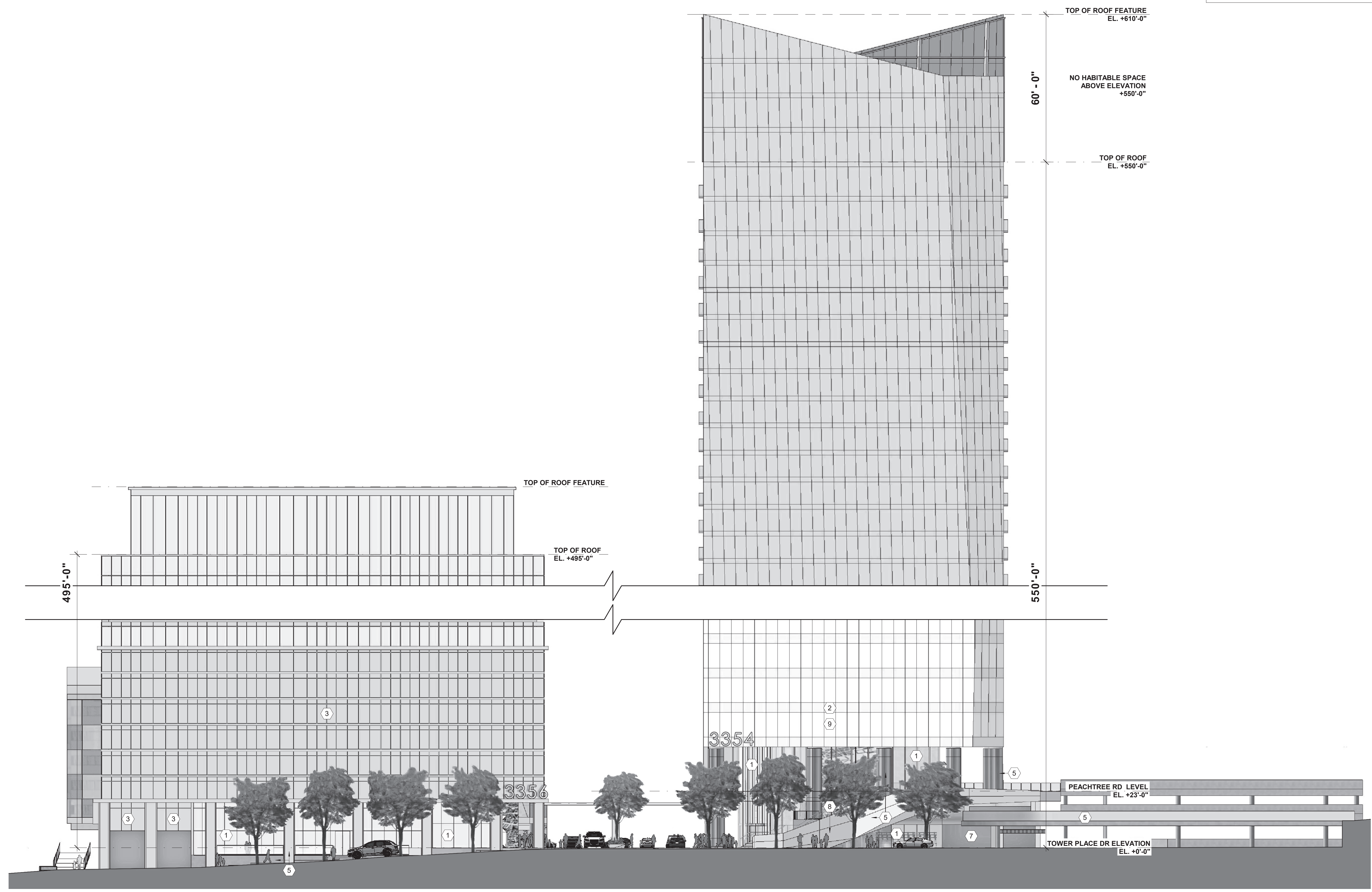
NORTH ELEVATION
3354-56 PEACHTREE MIXED USE DEVELOPMENT

DATE	
JOB NO.	217078.00
SHEET NO.	A2-03

NOT ISSUED FOR CONSTRUCTION

REV. NO.	DATE	REMARKS
09/30/14		SAP SUBMITTAL
12/02/14		SAP RESUBMITTAL
02/18/15		SAP RESUBMITTAL
04/06/15		SAP RESUBMITTAL

- DRAWING NOTES**
1. ULTRA-CLEAR, LOW-E VISION GLAZING
 2. SPANDREL GLAZING
 3. OPAQUE SPANDREL MATERIAL
 4. DECORATIVE PARKING DECK FACADE
 5. OPAQUE FACADE
 6. CANOPY AT PEDESTRIAN CONNECTION AT PARKING DECK
 7. PARKING GARAGE ENTRANCE/EXIT
 8. STAIRS FOR PEDESTRIAN WAY CONNECTION TO PEACHTREE ROAD
 9. CLEAR, LOW-E VISION GLAZING
- ELEVATION 0'-0" = 976'-0"



1 WEST ELEVATION
1/16" = 1'-0"

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WEST ELEVATION
 3354-56 PEACHTREE MIXED USE DEVELOPMENT

DATE	
JOB NO.	217078.00
SHEET NO.	A2-04

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