

ROBERT M. CAIN
A R C H I T E C T

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April 10, 2019

City of Atlanta

Office of Zoning & Development
55 Trinity Avenue Suite 3350
Atlanta, GA 30303

**Cover Letter for Special Administrative Permit for:
321 Pharr Rd, Atlanta GA 30305**

To Whom It May Concern,

We are submitting an Application for a Special Administrative Permit for the property located at 321 Pharr Rd to include the following scope of work:

- Demolish existing structurally deteriorated exterior metal stair & landings serving the existing 2-story building and replace with a new metal stair and landings.
- Remove the (2) existing fabric canopies on the second floor and add a clear canopy above stair and 2nd floor entry.
- Remove existing wood windows and doors and replace with new black anodized aluminum frame windows and doors using existing opening sizes.
- Eliminate 6 existing parking spaces located between the building and the main street and add exterior dining space with surrounding concrete planters for a first floor restaurant.

Note: This project involves no new buildings, additions or alterations to the existing site plan unless mentioned otherwise above.

We appreciate your consideration in this matter.

Sincerely,
Carmen P. Stan, in representation of the Owner



APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)

For SPI, Beltline, LW, MR, MRC & NC Zoning Districts

City of Atlanta, Office of Zoning and Development (404-330-6145)

File No.: _____

APPLICANT (name) Carmen P. Stan

ADDRESS 675 Seminole Ave Suite 312, Atlanta GA 30307

PHONE NO. 404.892.8643 EMAIL carmen@robertcain.com

PROPERTY LANDOWNER Alan Dobrin w/ Meltzer Group LLC

ADDRESS 106 Powers Ferry Road Marietta GA 30067

PHONE NO. 770.367.8503 EMAIL alan@butlertire.com

ADDRESS OF PROPERTY 321 Pharr Rd Atlanta GA 30305

Land District 60 Land Lot 17 Council District 7 NPU B

Is property within the BeltLine Overlay District? Yes No Zoning Classification SPI-9 SA1

Is Inclusionary Zoning applicable to this project? Yes No (See additional requirements below)



Submittal Checklist (See detailed checklist on page 2):

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.
- Site Plan** (released for construction and sealed) **and Building Elevations:**
 - a. **Initial Submission: Four (4)** Site plans & **Two (2)** Elevations; with two (2) more copies if DRI or NPU review is required.
 - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form.
- Notice to Applicant:** Submit attached form with signature and date.
- Development Controls Specification Form**

Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250. Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000. Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date _____ Signature of Applicant _____

Additional Submittal Requirements (as applicable):

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Certification: <https://www.atlantaga.gov/home/showdocument?id=33627>
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Pre-application conference with Zoning and Development Staff is recommended prior to SAP submittal. To arrange such a meeting contact Facia Brown at 404-330-6636 or fbrown@atlantaga.gov. **INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE** for the required 21-day NPU review period as detailed below. Submit (1) one application and (3) three sets of drawings, staff will make copies of the received SAP for you.
 - Mail a copy of the **submitted SAP application & drawings stamped received by the Office of Zoning and Development** to the NPU.
 - Submit a copy of U.S. Postal Service Certificate of Mailing and notarized Affidavit of NPU Notification as soon as possible to complete the application submission and begin the SAP review period.
- **Development Review Committee (DRC)*:** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review.
- **Development of Regional Impact (DRI) Study:** Developments either over 500,000 s.f. or having greater than 600 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
 - Initial submission: DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is REQUIRED for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: www.atlantawatershed.org/greeninfrastructure

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was **approved** or **denied** on _____

See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.

Signed for Director, Office of Zoning & Development

Staff Reviewer - Print Name



The following checklist is designed to assist those in preparing required materials for SPI, Beltline Overlay, NC, LW, MRC, and MR districts. **Items omitted will delay applicant's review process.** The following items are required as part of a complete application for a Special Administrative Permit. **NPU Notification and DRC review, as applicable, are required as a part of a completed SAP application.** Please note: * FINAL APPROVED SAP PLANS ARE REQUIRED WITH THE PERMIT APPLICATION SUBMITTAL TO THE OFFICE OF BUILDINGS.

- ___ 1. **SAP Application Form and Property Landowner Authorization Form:** completed with notarized signatures.
- ___ 2. **Notice to Applicant Form:** with signature and date.
- ___ 3. **Project Summary:** Provide cover letter clearly describing all new construction, alterations, repairs or other changes to the exterior appearance of existing structures or site. **Any administrative variations ARE REQUIRED to be accompanied by a written justification for each variation requested.**
- ___ 4. **Property Survey:** Two (2) copies of survey (for new single-family and duplex construction, show existing footprints of principal structures on adjoining lots fronting the same street).
- ___ 5. **Site Plan** (drawn to scale, released and sealed for construction) of proposed improvements showing items listed below*. **Initial Submission:** Four (4) copies for initial staff review. If DRI or NPU review is required: one (1) extra copy per review. **Final Submission (after staff review): Six (6) copies.**
 - a) Date, north arrow, and graphic scale.
 - b) Adjacent streets, with street names, property lines and dimensions, and easements.
 - c) Existing conditions to remain: identify all overhead utility poles, transformers, above ground storm water detention areas and inlets.
 - d) Proposed new installations: Identify the number, type and location of new street lights, transformers, AC units and other similar mechanical/accessory equipment at or above grade. Identify such items in the public right-of-way which final approval by Department of Public Works or GDOT is required.
 - e) Specify location and widths for all Sidewalks (street furniture and clear zones) and Supplemental Zones.
 - f) Ground floor layout plan with building and tenant entrances also shown
 - g) Street-front ground floor façade fenestration – vertical/horizontal window dimensions and % of façade length
 - h) Outdoor dining – seating plan, dimensions, and % of business establishment floor area
 - i) Height of structures (including fences/walls)
 - j) Parking, driveway and curb cut layout and dimensions (auto, truck loading, & bicycle/moped)
 - k) Location of parking deck light fixtures. Also indicate amount of foot-candles, and type of light fixture
 - l) Landscape plan: Planting locations including street trees (with tree species and calipers indicated), parking lot and other on-site landscaped areas (with the dimensions and percentage of lot calculated).
 - m) Provide Developmental Control Specification Form (pages 6-8) information on the site plan.
 - Zoning Classification, Net Lot Area & Gross Land Area, Floor Area Ratio (FAR), square footage of structures & individual uses, etc.
- ___ 6. **Rooftop plan** when counted towards open space requirements.
- ___ 7. **Elevations of building facades** Two (2) copies for initial staff review. **Final Submission: Three (3) copies.**
- ___ 8. **Section drawing(s)** as needed showing required sidewalks, supplemental zones (with retaining walls), and building façade & finished floor-level dimensioned within 5 feet above the adjacent sidewalk-level.
- ___ 9. **DRI conditions of approval, rezoning legislation, variance or special exception letters** printed on site plan.
- ___ 10. **Transportation Management Plan/Association Membership (where applicable)** required based on the zoning district. See specific zoning regulations for confirmation.
- ___ 11. **Beltline Overlay District, NC-2, NC-6, NC-10, NC-11, NC-12, and NC-14** properties:
 - Mail a copy of the **submitted SAP application & drawings stamped received by the Office of Zoning and Development** to the NPU contact person.
 - Submit a copy of **U.S. Postal Service Certificate of Mailing** and **Notarized Affidavit of NPU Notification** (page 5) as soon as possible to complete the application submission and begin the SAP review period.
- ___ 12. **Photographs (buildings/site):** Show existing conditions for alterations to existing building facades and/or site modifications.
- ___ 13. **Shared Off-site Parking:** Requests for approval of off-site parking submit materials on Shared Off-site Parking checklist.
- ___ 14. **Other information** necessary for the SAP as requested by staff.



**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
DEVELOPMENT/DESIGN REVIEW COMMITTEES (DRC)**

****CHECK FOR APPLICABILITY** Beltline Overlay and Special Public Interest (SPI) Districts**

Development / Design Review Committees (DRC) have been established as an advisory group for the purpose of providing to the Director of the Office of Zoning and Development formal recommendations/comments on Special Administrative Permit (SAP) applications within the Beltline Overlay and particular SPI zoning districts. Applicants are required to make a presentation of their project to the applicable DRC committee. DRC review is required as part of a completed SAP application.

Each DRC shall consist of committee members representing the corresponding district stakeholders including: property owner(s), business owner(s) or resident(s), and applicable neighborhood organization(s), among others.

The DRC convenes monthly (or as needed) to comment on SAP applications within a particular district. Each DRC shall provide recommendations to the Office of Zoning and Development Staff and the applicant within 7 business days, unless the applicant is requested to return to the applicable DRC and/or present to respective neighborhood organization(s), or NPU.

DRC Committees (established by City Council Resolution)

- SPI-1 Downtown (2007)
- SPI-9 Buckhead Village (2010)
- SPI-12 Buckhead/Lenox Stations (2012)
- SPI-15 Lindbergh (2001)
- SPI-16 Midtown (2001)
- SPI-17 Piedmont Avenue (2001)
- Beltline Overlay (2015)

Meeting Dates and Locations

Downtown SPI-1

Meetings held the 4th Thursday morning monthly
Central Atlanta Progress, 84 Walton Street NW, Suite 500
Contact Audrey Leous: ALeous@atlantadowntown.com
(404) 658-5911

Midtown SPI-16 & Piedmont Avenue SPI-17

Meetings held the 2nd Tuesday evening monthly
Midtown Alliance, 999 Peachtree Street NE, Suite 730
Contact Ginny Kennedy: Ginny@midtownalliance.org
(404) 892-4782

Buckhead Village SPI-9 & Buckhead/Lenox SPI-12

Meeting held 1st Wednesday afternoon monthly
BATMA, 3340 Peachtree Road NE
Tower Place Bld. 100, Suite 1515
Contact Denise Starling: Denise@batma.org
(404) 842-2680

Beltline Overlay

Meeting held the 3rd Wednesday evening monthly
Atlanta Beltline Inc.
100 Peachtree Street NW, Suite 2300
Contact Lynnette Reid: LReid@atlbeltline.org
(404) 477-3551

Lindbergh SPI-15: Meetings coordinated by City of Atlanta Zoning and Development Staff: (404) 330-6145.

Application Submittal and Review Process

- 1) Pre-application meeting with Office of Zoning and Development staff. To arrange such a meeting contact Facia Brown at 404-330-6636 or flbrown@atlantaga.gov.
- 2) Notify the applicable DRC contact (as listed above) to arrange placement on the next scheduled DRC meeting agenda.

DRC Submittal Requirements

- 1) Written summary of proposed scope of work (include applicable project information such as total square footage, # and breakout of residential units, and square footage of each commercial use, building height, parking and loading provided, etc.).
- 2) Identification of all administrative variations requested and written justification for each requested.
- 3) PDF Digital drawings (to-scale) of site plans and building elevations as applicable to the scope of work.
- 4) Photographs of the existing property.
- 5) Contact DRC representative to e-mail project information (prior to meeting) and confirm DRC meeting date and time.
- 6) At the DRC meeting:
 - a. Provide hardcopies of cover letter and drawings (in 11"x17" size) for distribution to each committee member.
 - b. Provide drawings on boards for project presentation to committee members or digital PowerPoint presentation (coordinate with DRC representative on the latter).

Committee Review Responsibilities

- 1) Make recommendations on project concerning zoning requirements and administrative variations requested.
- 2) Make other design recommendations for consideration concerning an application. Note: these other recommendations are not code requirements.



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

*Developmental Controls forms are required to be completed by the applicant, and all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

Definitions and Methods of Calculation						
<ul style="list-style-type: none"> Net Lot Area (NLA) = length of property line X width of property line GLA for corner lots = (NLA) + [(street "A" right-of-way width ÷2) X (street "A" length of property line)] + [(street "B" right-of-way width ÷2) X (street "B" length of property line)] + [(street "A" right-of-way width ÷2) X (street "B" right-of-way width ÷2)] GLA (with only one front yard adjacent to street) = (NLA) + [(street right-of-way width ÷2) X (length of front property line)] GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width. GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts. Building Lot Coverage provided = (net lot area minus area of building footprint) ÷ (net lot area) 						
Lot Size (in square footage)						
Gross Land Area (GLA)	22,030.6 square feet					
Net Lot Area (NLA)	18,532 square feet					
Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input type="checkbox"/> GLA, or <input type="checkbox"/> NLA						
	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage		
Base Allowed			2.696	59,392.88 square feet		
Base Provided			0.261	5,752 square feet		
Bonus Allowed			NA	NA		
Bonus Provided			NA	NA		
Bonus FAR Program (check bonus utilized if applicable)						
Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>		
Residential Units			Total Provided: _____			
Number of Units Provided (without bonus)						
Number of Bonus Units Provided (without workforce housing)						
Number of Bonus Workforce Housing Units Provided (20% required)						
Total Number of Units per Acre						
Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)						
	Percentage (%)		Square Footage			
Max. Permitted						
Provided						
Fenestration (% of each street-fronting facade calculated separately, per district regulations)						
	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)		
	Local Street	Arterial/Collector	Beltline Corridor	Local Street	Arterial/Collector	Beltline Corridor
Min. Required					65%	
Provided (specify for each street)					75% on Pharr Rd	



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

Residential Open Space Requirements (refer to Chapter 28 for clarification)

Definitions and Methods of Calculation

- **LUI** = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations)
- **TOSR** are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides.
 - TOSR required = (LUI table) X (GLA).
 - TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces).
- **UOSR** requirements are calculated using the residential FAR (of the corresponding net lot or GLA lot sized used to calculate FAR) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations.
 - UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR).
 - If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way).

TOSR: Total Open Space Requirements for Residential Only Projects

(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)

	Ratio	Total Square Footage
Minimum Required		
Provided		

Square Footage breakout of UNCOVERED TOSR amount provided by the following:

GLA minus building square footage	
Open exterior balconies (per Section 16-28 or district regs)	
Roof area improved as recreation space	

Square Footage breakout of COVERED TOSR amount provided by the following:

Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
--	--

UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments

(These are areas not counted towards Public Space Requirements)

	Ratio	Total Square Footage
Minimum Required	No Usable Open Space Required - Property less than an acre	
Provided		

Square Footage Breakdown of UOSR amounts provided by the following:

Balconies	
Rooftop Terraces	
Landscaped Areas and Plazas	
Portions of Sidewalks on Private Property	
Portions of Landscaped Areas in Right-of-way adjacent to Property	



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications (Required)

File # _____

Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

PSR: Public Space Requirements for Non-residential & Mixed-use Developments		
<i>(These are areas not counted towards UOSR)</i>		
Public Space provided = (square footage area of exterior space) + (square footage area of interior space)		
	Percentage (%)	Total Square Footage
Minimum Required	Not required	
Provided		
Square Footage Breakdown of PSR amounts provided by the following:		
EXTERIOR (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)		
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout					
	Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
On-site Parking Spaces	Residential		Non-residential Uses		
Minimum Required			7.25 parking spaces		
Provided			Existing 40 / proposed 34		
Maximum Allowed			29 parking spaces		
Bicycle Parking Spaces	Residential		Non-residential Uses		
Minimum Required					
Provided					
On-site Loading Spaces (see applicable zoning district requirements or Section 16-028.015)					
	Residential/Hotel		Non-residential Uses (break out by use)		
Minimum Required (specify for each use)					
Provided (specify for each use)					



SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION

Notice to Applicant

File # _____

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Applicant Printed Name

Applicant Signature

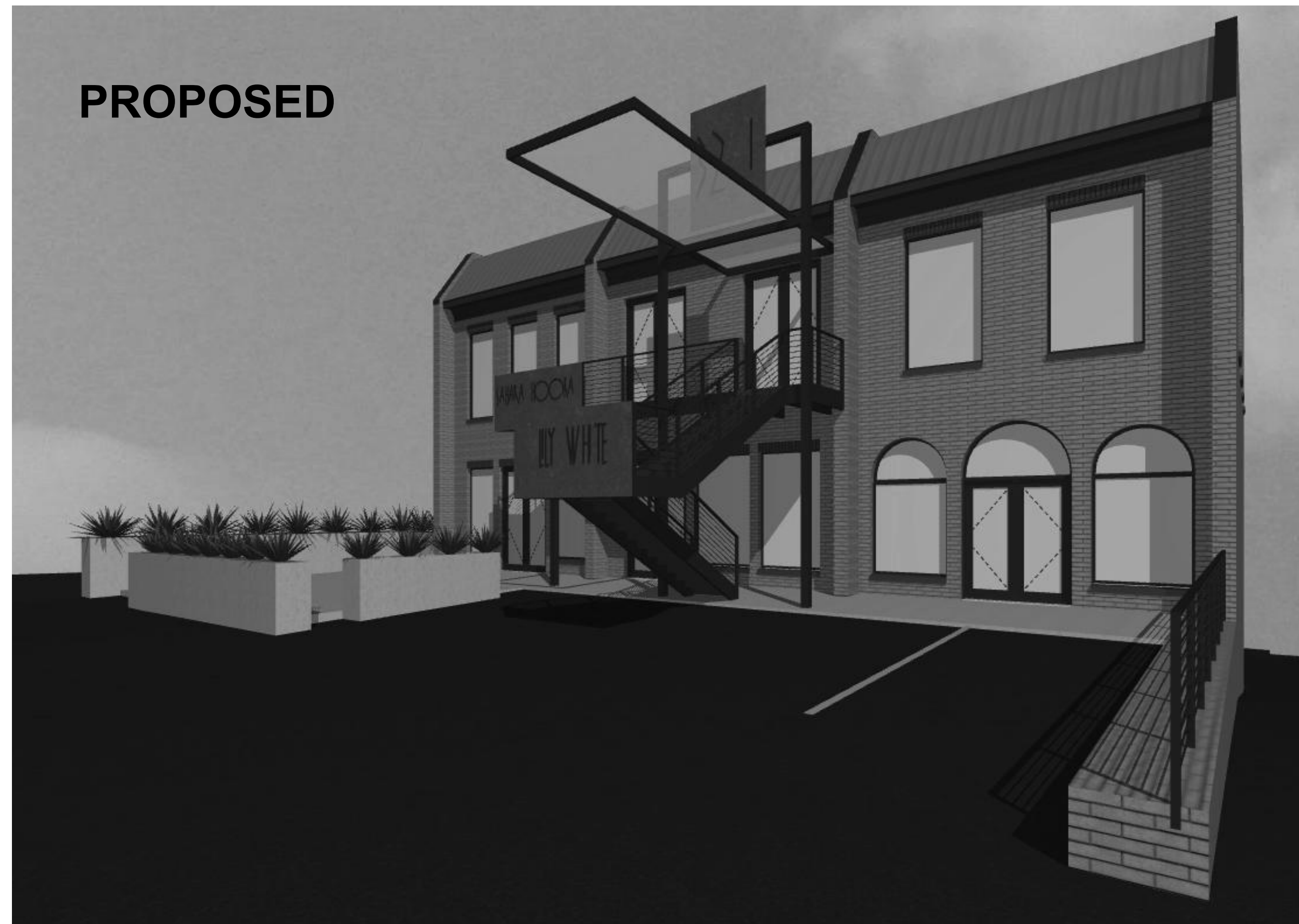
Date

EXTERIOR RENOVATION FOR 321 PHARR ROAD, GEORGIA, 30305

EXISTING



PROPOSED



SHEET INDEX	
SAP -01	COVER SHEET AND SITE PLAN
SAP -02	SURVEY
SAP -03	EXISTING AND PROPOSED NORTH ELEVATION
SAP -04	EXISTING AND PROPOSED WEST ELEVATION

OWNER
 MELTZER GROUP, LLC & M.A.T. INVESTMENTS, LLC
 A CHICAGO TITLE INSURANCE COMPANY
 106 POWERS FERRY ROAD
 MARIETTA, GEORGIA, 30067
 770-367-8503

PROJECT DESCRIPTION
 DEMOLISH EXISTING STRUCTURALLY DETERIORATED EXTERIOR METAL STAIR AND LANDING SERVING THE EXISTING 2-STORY BUILDING AND REPLACE WITH METAL STAIR AND LANDINGS.

REMOVE THE (2) EXISTING FABRIC CANOPIES ON THE SECOND FLOOR AND ADD A CLEAR CANOPY ABOVE STAIR AND SECOND FLOOR ENTRY.

REMOVE EXISTING WOOD WINDOWS AND DOORS AND REPLACE WITH NEW BLACK ANODIZED ALUMINUM FRAME WINDOWS AND DOORS USING EXISTING OPENING SIZES.

ELIMINATE 6 EXISTING PARKING SPACES LOCATED BETWEEN THE BUILDING AND THE MAIN STREET AND ADD EXTERIOR DINING SPACE WITH SURROUNDING CONCRETE PLANTERS FOR A FIRST FLOOR RESTAURANT.

NOTE: THIS PROJECT INVOLVES NO NEW BUILDINGS, ADDITIONS OR ALTERATIONS TO THE EXISTING SITE PLAN UNLESS MENTIONED OTHERWISE ABOVE.

ZONING
 CITY OF ATLANTA, SPI-9 SA1

- APPLICABLE CODES**
- NFPA 101 Life Safety Code, 2012 Edition, with Georgia Amendments (2013)
 - ADA Standards for Accessible Design, 2010 Edition, with Commentary
 - International Building Code (IBC), 2012 Edition, with Georgia Amendments (2014) (2015)(2017)(2018)
 - International Fuel Gas Code (IFGC), 2012 Edition, with Georgia Amendments (2014)
 - International Mechanical Code (IMC), 2012 Edition, with Georgia Amendments (2014)(2015)
 - International Plumbing Code (IPC), 2012 Edition, with Georgia Amendments (2014)(2015)
 - National Electrical Code, 2017 Edition
 - International Fire Code (IFC), 2012 Edition, with Georgia Amendments (2014)
 - International Energy Conservation Code, 2009 Edition, with Georgia Amendments (2011) and Amendments (2012)

SITE PLAN LEGEND

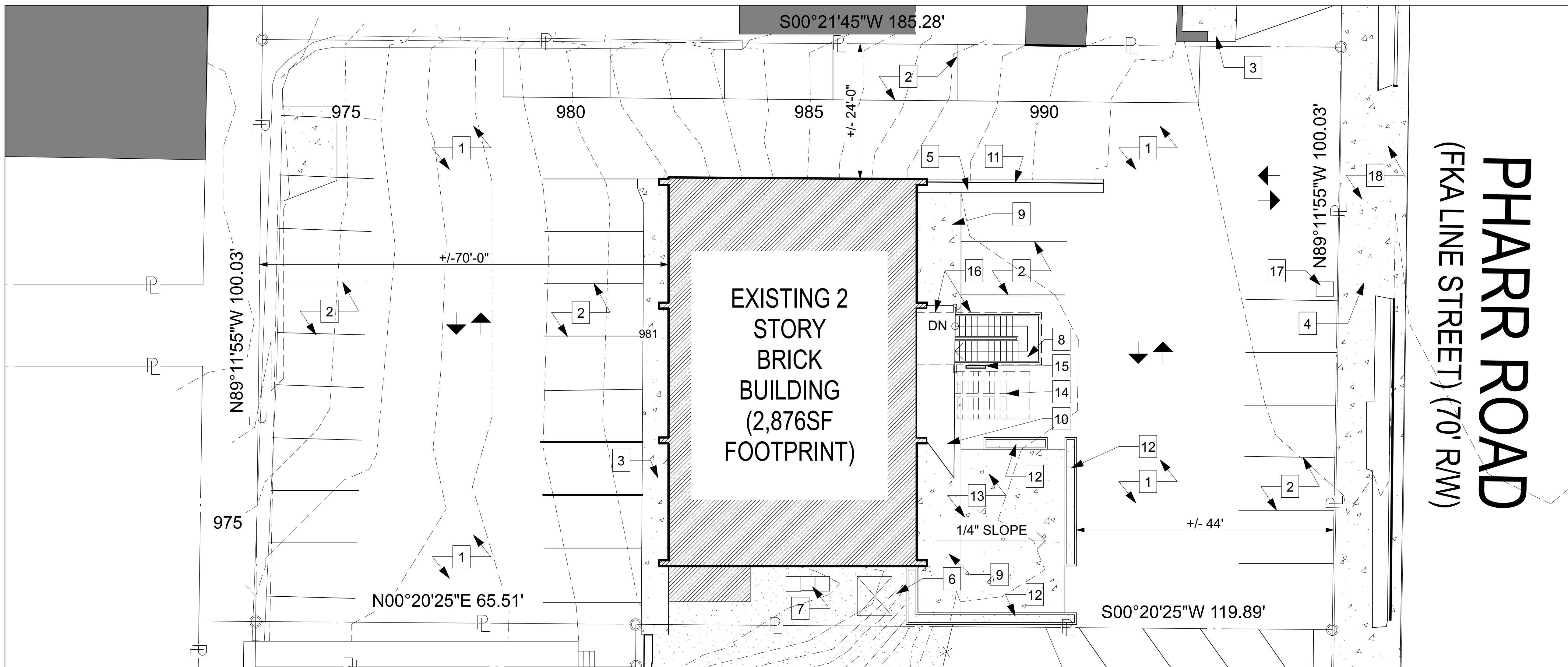
- CONTOUR LINES
- - - PROPERTY LINE
- x x x EXISTING WOOD FENCE
- [Hatched Box] PROJECT BUILDING
- [Solid Grey Box] EXISTING BUILDINGS - NOT IN CONTRACT
- [Dotted Box] CONCRETE WALKWAY
- [Stippled Box] LANDSCAPED AREA

- 1 EXISTING ASPHALT PARKING TO REMAIN
- 2 EXISTING PARKING AREA TO REMAIN
- 3 EXISTING CONCRETE WALKWAY
- 4 EXISTING SIDEWALK
- 5 EXISTING RETAINING WALL TO REMAIN
- 6 EXISTING LANDSCAPE
- 7 EXISTING AC
- 8 NEW STAIRS
- 9 REPAIR EXISTING CONCRETE WALKWAY
- 10 NEW SECOND LEVEL LANDING
- 11 NEW GUARDRAIL - TO REPLACE EXISTING
- 12 NEW CONCRETE PLANTER - MATCH EXISTING SIGN BASE CONCRETE FINISH
- 13 NEW RESTAURANT PATIO - TO REPLACE EXISTING 6 PARKING SPACES
- 14 EXISTING STAIR - TO BE REMOVED
- 15 NEW BICYCLE PARKING - 2 SPACES
- 16 NEW CANOPY
- 17 EXISTING SIGN - TO REMAIN
- 18 EXISTING DRIVEWAY - TO REMAIN

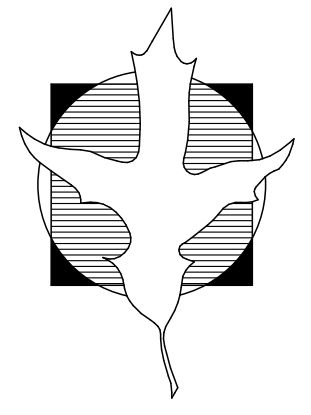
SITE NOTES

LOT SIZE:	
GROSS LAND AREA.....	22,030.6SF
NET LOT AREA.....	18,532.0SF
FLOOR AREA RATIO (FAR)/FLOOR AREA:	
BASE ALLOWED.....	59,392.88SF
BASE PROVIDED.....	5,752.00SF
FENESTRATION:	
MINIMUM REQUIRED.....	65%
PROVIDED.....	75% ON PHARR RD.
USABLE OPEN SPACE REQUIREMENTS*:	
MINIMUM REQUIRED.....	NA
PROVIDED.....	NA
PUBLIC SPACE REQUIREMENTS:	
MINIMUM REQUIRED.....	NA
PROVIDED.....	NA
PARKING AND LOADING REQUIREMENTS:	
ON-SITE PARKING SPACES	
MINIMUM REQUIRED.....	7.25
PROVIDED.....	40 SPACES
PROPOSED.....	34 SPACES
MAXIMUM ALLOWED.....	29
BICYCLE PARKING SPACE	
MINIMUM REQUIRED.....	2
PROVIDED.....	2
ON-SITE LOADING SPACES	
MINIMUM REQUIRED.....	LESS THAN 15,000SF=1
PROVIDED.....	NONE REQ

* LOT LESS THAN 1 ACRE

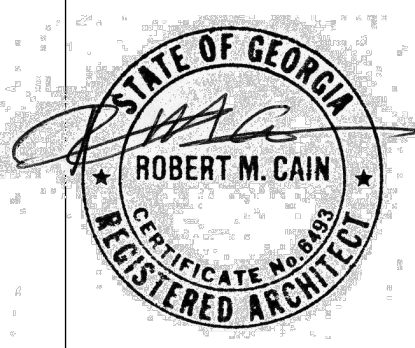


TRUE NORTH
 N
 SITE PLAN
 SCALE: 1" = 10'

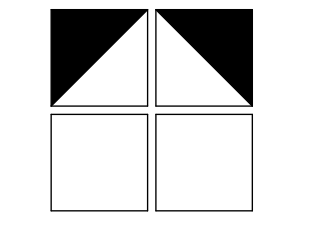


ROBERT M. CAIN
 ARCHITECT
 675 SPANGLER AVE., SUITE 202
 ATLANTA, GA 30307-3916
 (404) 892-8643
 rmcain@earthlink.net
 www.robertmcain.com

SAP - RENOVATION TO
 321 PHARR ROAD, GA, 30305

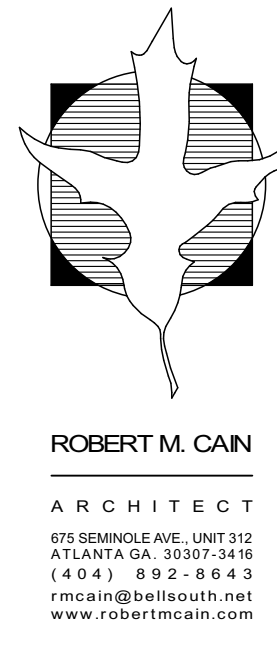


DATE
 03/19/19



COVER SHEET

SAP - 01



ROBERT M. CAIN ARCHITECT
675 BRANCOLE AVE. UNIT 102
ATLANTA, GA 30318-3416
(404) 892-6443
rca@robertmcain.com

PROPERTY DESCRIPTION

Tract 1
All that tract or parcel of land lying or being in Land Lot 60, 17th District, City of Atlanta, Fulton County, Georgia, and being more particularly described as follows:
Commencing at a 5/8 inch rebar set at the intersection of the Easterly right-of-way of North Fulton Drive (formerly known as Leas Street) (variable right-of-way) with the Southerly right-of-way of Pharr Road (formerly known as Line Street) (70' foot right-of-way), thence along said right-of-way of Pharr Road South 89 degrees 16 minutes 08 seconds East, a distance of 85.00 feet to a 1/2 inch rebar set, thence South 89 degrees 16 minutes 08 seconds East, a distance of 50.24 feet to a 1/2 inch rebar set, thence South 89 degrees 16 minutes 08 seconds East, a distance of 89.96 feet to a 1/2 inch rebar set, thence leaving said right-of-way South 00 degrees 20 minutes 25 seconds West, a distance of 119.89 feet to a 1/2 inch rebar set, thence South 89 degrees 25 minutes 29 seconds East, a distance of 7.31 feet to a 1/2 inch rebar set, said point being the True Point of Beginning, thence South 89 degrees 25 minutes 29 seconds East, a distance of 141.39 feet to a 5/8 inch rebar set on the Easterly right-of-way of Grand View Avenue (50' foot right-of-way), thence along said right-of-way South 00 degrees 08 minutes 34 seconds West, a distance of 66.10 feet to a 1/2 inch rebar set, thence South 00 degrees 42 minutes 04 seconds West, a distance of 59.11 feet to a 1-1/2 inch rebar set, thence leaving said right-of-way North 89 degrees 18 minutes 39 seconds West, a distance of 192.10 feet to a 1/2 inch rebar set on the Easterly side of a 14 foot alley, thence along said alley North 00 degrees 13 seconds East, a distance of 49.87 feet to a 1/2 inch rebar set on the Southerly side of a 10 foot alley, thence along said alley South 89 degrees 07 minutes 10 seconds East, a distance of 43.59 feet to a 1/2 inch rebar set, thence North 00 degrees 20 minutes 25 seconds East, a distance of 9.64 feet to a 1/2 inch rebar set, thence leaving said alley South 89 degrees 11 minutes 55 seconds East, a distance of 7.53 feet to a 1/2 inch rebar set, thence North 00 degrees 09 minutes 46 seconds East, a distance of 65.55 feet to a 1/2 inch rebar set, said point being the True Point of Beginning.
Said tract of land contains 0.466 Acres.

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:
**SUBSURFACE UTILITY INVESTIGATIONS, LLC
898 SWEET BRIAR TRAIL
CONVERS, GEORGIA 30094
(770) 557-4142**
SUBSURFACE UTILITY INVESTIGATIONS, LLC UTILIZED SEVERAL TECHNIQUES INCLUDING, BUT NOT LIMITED TO, ELECTROMAGNETIC, MAGNETIC LOCATION FOR FERROUS METALS, ACOUSTIC AND PASSIVE FREQUENCIES TO DESIGNATE AND MARK BURIED UTILITIES ON THE SURFACE WITH PAINT AND FLAGS COVERING THE ENTIRE AREA OF THE PROJECT.
THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

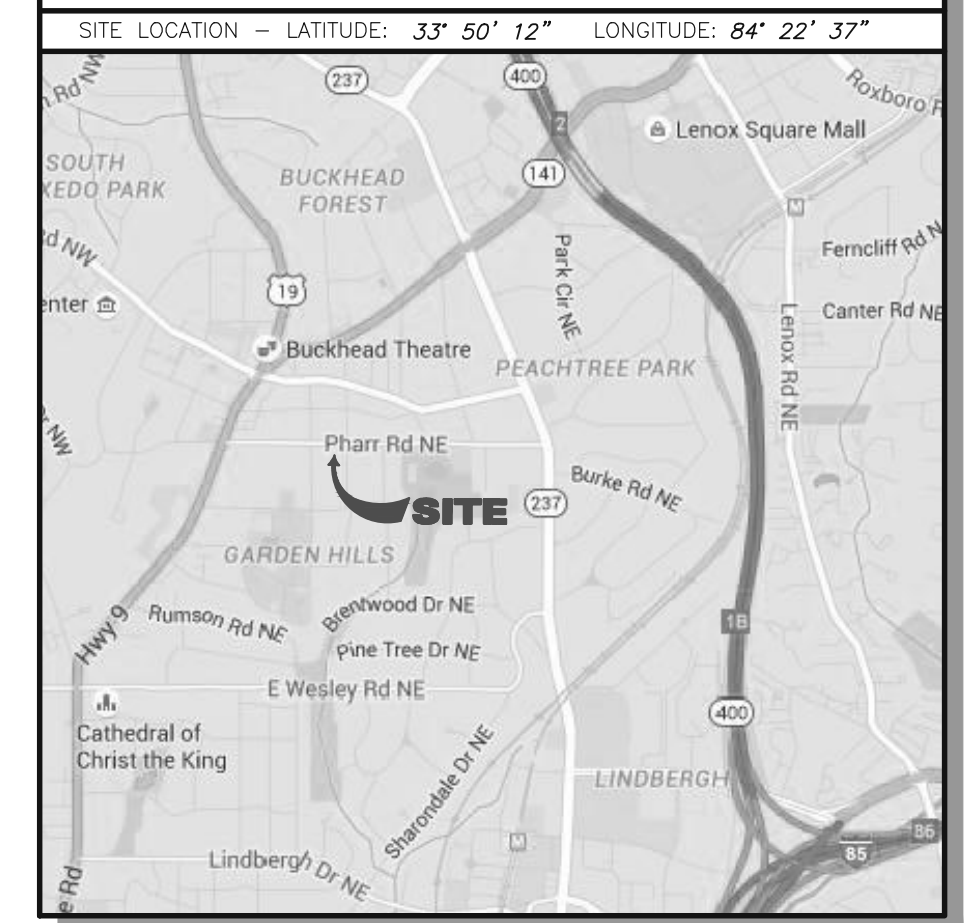
SITE PHOTOGRAPHS



TITLE EXCEPTIONS

THE FOLLOWING EXCEPTIONS ARE LISTED IN SCHEDULE B, SECTION 2, OF A COMMENT FOR TITLE INSURANCE, AS PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMENT NO. GA-19322, EFFECTIVE DATE JULY 8, 2015.
12. Easement contained in that Warranty Deed from Philip Pharr to Fulton County, a political subdivision, dated August 7, 1964, recorded December 8, 1964, in Deed Book 4338, Page 416, Fulton County, Georgia Records.
AFFECTS SITE AS PLOTTED
13. Dedication or Option to Buy Real Estate from Mrs. Berta R. Gosper and Ms. Angela Gosper Hall, Co. Executors of the Estate of Grant Gosper, also known as Dan Gosper, to Fulton County, Georgia, dated July 4, 1964, recorded August 6, 1964, in Deed Book 4339, Page 418, Fulton County, Georgia Records.
DOES NOT AFFECT SITE - OPTION TO BUY HAS EXPIRED
14. Easement contained in that certain Warranty Deed from Fulton County, a political subdivision to Philip Pharr, dated October 28, 1964, recorded December 8, 1964, in Deed Book 4338, Page 504, Fulton County, Georgia Records.
AFFECTS SITE AS PLOTTED
15. Easement from Fulton County, a political subdivision of the State of Georgia and County of Fulton and Philip Pharr, dated October 28, 1964, recorded in Deed Book 4339, Page 507, Fulton County, Georgia Records.
AFFECTS SITE AS PLOTTED
16. Easement from Philip Pharr to Georgia Power Company, dated August 23, 1974, recorded September 12, 1974, in Deed Book 6136, Page 299, Fulton County, Georgia Records.
AFFECTS TRACT 7 - BLANKET EASEMENT
17. Easement contained in that Warranty Deed from Charles S. Roberts & Company, a corporation to 321 Pharr Road, LTD, a Georgia limited liability partnership having Charles S. Roberts as General Partner, dated August 5, 1980, recorded August 6, 1980, in Deed Book 7658, Page 322, Fulton County, Georgia Records.
AFFECTS A PORTION OF TRACT 5 - LOCATION AND TYPE OF EASEMENT BENEFITING THE CITY OF ATLANTA NOT SPECIFIED IN DOCUMENT
18. Maintenance Easement from 321 Pharr Road, LTD, a Georgia limited liability partnership to Corin Real Estate Group, Inc., dated April 6, 1981, recorded April 6, 1981, in Deed Book 7871, Page 129, Fulton County, Georgia Records.
AFFECTS SITE AS PLOTTED
19. Easement contained in that Quitclaim Deed from Corin Real Estate Group, Inc., a Georgia corporation to Corin Real Estate Group, Inc., a Georgia corporation, dated April 29, 1981, recorded May 28, 1981, in Deed Book 7855, Page 326, Fulton County, Georgia Records (Southern one-half of 10' Alley on Plot Book 122, Page 1, Fulton County, Georgia Records)
NO EASEMENTS ARE LISTED IN DOCUMENT
20. Easement contained in that Quitclaim Deed from Corin Real Estate Group, Inc., a Georgia corporation to 321 Pharr Road, LTD, a Georgia limited liability partnership, dated April 29, 1981, recorded May 28, 1981, in Deed Book 7855, Page 326, Fulton County, Georgia Records (Northern one-half of 10' Alley on Plot Book 122, Page 1, Fulton County, Georgia Records)
AFFECTS TRACT 5 AS PLOTTED - WHEN THE PARCELS REFERRED IN DOCUMENT HAVE BEEN COMBINED INTO ONE PARCEL, THE PARKING EASEMENT IS SUBJECT TO TERMINATION
21. Easement from Patricia Rice to Georgia Power Company, dated October 28, 1981, recorded November 5, 1981, in Deed Book 7994, Page 392, Fulton County, Georgia Records.
AFFECTS TRACT 5 - BLANKET EASEMENT
24. Dedication or Option to Buy Real Estate to Fulton County, dated June 8, 1964, recorded August 28, 1964, in Deed Book 4288, Page 137, Fulton County, Georgia Records.
DOES NOT AFFECT SITE - DOCUMENT IS PAGE 2 OF A SECURITY DEED FOR A PROPERTY NOT LOCATED WITHIN THE LIMITS OF SURVEY
25. Dedication or Option from E.A. Baylis (Northside Medical Institute) to Fulton County, dated May 19, 1964, recorded June 11, 1964, in Deed Book 4336, Page 138, Fulton County, Georgia Records.
AFFECTS TRACTS 8 & 9 - CONSTRUCTION AND SLOPE EASEMENTS ARE BLANKET
26. Agreement by and between Myrta Caplan, and Gaten Kilburn, Jr., dated April 27, 1973, recorded May 1, 1973, in Deed Book 5870, Page 276, Fulton County, Georgia Records.
AFFECTS SITE AS PLOTTED
27. Easement contained in that Judgment and Decree, Civil Action File No. 80-0410, City of Atlanta vs. Myrta Caplan, et al., recorded December 11, 1973, in Deed Book 5896, Page 280, Fulton County, Georgia Records.
AFFECTS TRACT 1 - LOCATION AND TYPE OF EASEMENTS BENEFITING CITY OF ATLANTA NOT SPECIFIED IN DOCUMENT
28. Easement contained in that Judgment and Decree, Civil Action File No. B-9006, City of Atlanta vs. Myrta Caplan, et al., recorded December 11, 1973, in Deed Book 5896, Page 280, Fulton County, Georgia Records.
AFFECTS A PORTION OF TRACT 5 - LOCATION AND TYPE OF EASEMENTS BENEFITING CITY OF ATLANTA NOT SPECIFIED IN DOCUMENT
29. Assignment contained in that certain Quitclaim Deed from Terrence Associates, L.P., (a)/s/ Terrence Associates), a Georgia limited liability partnership and 315-321 Pharr Road, L.C., a Georgia limited liability company, dated December 6, 2006, recorded December 12, 2006, in Deed Book 44059, Page 191, Fulton County, Georgia Records.
NO EASEMENTS ARE CONTAINED IN DOCUMENT
30. Assignment contained in that certain Quitclaim Deed from Terrence Associates, L.P., (a)/s/ Terrence Associates), a Georgia limited liability partnership and 315-321 Pharr Road, L.C., a Georgia limited liability company and 305-309 Pharr Road, L.C., a Georgia limited liability company to Metzler Group, LLC, a Georgia limited liability company and M.A.T. Investments, LLC, a Georgia limited liability company, dated March 28, 2008, recorded March 27, 2008, in Deed Book 46526, Page 78, Fulton County, Georgia Records.
NO EASEMENTS ARE CONTAINED IN DOCUMENT
31. Storm Drainage easement recorded at Deed Book 7638, Page 122, Fulton County, Georgia Records.
AFFECTS A PORTION OF TRACT 5 - LOCATION AND TYPE OF EASEMENT BENEFITING CITY OF ATLANTA NOT SPECIFIED IN DOCUMENT
32. Easement contained in that Quitclaim Deed from 315-321 Pharr Road, L.C., a Georgia limited liability company and 305-309 Pharr Road, L.C., a Georgia limited liability company to Metzler Group, LLC, a Georgia limited liability company and M.A.T. Investments, LLC, a Georgia limited liability company, dated March 28, 2008, recorded March 27, 2008, in Deed Book 46526, Page 78, Fulton County, Georgia Records.
NO EASEMENTS ARE CONTAINED IN DOCUMENT

VICINITY MAP



GENERAL NOTES

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.
THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP FOR THIS AREA. THE MAP NUMBER FOR THIS AREA IS 13210224M, AND THE DATE OF SAID MAP IS SEPTEMBER 18, 2013. THIS DETERMINATION WAS MADE BY GRAPHICALLY DETERMINING THE POSITION OF THIS SITE ON SAID FIRM MAPS UNLESS OTHERWISE NOTED.
PLEASE NOTE: TREES 6-INCH DBH (DIAMETER AT BREAST HEIGHT) AND LARGER WERE LOCATED FOR THIS SURVEY.
THE DATUM FOR THIS SURVEY WAS ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEMS, AND BASED ON POSITIONAL VALUES FOR THE VERTICAL REFERENCE NETWORK DEVELOPED BY THE NATIONAL HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983 (NAD83) STATE PLANE COORDINATE SYSTEM OF GEORGIA-WEST ZONE. THE VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988. ALL DIRECTIONS OR DIMENSIONS SHOWN ARE A RECTANGULAR GROUND LEVEL PROJECTION OF THE STATE PLANE COORDINATE SYSTEM.
THE SITE IS ZONED "S9-9 SA1" (SPECIAL PUBLIC INTEREST DISTRICT - SUBAREA 1 - DOWNTOWN CORE). THERE ARE NO MINIMUM YARD SETBACKS FOR THIS DISTRICT.
PLEASE NOTE: ZONING AND SETBACKS SHOULD BE CONFIRMED AND VERIFIED BY PLANNING AND ZONING PRIOR TO DESIGN OR CONSTRUCTION ACTIVITIES.
SURVEY REFERENCES
1- ALTA/ACSM LAND TITLE SURVEY FOR MELTZER GROUP, LLC, et al., PREPARED BY CASKINS LAND SURVEYING, DATED MARCH 12, 2008.
2- CITY OF ATLANTA CADASTRAL MAP, DATED DECEMBER 9, 1986.
3- PEACHTREE VIEW SUBDIVISION, PREPARED BY W.J. HALEY ENGR., DATED APRIL 27, 1970, RECORDED IN PLAT BOOK 4, PAGE 51.
DATE: August 14, 2015

SURVEYOR CERTIFICATION

To: Metzler Group, LLC
M.A.T. Investments, LLC
Chicago Title Insurance Company Name
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6, 6a, 7a, 7b, 8, 9, 10, 11(a), and 13 of Table A thereof. The field work was completed on August 14, 2015.
Date: August 14, 2015
John T. Newman
Georgia Registered
Land Surveyor # 3324
This survey has been prepared in conformity with the Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Act O.C.G.A. 15-6-67.

N/F PROPERTY OF
**MELTZER GROUP, LLC
M.A.T. INVESTMENTS, LLC**
DEED BOOK 46526 / PAGE 71
TOTAL SITE AREA
2.165 Acres
94,295 sq ft
ZONED S9-9 SA1
(INCLUDES TRACT 9)
(EXCLUDES 10' & 14' ALLEYS)

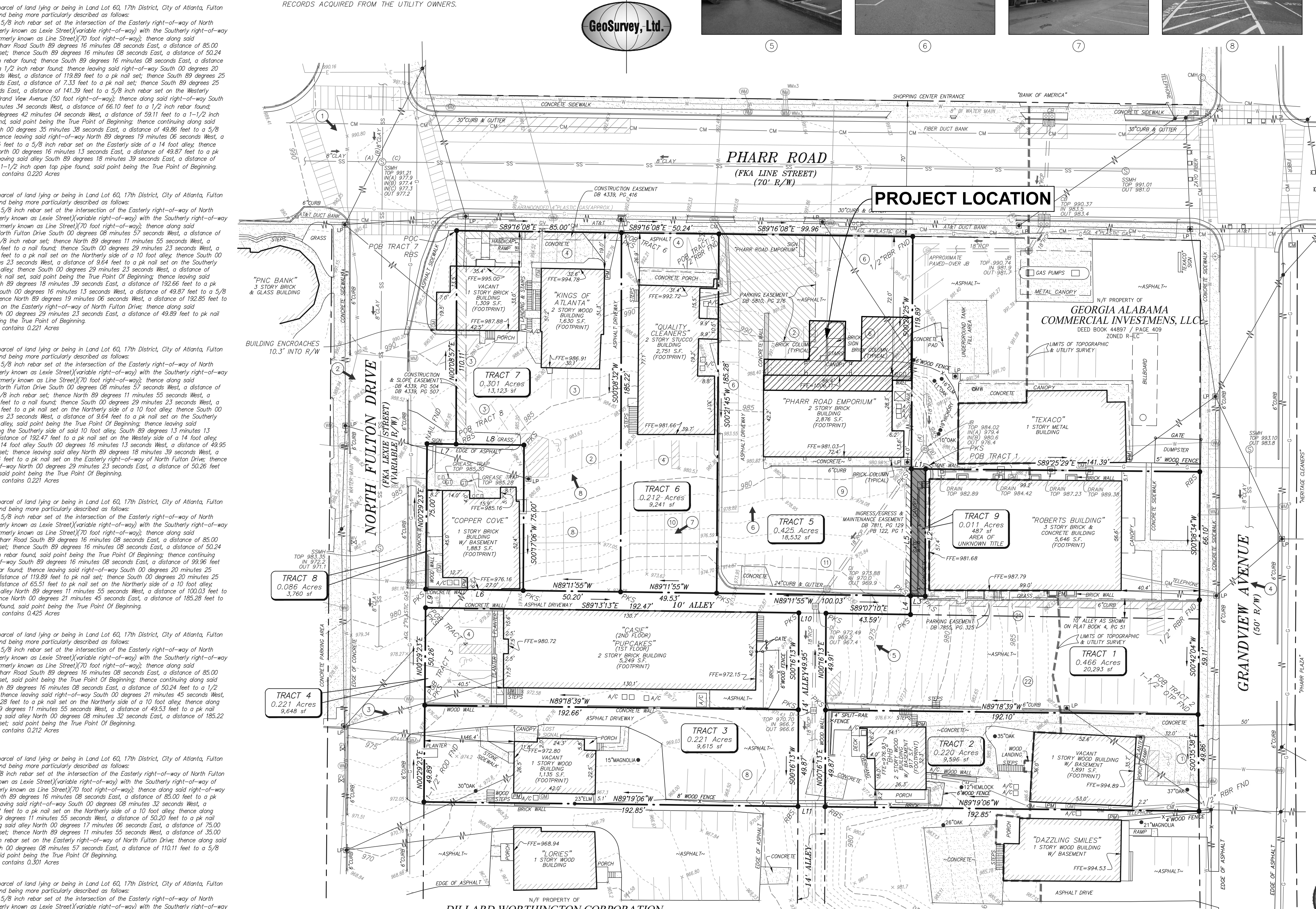
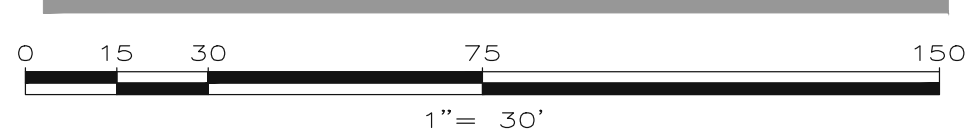
ALTA/ACSM LAND TITLE SURVEY
Pharr Road
FOR
**Meltzer Group, LLC
M.A.T. Investments, LLC
Chicago Title Insurance Company Name**

GS JOB NO:	20155022	DRAWING SCALE:	1" = 30'	SURVEY DATE:	08-14-2015
FIELD WORK:	AH	CITY:	ATLANTA	STATE:	GA
PROJ MGR:	JTN	COUNTY:	FULTON	NO. DATE	DESCRIPTION
REVIEWED:	JRC	LAND LOT:	60		
DWG FILE:	20155022-01.dwg	DISTRICT:	17TH		

LEGEND

STANDARD ABBREVIATIONS	STANDARD SYMBOLS
AC AIR CONDITIONER	OH OVERHEAD TRAFFIC SIGNAL LIGHT
BH BORE HOLE	PO POWER POLE
BU BUILDING SETBACK LINE	PL POWER LINE
CI CURB INLET	LP LIGHT POLE
CMP CORRUGATED METAL PIPE	LF LIGHT TRANSFORMER
CMF CONCRETE MASONRY FND	WV WATER VAULT
CS SANITARY CEMENTALUT	GV GAS VALVE
CRD CRIPPED TOP PIPE	GM GAS METER
CTP CRIMPED TOP PIPE	WV WATER VALVE
DI DROP INLET	WH WATER METER
DRP DUCTILE IRON PIPE	FW FIRE HYDRANT
DWC DOUBLE WING CATCH BASIN	UE UNDERGROUND ELECTRIC LINE
DN DRAIN	UG UNDERGROUND GAS LINE
GM GAS METER	UL UNDERGROUND COMMUNICATION LINE
INV INVERT	UR UNDERGROUND WATER LINE
JB JUNCTION BOX	PH PHOTO POSITION INDICATOR
MH MANHOLE	RP REGULAR PARKING SPACE COUNT
CHP OVERHEAD POWER	HP HANDICAP PARKING SPACE
OP OPEN TOP PIPE	TP TREE POSITION INDICATOR
PM POWER METER	
POB POINT OF BEGINNING	
PCC POINT OF COMMENCEMENT	
RE REINFORCED CONCRETE PIPE	
RR REINFORCING BAR	
RBS 1/8" REBAR SET	
SB SINGLE WING CATCH BASIN	
SWB SINGLE WING CATCH BASIN	
TRC TRANSFORMER	

GRAPHIC SCALE



LINE TABLE

LINE	BEARING	DISTANCE
L1	S89°25'29"E	7.33'
L2	S00°09'46"W	65.53'
L3	N89°11'55"W	7.53'
L4	N00°20'25"E	9.64'
L5	N00°20'25"E	65.51'
L6	N89°11'55"W	50.27'
L7	N89°11'55"E	17.00'
L8	S89°11'55"E	35.00'
L9	N00°29'23"E	9.64'
L10	S89°07'10"E	14.00'
L11	N89°19'06"W	14.00'

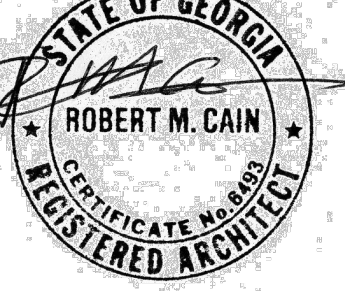
CLOSURE STATEMENT
THE FIELD CLOSURE UPON WHICH THIS PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 22,331, AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. A TRIMBLE 5-E TOTAL STATION AND TRIMBLE TSC-3 DATA COLLECTOR WERE USED TO COLLECT THIS SURVEY DATA.
THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 140,026 FEET 1/100,000 INT.

IF YOU DIG
Know what's below.
Call before you dig.
Dial 811
Or Call 800-282-7411



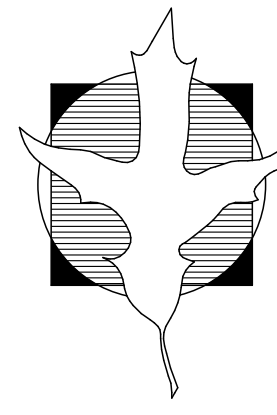
PARKING SUMMARY
137 REGULAR
4 HANDICAP
141 TOTAL

GeoSurvey, Ltd.
Land Surveying • 3D Laser Scanning
1660 Barnes Mill Road
Marietta, Georgia 30062
Phone: (770) 795-9900
Fax: (770) 795-8880
www.geosurvey.com
EMAIL: info@geosurvey.com
Certificate of Authorization #LSF-000621



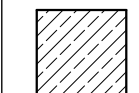

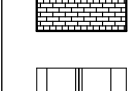

DATE 03/19/19
SURVEY
SAP - 02

RELEASED FOR CONSTRUCTION



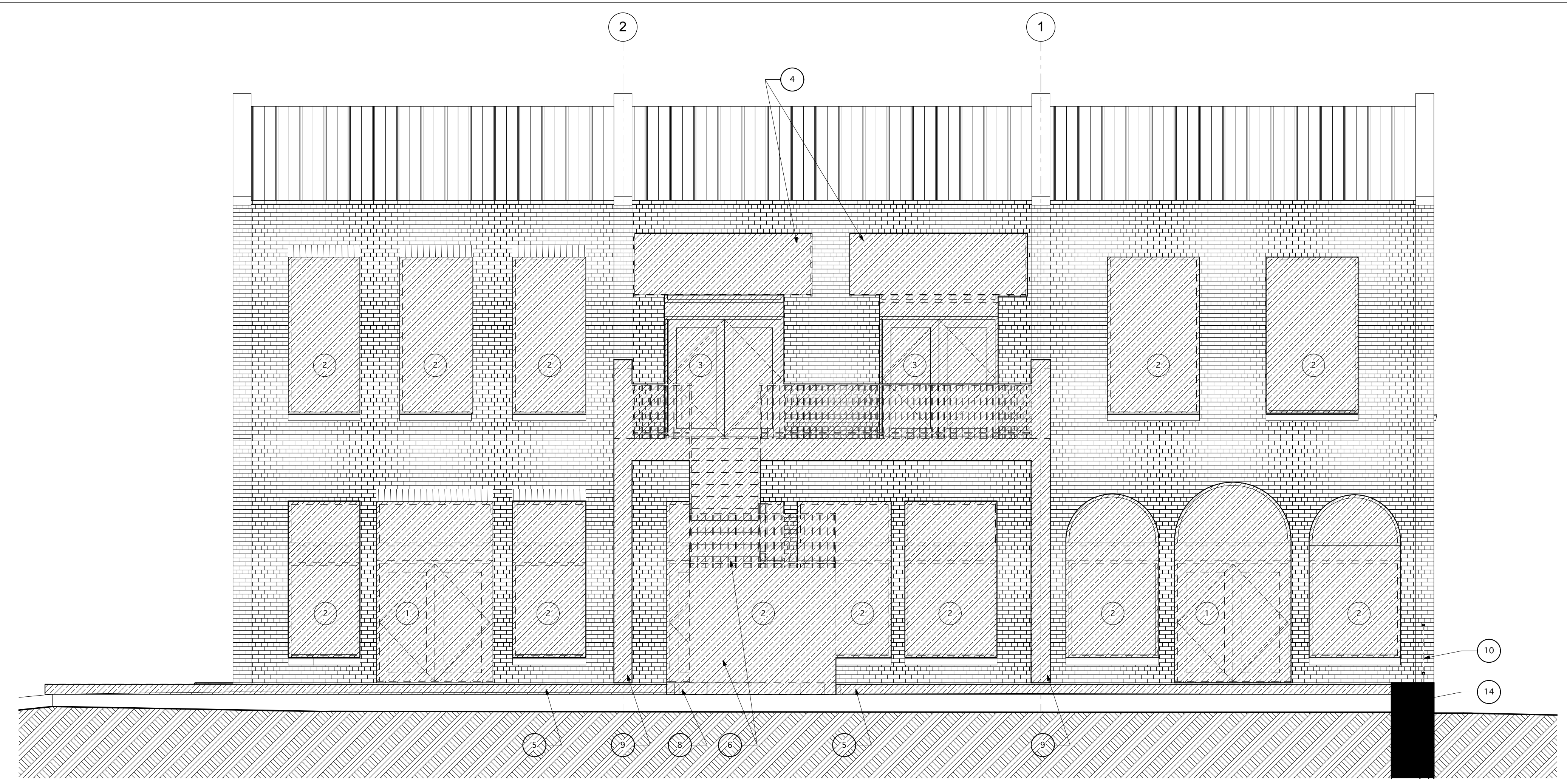
ROBERT M. CAIN
ARCHITECT
675 SHAWNEE AVE. UNIT 212
ATLANTA, GA 30327-3916
(404) 892-8643
rmcain@earthlink.net
www.robertmcain.com

EXTERIOR ELEVATION LEGEND

-  EXISTING - TO BE REMOVED
-  NEW INSULATED STOREFRONT SYSTEM
-  EXISTING BRICK WALL TO REMAIN
-  EXISTING ROOFING TO REMAIN

NOTES:
1. VERIFY ALL DIMENSIONS. INFORM ARCHITECT OF DISCREPANCIES.
2. VERIFY ALL STRUCTURAL CONDITIONS WITH ARCHITECT PRIOR TO STARTING WORK.

- 1 EXISTING DOOR TO BE REMOVED
- 2 EXISTING WINDOW TO BE REMOVED
- 3 EXISTING DOOR AND TRANSOM TO BE REMOVED
- 4 EXISTING CANOPY TO BE REMOVED.
- 5 EXISTING SIDEWALK TO BE REMOVED PATCH AND PREP FOR NEW FINISH
- 6 EXISTING STAIR, GUARDRAIL AND HANDRAIL TO BE REMOVED
- 7 EXISTING ASPHALT TO BE REMOVED
- 8 EXISTING LANDSCAPE AREA TO BE REMOVED
- 9 EXISTING COLUMN TO BE REMOVED
- 10 EXISTING RAIL TO BE REMOVED
- 11 NEW METAL STAIRS - COMPLY W/ IBC 2012 REQUIREMENTS
- 12 NEW LANDING AND METAL GUARDRAIL - COMPLY W/ IBC 2012 REQUIREMENTS
- 13 NEW CANOPY - SEE STRUCTURAL
- 14 EXISTING RETAINING WALL TO REMAIN
- 15 NEW GUARDRAIL
- 16 NEW SIGNS BY OWNER
- 17 NEW CONCRETE PLANTER - MATCH EXISTING SIGN BASE CONCRETE FINISH

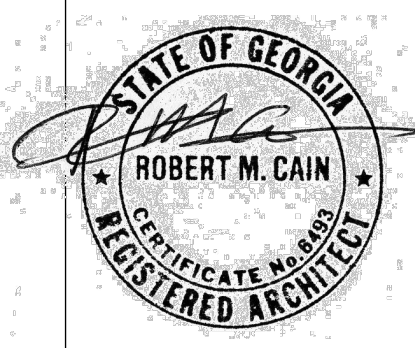


EN EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

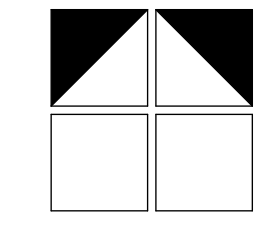


N NORTH ELEVATION
SCALE: 1/4" = 1'-0"

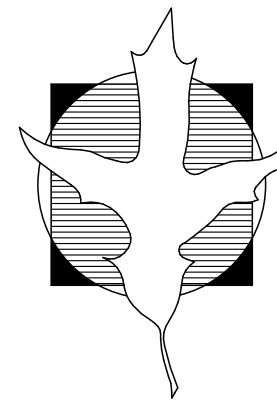
SAP - RENOVATION TO
321 PHARR ROAD, GA, 30307



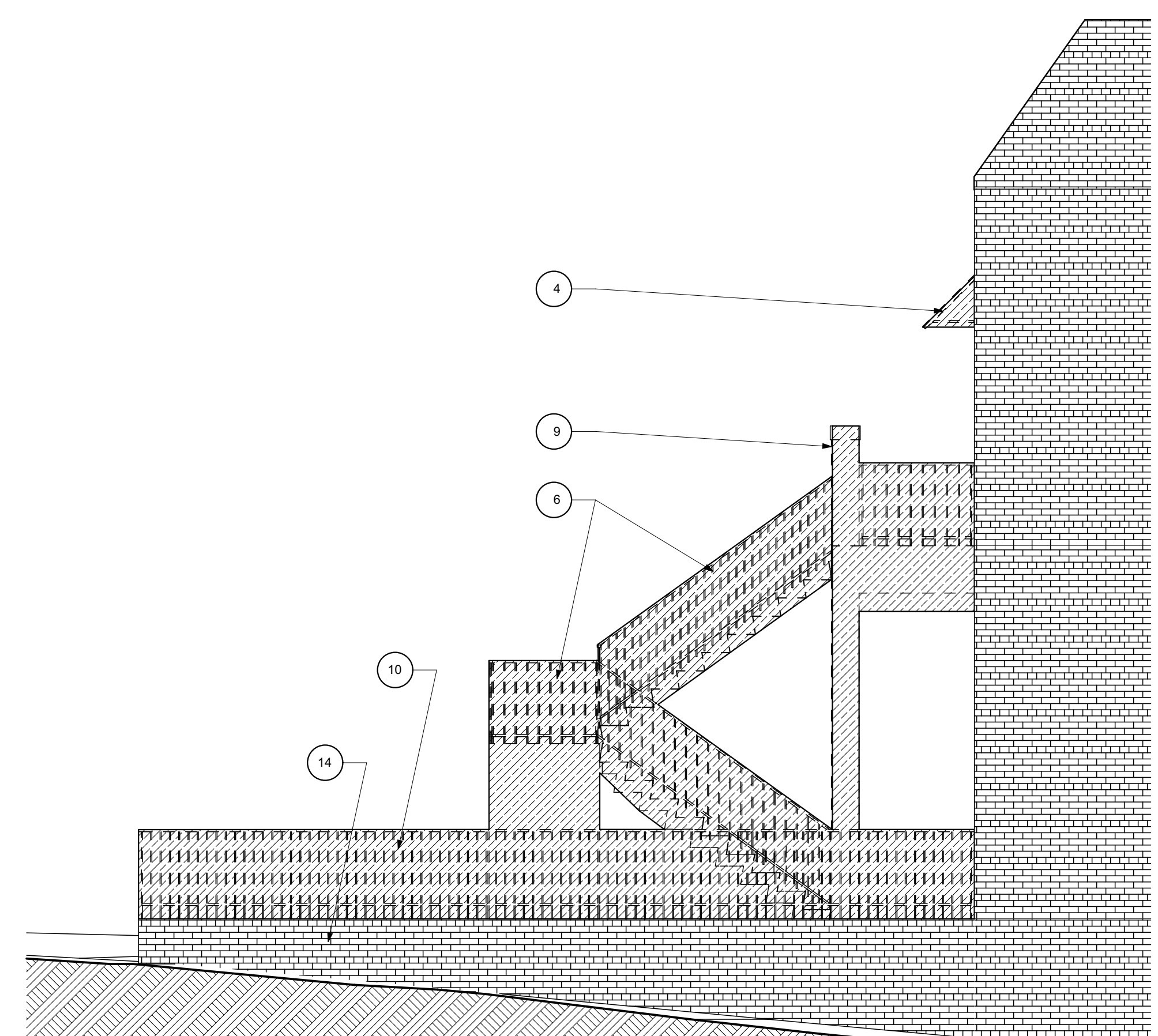
DATE
03/19/19



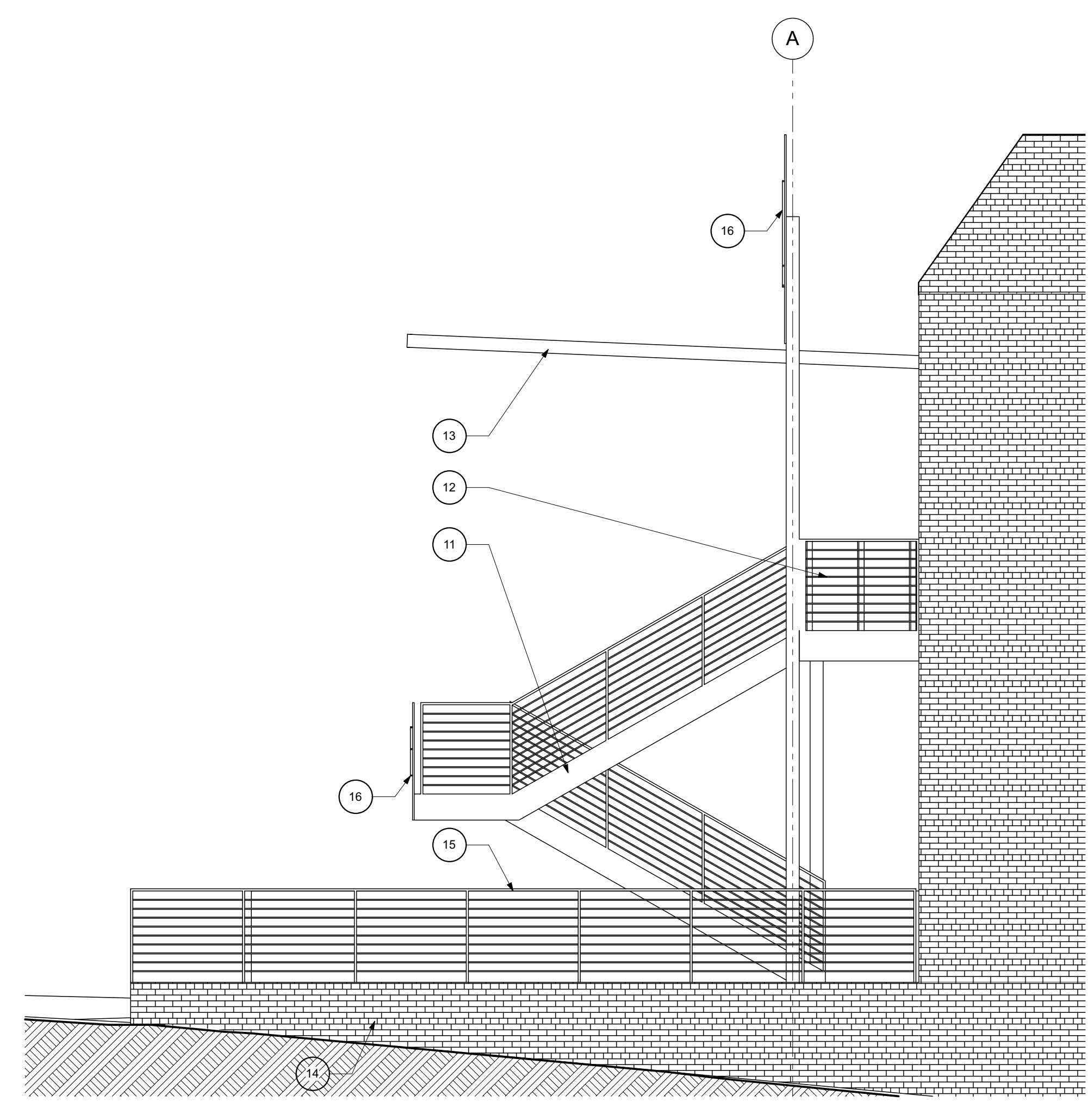
EXISTING AND PROPOSED NORTH ELEVATION



ROBERT M. CAIN
ARCHITECT
675 SHAWNEE AVE. UNIT 202
ATLANTA, GA. 30307-3916
(404) 692-6643
rmcain@earthlink.net
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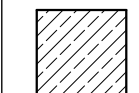





EW EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



W WEST ELEVATION
SCALE: 1/4" = 1'-0"

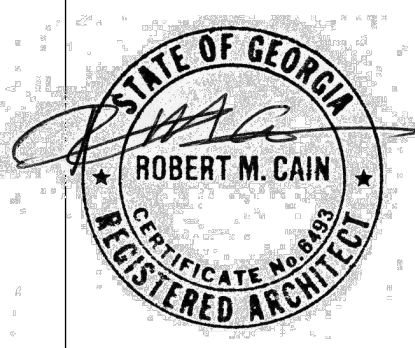
EXTERIOR ELEVATION LEGEND

-  EXISTING - TO BE REMOVED
-  NEW INSULATED STOREFRONT SYSTEM
-  EXISTING BRICK WALL TO REMAIN
-  EXISTING ROOFING TO REMAIN

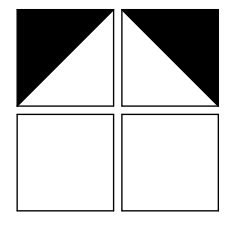
NOTES:
1. VERIFY ALL DIMENSIONS. INFORM ARCHITECT OF DISCREPANCIES.
2. VERIFY ALL STRUCTURAL CONDITIONS WITH ARCHITECT PRIOR TO STARTING WORK.

- 1 EXISTING DOOR TO BE REMOVED
- 2 EXISTING WINDOW TO BE REMOVED
- 3 EXISTING DOOR AND TRANSOM TO BE REMOVED
- 4 EXISTING CANOPY TO BE REMOVED.
- 5 EXISTING SIDEWALK TO BE REMOVED PATCH AND PREP FOR NEW FINISH
- 6 EXISTING STAIR, GUARDRAIL AND HANDRAIL TO BE REMOVED
- 7 EXISTING ASPHALT TO BE REMOVED
- 8 EXISTING LANDSCAPE AREA TO BE REMOVED
- 9 EXISTING COLUMN TO BE REMOVED
- 10 EXISTING RAIL TO BE REMOVED
- 11 NEW METAL STAIRS - COMPLY W/ IBC 2012 REQUIREMENTS
- 12 NEW LANDING AND METAL GUARDRAIL - COMPLY W/ IBC 2012 REQUIREMENTS
- 13 NEW CANOPY - SEE STRUCTURAL
- 14 EXISTING RETAINING WALL TO REMAIN
- 15 NEW GUARDRAIL
- 16 NEW SIGNS BY OWNER
- 17 NEW CONCRETE PLANTER - MATCH EXISTING SIGN BASE CONCRETE FINISH

SAP - RENOVATION TO
321 PHARR ROAD, GA, 30307



DATE
03/19/19



EXISTING AND PROPOSED WEST ELEVATION

RELEASED FOR CONSTRUCTION

SAP - 03