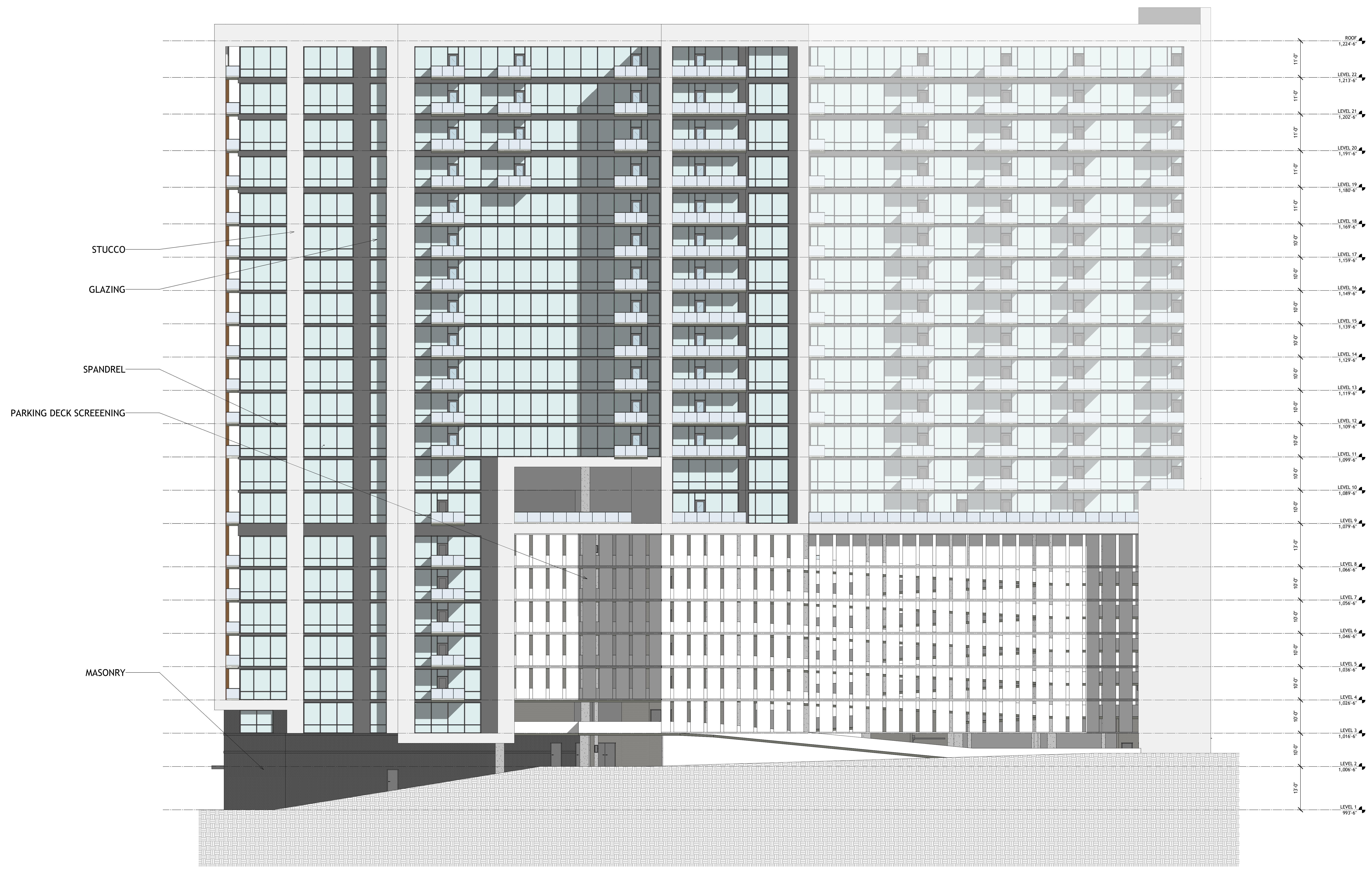




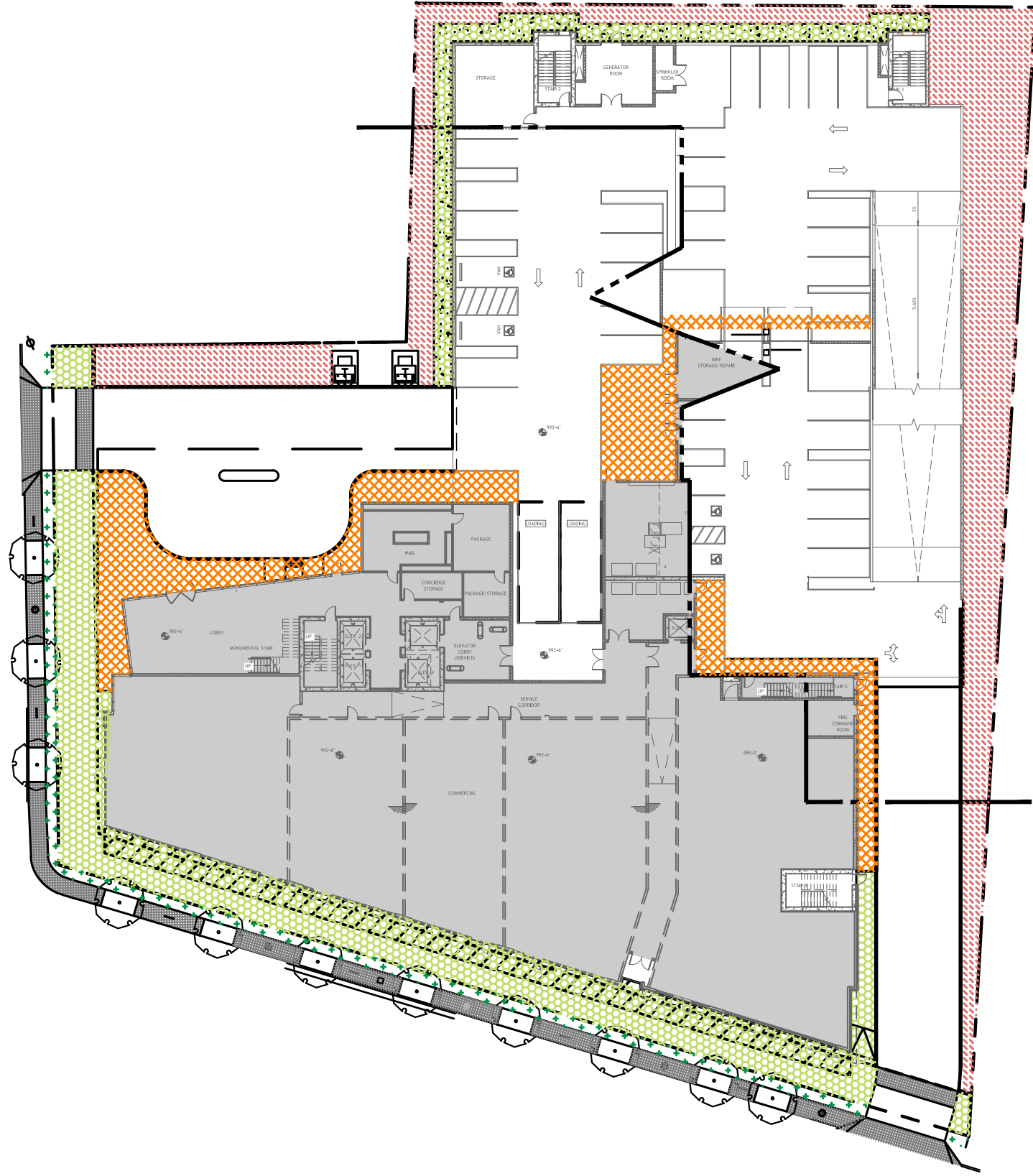
No.	Description	Date
1	LDP SUBMITTAL	9-20-18

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1 ELEVATION- EXTERIOR- EAST  
A3.002 NOT TO SCALE





C:\Users\kelly.esch\appdata\local\temp\AcPublish\_70242019-01-23 UOSR Exhibit.dwg Open Space Exhibit Jan 24, 2019 10:36am by: kelly.esch






**USABLE OPEN SPACE REQUIREMENTS**

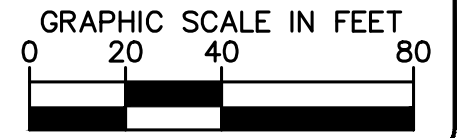
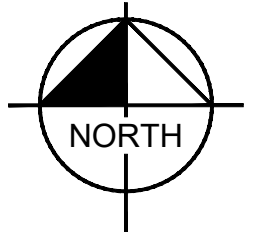
GROSS LOT AREA (GLA) = 82,854 SF  
 UOSR = 20% OF GLA = 16,571 SF  
 50% OF UOSR MUST BE PUBLIC SPACE  
 PUBLIC SPACE REQUIREMENT = 8,286 SF

**UOSR TABULATION**

-  3,458 sf Covered Sidewalk (Private Property)  
(Counted at 50% = 1,729 SF)
  -  6,242 sf Landscape (Private Property)
  -  6,544 sf Walk and Supplemental Zone (Private Property)
  -  1,253 sf Walk Zone (Right-of-Way)
  - 16,256 sf Uncovered Open Space on Amenity Levels
  - 4,481 sf Covered Open Space on Amenity Levels  
(Counted at 50% = 2,240 SF)
- TOTAL USABLE OPEN SPACE: 34,264 sf

**UOSR (PUBLIC SPACE) TABULATION**

-  6,544 sf Walk and Supplemental Zone (Private Property)
  -  1,253 sf Walk Zone (Right-of-Way)
  -  6,242 sf Landscape (Private Property)
- TOTAL USABLE OPEN SPACE (PUBLIC SPACE): 14,039 sf



**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GEORGIA 30009  
 PHONE: (770) 619-4280 | www.kimley-horn.com

TITLE:  
**USABLE OPEN SPACE  
 REQUIREMENT**

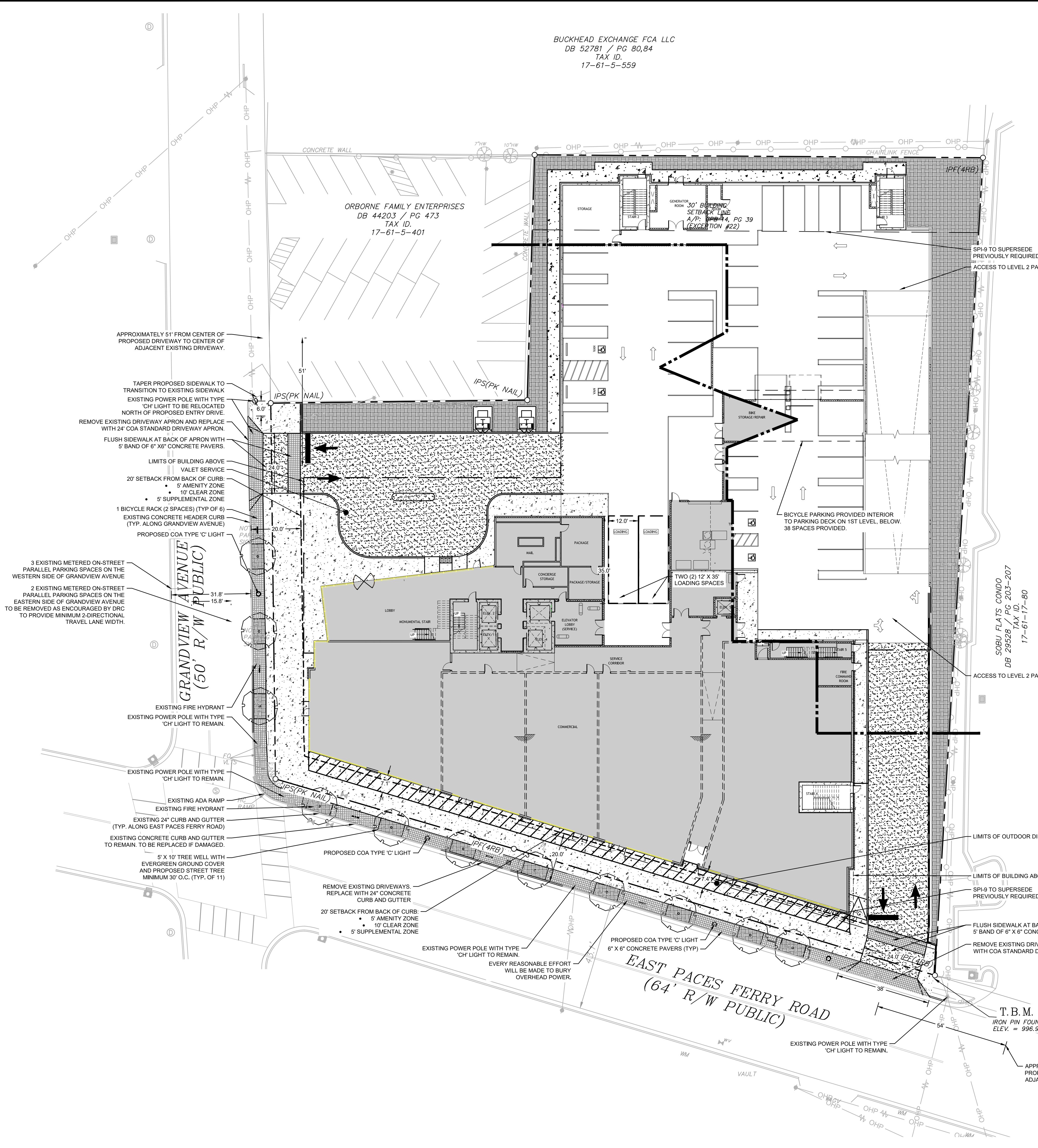
PROJECT:  
**340 EAST PACES FERRY ROAD**

CLIENT:  
**CA VENTURES**

JOB NUMBER: 118227001  
 SCALE: 1" = 40'  
 DATE: 01/24/2019  
 SHEET: **EXHIBIT A**

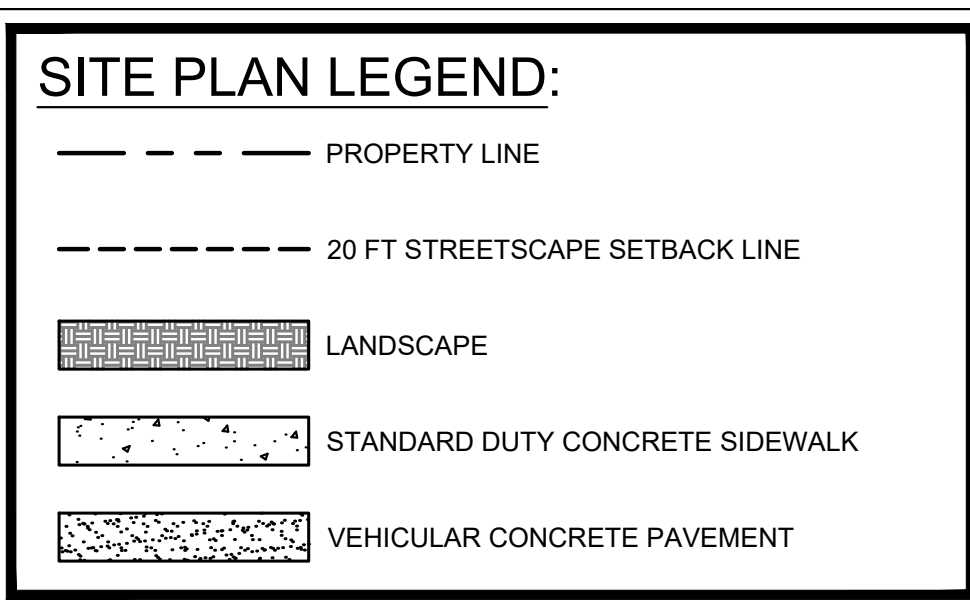
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Drawing name: C:\Users\kelly.esc@apdata\localtemp\AP-Publish\_7024\CO-20 - SAP SITE PLAN.dwg CO-20 SAP SITE PLAN Jan 24, 2019 10:38am By: Kelly.esc  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**LOT SIZE:**  
 NET LOT AREA (NLA) = 1.595 ACRES (69,478 SF)  
 GROSS LOT AREA (GLA) = 1.902 ACRES (82,854 SF)  
 TOTAL SF = 505,905 SF  
 FLOOR AREA RATIO (FAR) = 505,905 / 82,854 = 6.11 (GLA)  
 MAX FAR = 8.2 (82,854 SF) = 679,403 SF  
 (PER SPI-9 SA1 ZONING)  
 MAX BUILDING HEIGHT = 225 FT

SAP File Number: SAP-18-111  
 Zoning Classification  
 SPI-9 SA1  
 ADJACENT STREETS:  
 EAST PACES FERRY ROAD - STREET TYPE 3  
 GRANDVIEW AVENUE - STREET TYPE 3



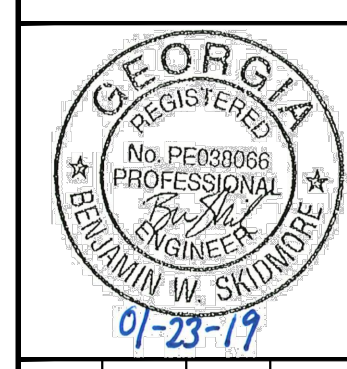
**USABLE OPEN SPACE:**  
 UOSR = 20% OF GLA = 16,571 SF  
 50% OF UOSR MUST BE PUBLIC SPACE  
 PUBLIC SPACE REQUIREMENT = 8,286 SF  
 TOTAL USABLE OPEN SPACE PROVIDED: 34,264 SF  
 TOTAL USABLE OPEN SPACE (PUBLIC SPACE) PROVIDED: 14,039 SF

**PARKING SUMMARY:**

PROPOSED USE:	486 TOTAL HOUSING UNITS (40) STUDIO UNITS (227) 1 BEDROOM UNITS (211) 2 BEDROOM UNITS (8) 3 BEDROOM UNITS 16,714 SF COMMERCIAL
MAXIMUM RESIDENTIAL PARKING:	1.25 SPACES PER 1 BED, 2.25 SPACES PER 2+ BED = 827 SPACES NO MINIMUM
MINIMUM RESIDENTIAL PARKING:	NO MINIMUM
IF ALL COMMERCIAL IS RETAIL:	
MAXIMUM COMMERCIAL PARKING:	2.5 SPACES /1000 SF * 16,714 SF = 42 SPACES
MINIMUM COMMERCIAL PARKING:	NO MINIMUM
IF ALL COMMERCIAL IS EATING/DRINKING:	
MAXIMUM COMMERCIAL PARKING:	1 SPACES / 300 SF = 56 SPACES
MINIMUM COMMERCIAL PARKING:	75% OF MAXIMUM = 42 SPACES
TOTAL MAXIMUM PARKING:	869 OR 883 SPACES
TOTAL MINIMUM PARKING:	0 OR 42 SPACES
RESIDENTIAL PARKING PROVIDED:	470 SPACES
PUBLIC/VALET PARKING PROVIDED:	41 SPACES
TOTAL PARKING PROVIDED:	511 SPACES
ELECTRIC VEHICLE SUPPLY EQUIPMENT INFRASTRUCTURE REQUIRED AND PROVIDED:	103 SPACES (1 / 5 SPACES)
BICYCLE PARKING REQUIRED:	50 SPACES (MAX REQUIRED)
BICYCLE PARKING PROVIDED:	12 SPACES PROVIDED IN AMENITY ZONE 38 SPACES PROVIDED IN PARKING DECK
LOADING SPACES PROVIDED:	(2) 12' X 35' SPACES

NO.	REVISIONS	DATE	BY
7			
6	SAP REVISION	01/23/2019	KCE
5	REVISED PER LDP COMMENTS	12/19/2018	KCE
4	REVISED PER LDP COMMENTS	12/06/2018	KCE
3	REVISED PER LDP COMMENTS	11/08/2018	KCE
2	REVISED PER LDP COMMENTS	11/08/2018	KCE
1	REVISED PER LDP COMMENTS	10/30/2018	KCE

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 11720 AMBER PARK DRIVE, SUITE 800  
 ALPHARETTA, GEORGIA 30009  
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 WWW.KIMLEY-HORN.COM



SCALE: AS SHOWN  
 DRAWN BY: EDB  
 DESIGNED BY: KCE  
 CHECKED BY: BWS

CLIENT: CA VENTURES  
 130 E RANDOLPH STREET, SUITE 2100  
 CHICAGO, IL 60601  
 PHONE: 312-894-0868

PROJECT: 340 EAST PACES FERRY  
 TITLE: APPROVED SAP SITE PLAN  
 DATE: 09/21/2018  
 PROJECT NO.: 118227001  
 SHEET NUMBER: C0-20

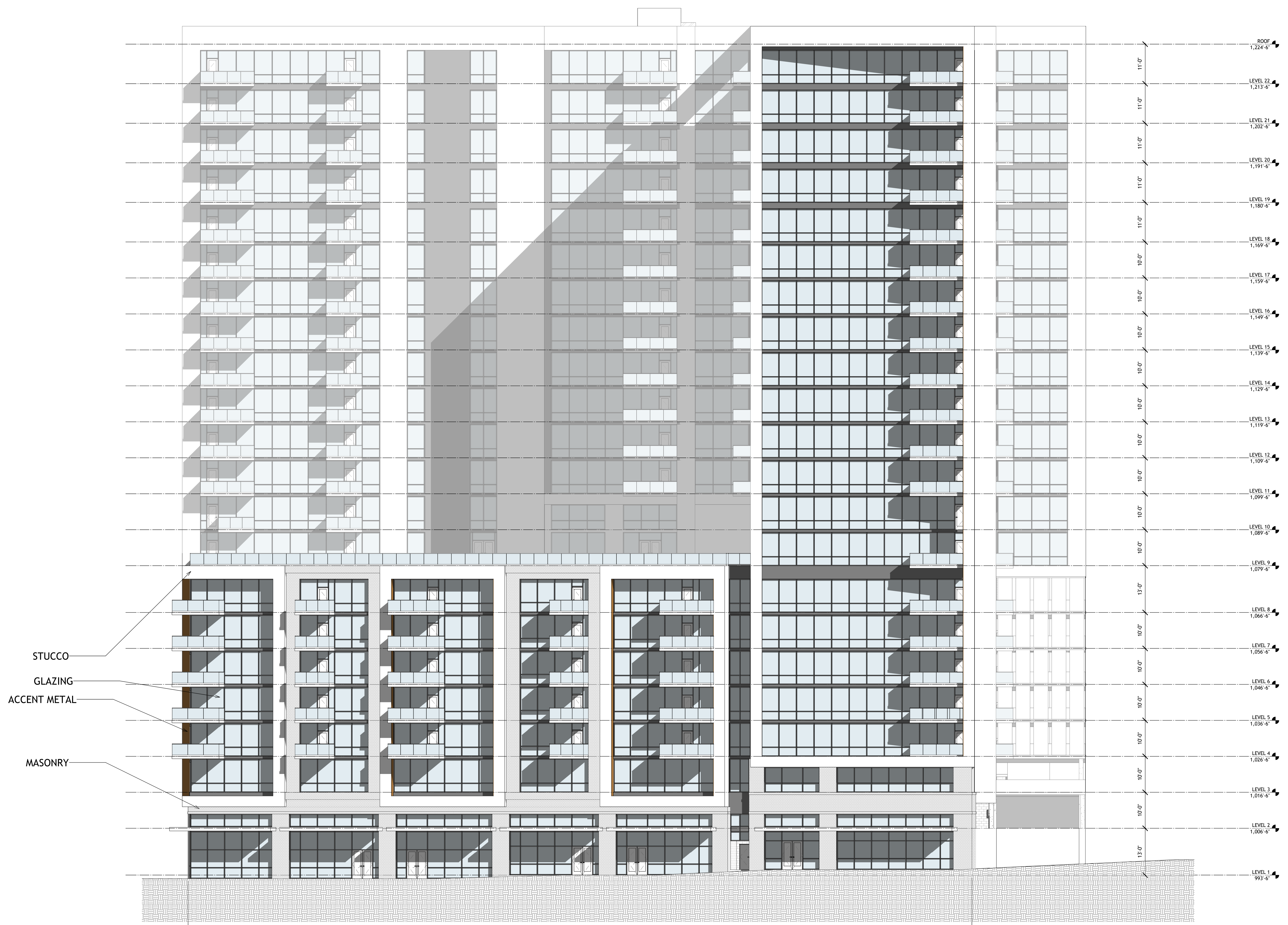
**GEORGIA811.**  
 Utilities Protection Center, Inc.  
 Know what's below.  
 Call before you dig.

NORTH  
 GRAPHIC SCALE IN FEET  
 0 10 20 40

**ISSUED FOR CONSTRUCTION**

No.	Description	Date
1	LDP SUBMITTAL	9-20-18

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**1** ELEVATION- EXTERIOR- SOUTH  
A3.003 3/32" = 1'-0"

**MATERIAL PERCENTAGES**

- GLAZING = 64%
- STUCCO = 18%
- SPANDREL/METAL = 9%
- MASONRY = 5%
- FIBER CEMENT = 1%

217'-11 1/2" TOTAL FACADE LENGTH - EAST PACES FERRY  
GLAZING EQUALS 174'-3" OF LENGTH = 80%  
ZONING ORDINANCE REQUIREMENT 60% MIN.





January 30, 2019

**Jessica L. Hill**  
404-504-7754  
jhill@mmmlaw.com  
www.mmmlaw.com

**VIA HAND DELIVERY**

City of Atlanta Office of Zoning and Development  
Attn: Nathan Brown  
55 Trinity Avenue, SW, Suite 3350  
Atlanta, GA 30303

Re: SAP-18-111 – 340 East Paces Ferry Road

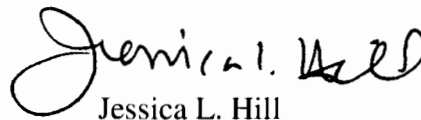
Dear Nathan:

My client, the applicant in SAP-18-111, would like to amend the SAP approval to reflect a change in the program. The total building square footage and proposed parking count have both decreased. The number of dwelling units, nonresidential square footage, usable open space and public space provided have all increased with the new program. The exterior of the building has been modified slightly. The variations requested and approved in SAP-18-111 are the same. Enclosed are the following items to amend the above captioned application:

1. Revised site plan (6 copies);
2. Revised elevations (3 copies);
3. Updated open space plan (1 copy);
4. Revised development specifications chart corresponding to the plans (with changes noted in blue print); and
5. Revised project summary reflecting new program.

Please revise the application with the enclosed materials and if appropriate approve the revision.

Best,



Jessica L. Hill

Enclosures

12354740 v1

## SAP Summary and Variation List

This application proposes the development of a 1.902 acre tract with a mixed use project consisting of approximately 483 multifamily units and 16,714 square feet of sidewalk level commercial space on East Paces Ferry Road and Grandview Avenue. The building will contain 22 stories. An amenity deck for the residents will be located on top of the parking structure. Access to the development will be provided through curb cuts on Grandview Avenue and East Paces Ferry Road. The development also includes covered off street drop off area for the development internal to the development off Grandview Avenue to bring valet and ride share activity internal to the development.

1. **Sec. 16-18I.019 - Variation to reduce the number of 12' by 35' loading spaces from 4 to 2 12'x35' spaces.**

The request to reduce the number of required loading parking spaces is consistent with the demand typically generated for such loading spaces in high rise developments. The loading areas are adjacent to, but separate from the designated trash area. The leasing of the units will be coordinated through the management office to ensure the loading areas are not overburdened during the leasing process.

2. **Section 16-18I.020(2)(b) – Variation to allow a curb cut within 100 feet of adjacent curb cuts.**

This application requests a variation to allow the curb cuts for the development to be within 100 feet of the existing curb cuts on the abutting properties located on Grandview Avenue and East Paces Ferry Road. There are currently several curb cuts serving the existing improvements on the property. This request will consolidate the curb cuts into two curb cuts. The Grandview Avenue frontage is only 150 feet wide, so there is not a location on Grandview Avenue that is more than 100 feet from both the abutting property curb cut and the intersection of Grandview Avenue and East Paces Ferry Road. The East Paces Ferry Road curb cut is necessary to provide require fire access to the east side of the building. Both curb cuts have been situated in a location that prioritizes the distance from the intersection of East Paces Ferry Road and Grandview Avenue from a transportation management perspective.





City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Development Controls Specifications (Required)

File # \_\_\_\_\_

\*Developmental Controls forms are required to be completed by the applicant, and all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

<b>Definitions and Methods of Calculation</b>						
<ul style="list-style-type: none"> <li>• <u>Net Lot Area (NLA)</u> = length of property line X width of property line</li> <li>• <u>GLA for corner lots</u> = (NLA) + [(street "A" right-of-way width ÷2) X (street "A" length of property line)] + [(street "B" right-of-way width ÷2) X (street "B" length of property line)] + [(street "A" right-of-way width ÷2) X (street "B" right-of-way width ÷2)]</li> <li>• <u>GLA (with only one front yard adjacent to street)</u> = (NLA) + [(street right-of-way width ÷2) X (length of front property line)]</li> <li>• GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width.</li> <li>• GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts.</li> <li>• <u>Building Lot Coverage provided</u> = (net lot area minus area of building footprint) ÷ (net lot area)</li> </ul>						
<b>Lot Size (in square footage)</b>						
Gross Land Area (GLA)	82,854 SF					
Net Lot Area (NLA)	69,478 SF					
<b>Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input type="checkbox"/> GLA, or <input checked="" type="checkbox"/> NLA</b>						
	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage		
Base Allowed	8.2 total	569,720 SF total	8.2 total	569,720 SF total		
<b>Base Provided</b>	7.58 (NLA)	505,905 SF	0.24 (NLA)	16,714 SF		
Bonus Allowed		N/A		N/A		
<b>Bonus Provided</b>						
<b>Bonus FAR Program (check bonus utilized if applicable)</b>						
Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>		
<b>Residential Units</b>			<b>Total Provided:</b> <u>486</u>			
Number of Units Provided (without bonus)			486			
Number of Bonus Units Provided (without workforce housing)						
Number of Bonus Workforce Housing Units Provided (20% required)						
Total Number of Units per Acre			305			
<b>Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)</b>						
	Percentage (%)		Square Footage			
Max. Permitted	N/A					
Provided						
<b>Fenestration (% of each street-fronting facade calculated separately, per district regulations)</b>						
	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)		
	Local Street	Arterial/Collector	Beltline Corridor	Local Street	Arterial/Collector	Beltline Corridor
Min. Required	65%			65%		
Provided (specify for each street)				68% - East Paces Ferry Road 80% - Grandview Avenue		



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Development Controls Specifications (Required)

File # \_\_\_\_\_

**Residential Open Space Requirements** (refer to Chapter 28 for clarification)

<b>Definitions and Methods of Calculation</b>		
<ul style="list-style-type: none"> <li>• <b>LUI</b> = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations)</li> <li>• <b>TOSR</b> are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides.               <ul style="list-style-type: none"> <li>○ TOSR required = (LUI table) X (GLA).</li> <li>○ TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces).</li> </ul> </li> <li>• <b>UOSR</b> requirements are calculated using the residential FAR (of the <u>corresponding net lot or GLA lot sized used</u> to calculate FAR) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations.               <ul style="list-style-type: none"> <li>○ UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR).</li> <li>○ If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way).</li> </ul> </li> </ul>		
<b>TOSR: Total Open Space Requirements for Residential Only Projects</b>		
<i>(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)</i>		
	Ratio	Total Square Footage
Minimum Required	N/A	
Provided		
<b>Square Footage breakout of UNCOVERED TOSR amount provided by the following:</b>		
	GLA minus building square footage	
	Open exterior balconies (per Section 16-28 or district regs)	
	Roof area improved as recreation space	
<b>Square Footage breakout of COVERED TOSR amount provided by the following:</b>		
	Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
<b>UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments</b>		
<i>(These are areas not counted towards Public Space Requirements)</i>		
	Ratio	Total Square Footage
Minimum Required	20% NLA	13,896 SF
Provided	49% NLA	34,264 SF
<b>Square Footage Breakdown of UOSR amounts provided by the following:</b>		
	Balconies	None
	Rooftop Terraces	16,256 SF (uncovered) + 2,240 SF (4,481 SF covered)
	Landscaped Areas and Plazas	6,242 SF
	Portions of Sidewalks on Private Property	6,544 SF (private) + 1,729 SF (3,458 SF covered)
	Portions of Landscaped Areas in Right-of-way adjacent to Property	1,253 SF (walk zone in row)



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Development Controls Specifications (Required)

File # \_\_\_\_\_

**Non-Residential Public Space Requirements** (refer to Chapter 28 for clarification)

<b>PSR: Public Space Requirements for Non-residential &amp; Mixed-use Developments</b>		
<i>(These are areas not counted towards UOSR)</i>		
<b>Public Space provided</b> = (square footage area of exterior space) + (square footage area of interior space)		
	Percentage (%)	Total Square Footage
Minimum Required	50% UOSR	6,948 SF
Provided	101% UOSR	14,039 SF
<b>Square Footage Breakdown of PSR amounts provided by the following:</b>		
<b>EXTERIOR</b> (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)	14,039 SF	
<b>INTERIOR</b> (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)	None	

**Parking and Loading Requirements** (refer to district regulations and Chapter 28 for clarification)

<b>Residential Unit Breakout</b>				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
40	227	211	8	0
On-site Parking Spaces	Residential		Non-residential Uses	
Minimum Required	0		0	
Provided	511 total		511 total	
Maximum Allowed	827		42	
Bicycle Parking Spaces	Residential		Non-residential Uses	
Minimum Required	50			
Provided	50			
<b>On-site Loading Spaces</b> (see applicable zoning district requirements or Section 16-028.015)				
	Residential/Hotel		Non-residential Uses (break out by use)	
Minimum Required (specify for each use)	2 12'x35'		1 12'x35'	
Provided (specify for each use)	2 total 12'x35			