

- LEGEND:**
- BL - BUILDING LINE
 - BM - BENCH MARK
 - CB - CATCH BASIN
 - CD - CROSS DRAIN
 - CL - CENTER LINE
 - DA - DRAINAGE AREA
 - DI - DRAIN INLET
 - EL - ELEVATION
 - FF - FINISHED FLOOR
 - FI - FIRE HYDRANT
 - HBC - HI-BACK CURB
 - HW - HEAD WALL
 - IB - INJECTION BOX
 - LL - LAND LOT LINE
 - LL - LAND LOT LINE
 - MT - MARKED TREE
 - NI - NAIL IN CAP
 - OL - ON LINE
 - OH - OVERHEAD
 - PL - PROPERTY LINE
 - R - RADIUS
 - RFB - RIB-BAR FOUND
 - R/W - RIGHT-OF-WAY
 - TI - TEST HOLE
 - TL - TRAVERSE LINE
 - UG - UNDERGROUND
 - WV - WATER VALVE
 - LP - LIGHT POLE
 - POB - POINT OF BEGINNING
 - POC - POINT OF COMMENCEMENT
 - SSC - SINGLE WING CATCH BASIN
 - SI - SEWER INLET
 - SS - SANITARY SEWER MANHOLE
 - LS - LANDSCAPED AREA
 - WM - WATER METER BOX

LEGAL DESCRIPTION

ALL that tract or parcel of land lying and being in Land Lot 61 of the 17th District of Fulton County, Georgia, being in the city of Atlanta, Georgia, and being more particularly described as follows:

To reach the POINT OF BEGINNING, commence at a point at the intersection formed by the former northerly right of way of Peachtree Road (variable right of way) and the former southerly right of way of Piedmont Road (variable right of way); if said rights of way were extended to form an angle instead of a miter, and proceed thence South 52°25'05" West along the said extended former right of way of Peachtree Road for a distance of 136.03 feet to a point; thence leaving said former right of way, and proceeding North 23°48'14" West a distance of 24.36 feet to a nail set on the existing northerly right of way of Peachtree Road (variable right of way) and the POINT OF BEGINNING; thence from the POINT OF BEGINNING, as thus established, leaving said right of way, and proceeding North 23°48'14" West a distance of 275.74 feet to a one-half inch re-bar found; thence proceeding South 23°19'36" West a distance of 99.93 feet to an iron pin set; thence proceeding North 55°01'15" East a distance of 300.15 feet to an iron pin set on the southerly right of way of Piedmont Road (variable right of way); running thence along said southerly right of way of Piedmont Road (variable right of way) for the following courses and distances: South 23°12'30" East a distance of 89.02 feet to an iron pin set; thence South 16°45'01" East a distance of 49.20 feet to a nail set; thence South 66°47'30" West a distance of 3.33 feet to an iron pin set; thence South 15°22'10" East a distance of 80.62 feet to an iron pin set; thence South 22°03'54" East a distance of 133.68 feet to a right of way marker found; thence South 22°26'46" West a distance of 35.22 feet to a nail set on the existing northerly right of way of Peachtree Road (variable right of way); running thence along said northerly right of way of Peachtree Road (variable right of way) along the arc of a curve to the left 98.23 feet, along arc having a chord distance of 98.23 feet on a bearing of South 55°17'00" West and a radius of 7,568.00 feet to a nail set on the northerly right of way of Peachtree Road (variable right of way) and the POINT OF BEGINNING.

Said parcel contains 1.4851 acres and is shown on ALTA/ACSM Land Title Survey For: LOGAN GEORGIA ASSOCIATES, L.P., A DELAWARE LIMITED PARTNERSHIP; SUNTRUST BANK A GEORGIA BANKING CORPORATION, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, HOLLAND & KNIGHT LLP, AND D2 LAW GROUP P.L.L.C.; dated December 26, 2012, last revised January 23, 2013; by McNally & Patrick, Inc. and bearing the seal of Lloyd C. McNally, Jr., R.L.S. No. 2040.

EASEMENT PARCEL

TOGETHER WITH rights and benefits created by and pursuant to that certain Reciprocal Easement Agreement between TWFC Associates, Ltd., a Georgia limited partnership and Buckhead Partners, L.P., a Georgia limited partnership, dated January 16, 1987 and recorded in Deed Book 10795, Page 295, aforesaid records; as amended by First Amendment to Reciprocal Easement Agreement between Lois Buckhead, L.L.C., a Delaware limited liability company and Buckhead Partners, L.P., a Georgia limited partnership, dated May 5, 1995 and recorded in Deed Book 19517, Page 202, aforesaid records.

SURVEY NOTES:

1. SURVEY REFERENCES:
 1. DEEDS VESTING TITLE OF PROPERTY IN LOGAN GEORGIA ASSOCIATES, L.P. RECORDED IN DEED BOOK 48417, PAGE 688 OF FULTON COUNTY, GEORGIA RECORDS.
 2. ALTA/ACSM LAND TITLE SURVEY FOR BUCKHEAD PARTNERS, L.P., DATED JANUARY 25, 2012, AND LAST REVISED FEBRUARY 14, 2012, PREPARED GASKINS ENGINEERING AND SURVEYING COMPANY.
 3. AS-BUILT SURVEY FOR SMITH, MORTON & MULLINS, E.T.A., DATED NOVEMBER 4, 1994, AND LAST REVISED DECEMBER 14, 1995, PREPARED BY WATTS & BROWNING ENGINEERS, INC.
2. ACCORDING TO FULTON COUNTY TAX RECORDS, SUBJECT PROPERTY CONSISTS OF:
 - TAX PARCEL 17 00610002099 - 0.316 ACRE
 - TAX PARCEL 17 00610002099 - 0.316 ACRE
 - TAX PARCEL 17 00610002055 - 0.442 ACRE
 - TAX PARCEL 17 00610002055 - 0.442 ACRE
 - STREET ADDRESS APPEARS TO BE PEACHTREE ROAD NE, ATLANTA, GA 30305
3. NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DEFINED AS BEING WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED ON F.I.R.M. COMMUNITY NO. 135157 MAP NO. 131210223E, COVERING THE CITY OF ATLANTA, GA, EFFECTIVE DATE JUNE 22, 1998. SUBJECT PROPERTY IS LOCATED IN ZONE "X" (NOT SHADED) BEING DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS PER SAID PANEL.
4. SUBJECT PROPERTY APPEARS TO BE ZONED FOR COMMERCIAL USE - SPI-9 SA4 ACCORDING TO CITY OF ATLANTA GIS MAP.
5. THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON ABOVE-GROUND STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES AND OR STRUCTURES MAY EXIST. THE SURVEYOR MAKES NO CERTIFICATION AS TO THE ACCURACY AND COMPLETENESS OF THE LOCATIONS SHOWN HEREON.
6. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, COVENANTS, RESTRICTIONS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO THE SUBJECT PARCEL WAS GAINED FROM OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NUMBER GA12002580, EFFECTIVE DATE: OCTOBER 9, 2012 FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
7. COMMENTS ADDRESSING EXCEPTIONS LISTED IN SCHEDULE B-2 OF SAID COMMITMENT MAY BE FOUND UNDER "TITLE EXCEPTIONS" ON THIS SHEET.
8. SURVEY DATUM IS PER REFERENCED SURVEY BY WATTS & BROWNING ENGINEERS, INC. BEARINGS SHOWN ARE MAGNETIC NORTH. DISTANCES SHOWN ARE SURVEY DISTANCES.
9. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON DECEMBER 26, 2012.
10. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 108,537 FEET, AN ANGULAR ERROR OF 2.5 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE. ANGULAR AND LINEAR MEASUREMENTS WERE OBTAINED USING A TOPCON GTS-303 TOTAL STATION. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 519,638 FEET.
11. PROPERTY HAS ACCESS TO PEACHTREE ROAD (PUBLICLY DEDICATED) AS SHOWN ON SURVEY. ADDITIONAL ACCESS IS PROVIDED BY ACCESS EASEMENT AS SHOWN (SEE TITLE EXCEPTIONS).
12. SITE CONTAINS A TOTAL OF 61 REGULAR PARKING SPACES AND 2 HANDICAP PARKING SPACES.

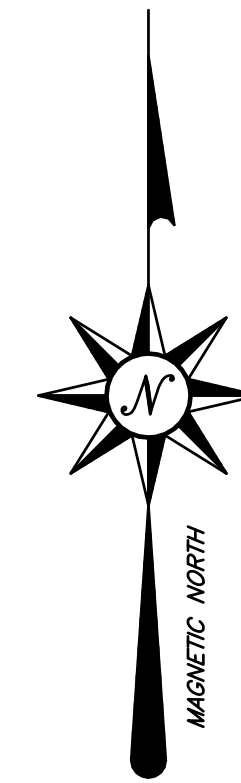
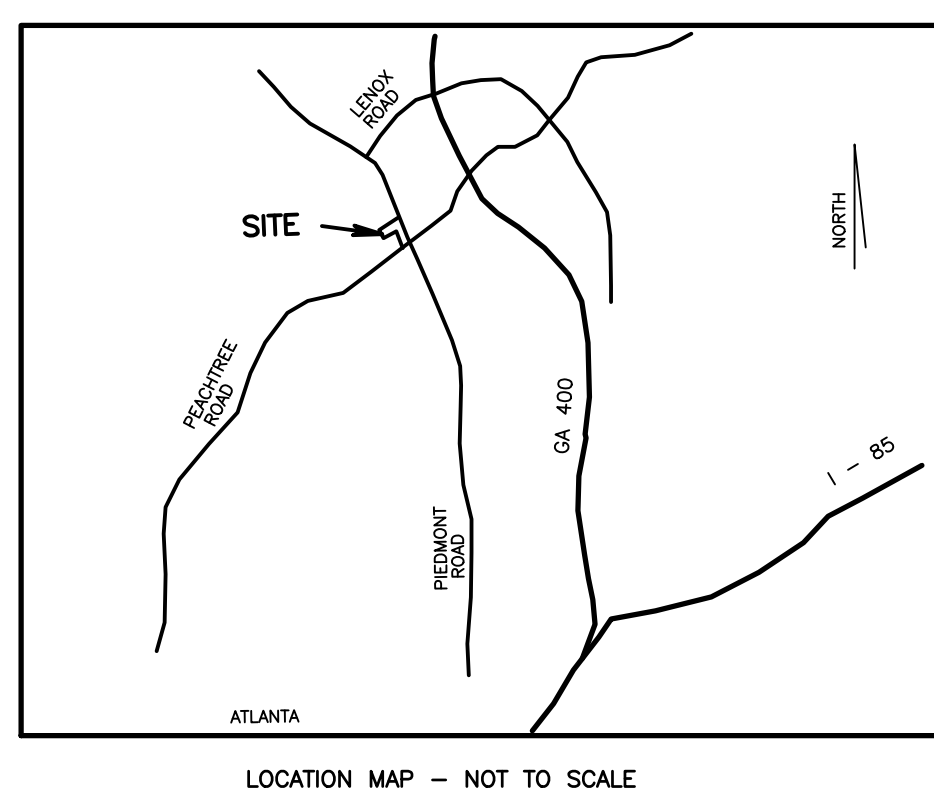
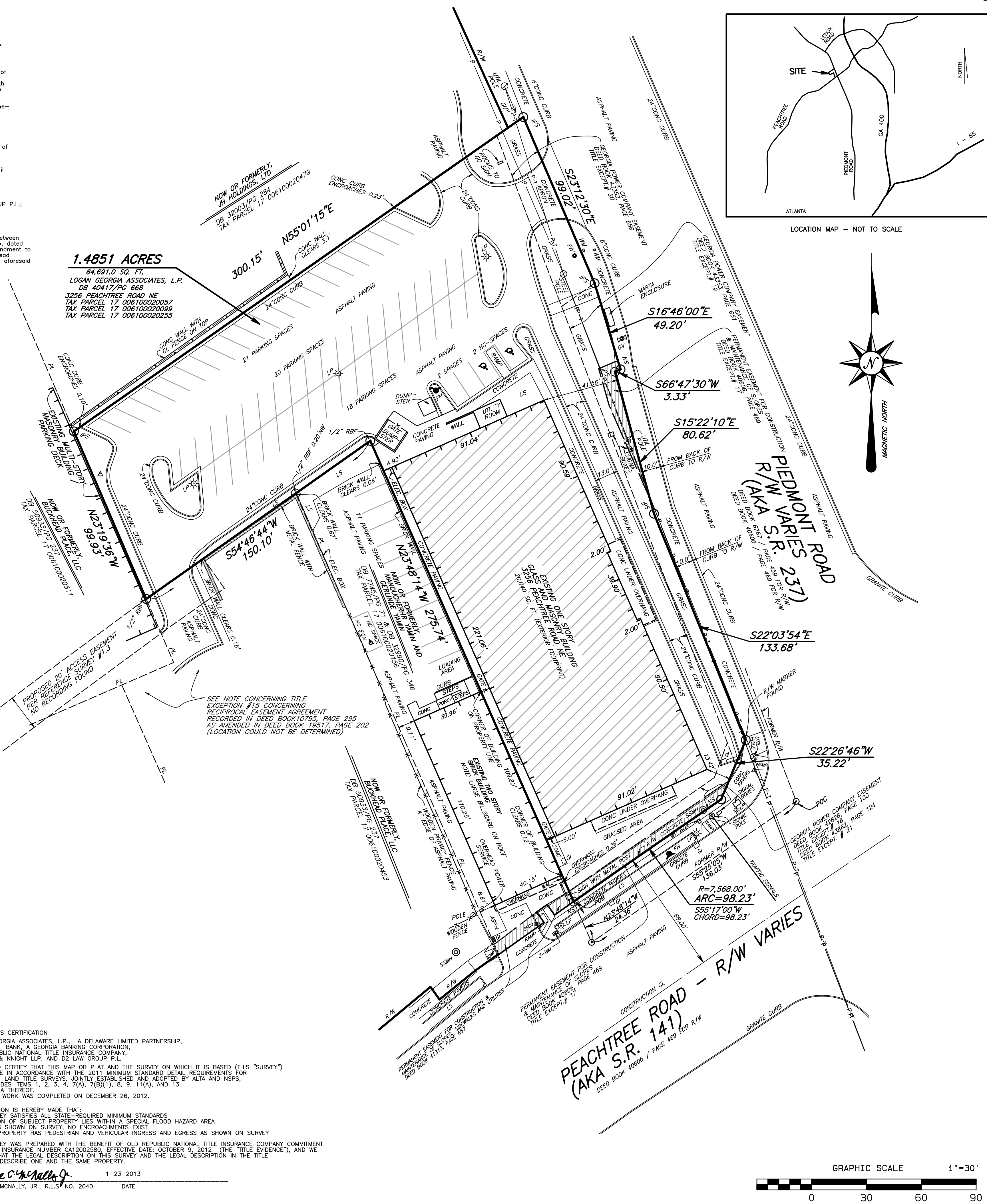
TITLE EXCEPTIONS

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NUMBER GA12002580.

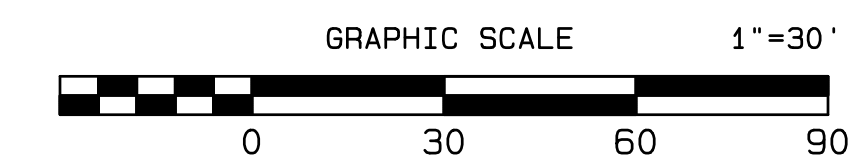
EFFECTIVE DATE: OCTOBER 9, 2012

SCHEDULE B-2 LISTS THE FOLLOWING:

9. Right of Way Easement from Mrs. May C. Bailey to Georgia Power Company, dated March 31, 1958 and recorded in Deed Book 3341, Page 422, records of the Superior Court of Fulton County, Georgia, (DOES NOT AFFECT FEE PARCEL - REFERS TO PROPERTY SOUTH OF PEACHTREE ROAD).
10. Easement from E.R. Wilkerson, Inc. to Georgia Power Company, dated February 6, 1962 and recorded in Deed Book 3848, Page 184, aforesaid records.
11. Permit to Trim Trees from E.R. Wilkerson, Inc. to Georgia Power Company, dated February 19, 1963 and recorded in Deed Book 4043, Page 292, aforesaid records.
12. Right of Way Easement from E.R. Wilkerson, Inc. to Georgia Power Company, dated January 19, 1963 and recorded in Deed Book 5034, Page 60, aforesaid records.
13. Easement from The American Oil Company to Georgia Power Company, dated January 28, 1969 and recorded in Deed Book 5034, Page 60, aforesaid records.
14. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
15. Terms and conditions of that certain Reciprocal Easement Agreement between TWFC Associates, Ltd., a Georgia limited partnership and Buckhead Partners, L.P., a Georgia limited partnership, dated January 16, 1987 and recorded in Deed Book 10795, Page 295, aforesaid records; as amended by First Amendment to Reciprocal Easement Agreement between Lois Buckhead, L.L.C., a Delaware limited liability company and Buckhead Partners, L.P., a Georgia limited partnership, dated May 5, 1995 and recorded in Deed Book 19517, Page 202, aforesaid records.
16. Unrecorded Agreement between Amoco Oil Company, Branch and Associates and TWFC Associates, Ltd., dated February 21, 1984, as amended by Addendum to Amoco Oil Company, dated August 12, 1977 and recorded in Deed Book 6761, Page 459, aforesaid records.
17. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
18. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
19. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
20. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
21. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
22. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
23. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
24. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
25. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
26. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
27. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.
28. Easement from Amoco Oil Company, dated September 29, 1978 and recorded in Deed Book 7107, Page 188, aforesaid records.



PEACHTREE ROAD
(AKA S.R. 141)
PIEDMONT ROAD
(AKA S.R. 237)
R/W VARIES



SURVEYOR'S CERTIFICATION

LOGAN GEORGIA ASSOCIATES, L.P., A DELAWARE LIMITED PARTNERSHIP, SUNTRUST BANK, A GEORGIA BANKING CORPORATION, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, HOLLAND & KNIGHT LLP, AND D2 LAW GROUP P.L.L.C.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED (THIS "SURVEY") WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 7(B)(1), 8, 9, 11(A), AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 26, 2012.

CERTIFICATION IS HEREBY MADE THAT: THIS SURVEY SATISFIES ALL STATE-REQUIRED MINIMUM STANDARDS. NO PORTION OF SUBJECT PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA EXCEPT AS SHOWN ON SURVEY. NO ENCROACHMENTS EXIST. SUBJECT PROPERTY HAS PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS AS SHOWN ON SURVEY.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NUMBER GA12002580, EFFECTIVE DATE: OCTOBER 9, 2012 (THE "TITLE EVIDENCE"), AND WE CERTIFY THAT THE LEGAL DESCRIPTION ON THIS SURVEY AND THE LEGAL DESCRIPTION IN THE TITLE EVIDENCE DESCRIBE ONE AND THE SAME PROPERTY.

Lloyd C. McNally, Jr.
1-23-2013
LLOYD C. MCNALLY, JR., R.L.S. NO. 2040. DATE

DATE: 12-26-12
SCALE: 1"=30'
PROJECT#: 124765B_ALTA_R1

REVISIONS: 1-23-2013
NO. 1 REVISE CAPTION, ADDRESS ATTORNEY COMMENTS

GEORGIA REGISTERED LAND SURVEYOR
No. 2040
LLOYD C. MCNALLY, JR.
1606 HWY. 29 SOUTH - LAWRENCEVILLE, GA 30044
PHONE: 770/963-8520 FAX: 770/963-3984

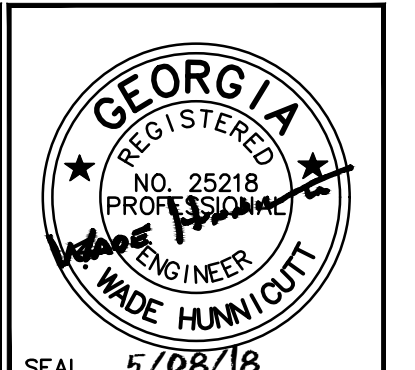
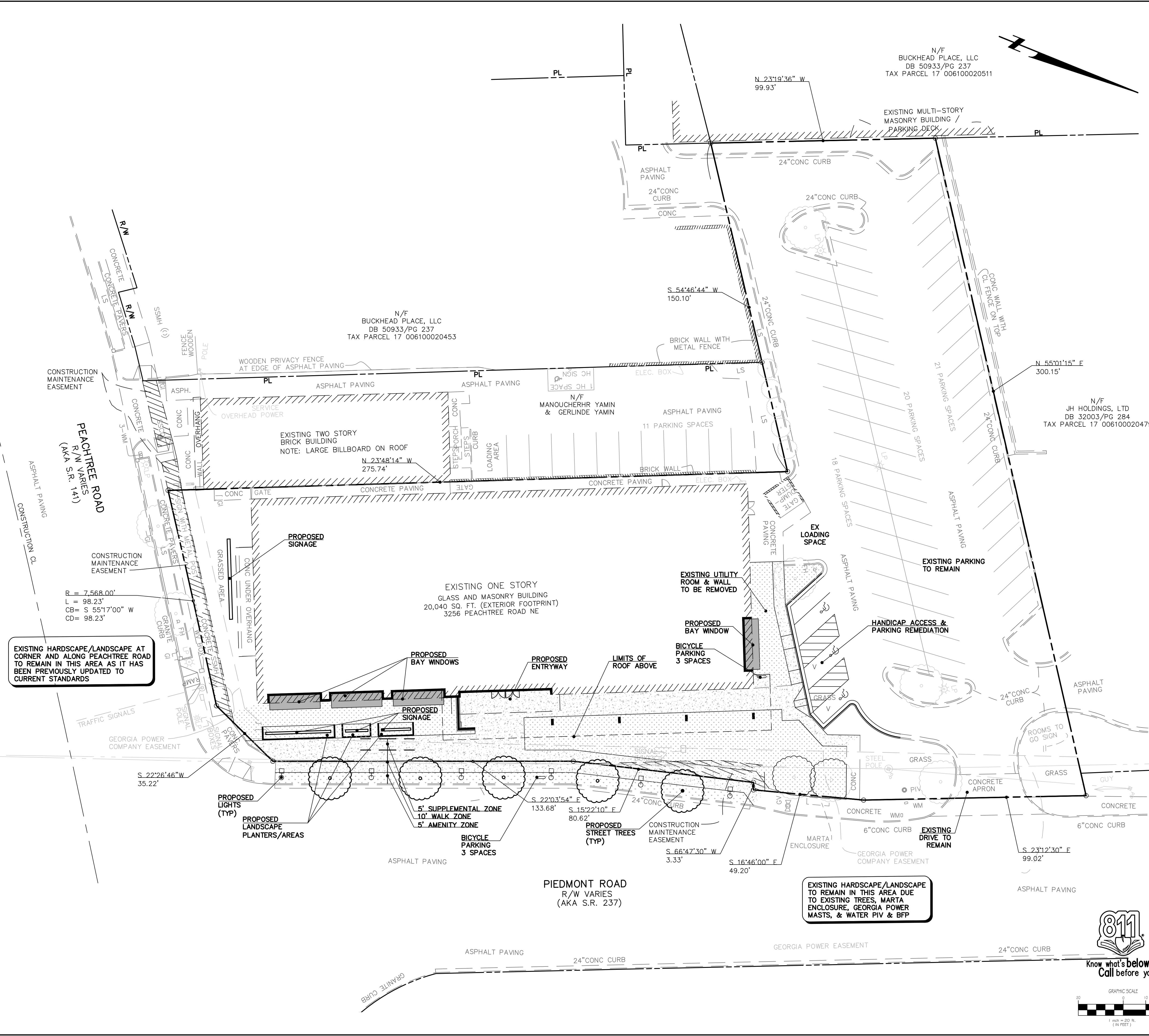
McNally & Patrick
A DELAWARE LIMITED PARTNERSHIP,
LOGAN GEORGIA ASSOCIATES, L.P., A GEORGIA BANKING CORPORATION,
SUNTRUST BANK, A GEORGIA BANKING CORPORATION,
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY,
HOLLAND & KNIGHT LLP, AND D2 LAW GROUP P.L.L.C.

ALTA/ACSM LAND TITLE SURVEY FOR:
LOGAN GEORGIA ASSOCIATES, L.P., A DELAWARE LIMITED PARTNERSHIP,
SUNTRUST BANK, A GEORGIA BANKING CORPORATION,
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY,
HOLLAND & KNIGHT LLP, AND D2 LAW GROUP P.L.L.C.

LAND LOT 61 OF THE 17TH DISTRICT
CITY OF ATLANTA, GEORGIA

Site Information

Current Zoning	SPT-9	
Zoning Subarea	4	
Setbacks		
Side Yard:	0'	
Rear Yard:	0'	
Use	Retail	
FAR		
Net Lot Area:	64,691 sf	1.49 acres
Gross Lot Area:	90,772 sf	2.08 acres
$(1/2 r/w \times \text{frontage}) + (1/2 r/w \times 1/2 r/w) + \text{Net Lot Area}$		
Proposed Bldg Area		
Bldg Footprint:	20,300 sf	
# of Bldgs:	1	
Total Area:	20,300 sf	
Proposed FAR:	0.31	20,300
Bonus FAR:	n/a	n/a
Max Allowable FAR:	8.20	744,330
Fenestration		
Non-Residential Min Req'd Arterial:	65%	
Non-Residential Provided Arterial:	71%	
Non-Residential Provided Arterial:	68%	
Nonresidential Useable Open Space		
Public Space Req'd (10% net):	6,469 sf	
Public Space Provided:	18,160 sf	
Parking		
Min Parking Req'd:	51	
Max Parking Allowed:	67	
Parking Provided:	63	
Loading Req'd:	1	
Loading Provided:	1	
Bicycle Req'd:	6	
Bicycle Provided:	6	



SEAL 5/08/18

phairengineering
CIVIL ENGINEERS
5825 LIVE OAK PARKWAY • SUITE 210
NORCROSS, GEORGIA 30093
TEL: 770-447-6400 / 770-447-6442 FAX

ROOMS TO GO
3868 PEACHTREE ROAD, NE
CITY OF ATLANTA, GEORGIA
LOGAN GEORGIA ASSOCIATES, LP.
11600 US HIGHWAY 90
SEFFNER, FLORIDA 33584

REVISIONS :

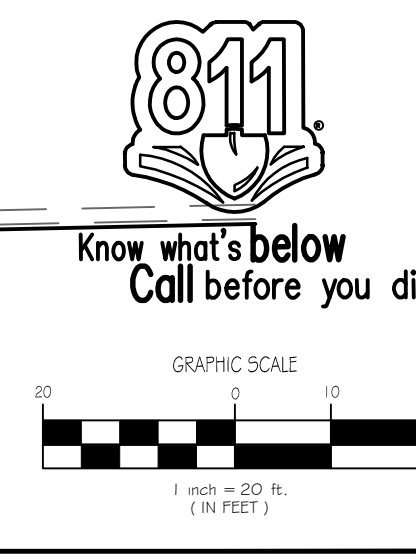
NO. & DATE	DESCRIPTION

DRAWING TITLE :

SAP SITE PLAN

DATE : 5/08/18
PROJECT : 171470
DRAWING NO. : SAP-1

SEQ. OF SCALE : 1" = 20'



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Applicants must appear in person to file an application. Applications by mail or courier will not be accepted.



APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)

For SPI, Beltline, LW, MR, MRC & NC Zoning Districts
City of Atlanta, Office of Zoning and Development (404-330-6145)

File No.: SAP-18-075

APPLICANT (name) Logan Georgia Associates, L.P. c/o Morris Manning & Martin LLP

ADDRESS 400 Perimeter Center Terrace, Suite 800, Atlanta, Georgia 30346

PHONE NO. 678-338-4566 **EMAIL** jfinkel@roomstogo.com

PROPERTY LANDOWNER Logan Georgia Associates, L.P.

ADDRESS 400 Perimeter Center Terrace, Suite 800, Atlanta, Georgia 30346

PHONE NO. 678-338-4566 **EMAIL** jfinkel@roomstogo.com

ADDRESS OF PROPERTY 3254 & 3256 Peachtree Road, and 3300 Piedmont Road

Land District 17 Land Lot 061 Council District 7 NPU B

Is property within the BeltLine Overlay District? Yes No Zoning Classification SPI-9/SA4

Is Inclusionary Zoning applicable to this project? Yes No (See additional requirements below)

Department of City Planning
Office of Zoning & Development

MAY 11 2018

65 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

Submittal Checklist (See detailed checklist on page 2):

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.
- Site Plan** (released for construction and sealed) **and Building Elevations:**
 - a. **Initial Submission:** **Four (4)** Site plans & **Two (2)** Elevations; with two (2) more copies if DRI or NPU review is required.
 - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form.
- Notice to Applicant:** Submit attached form with signature and date.
- Development Controls Specification Form**

Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.
- Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000.
- Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

Additional Submittal Requirements (as applicable):

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Certification: <https://www.atlantaga.gov/home/showdocument?id=33627>
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Pre-application conference with Zoning and Development Staff is recommended prior to SAP submittal. To arrange such a meeting contact Facia Brown at 404-330-6636 or fbrown@atlantaga.gov. **INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE** for the required 21-day NPU review period as detailed below. Submit (1) one application and (3) three sets of drawings, staff will make copies of the received SAP for you.
 - Mail a copy of the **submitted SAP application & drawings stamped received by the Office of Zoning and Development** to the NPU.
 - Submit a copy of U.S. Postal Service Certificate of Mailing and notarized Affidavit of NPU Notification as soon as possible to complete the application submission and begin the SAP review period.
- **Development Review Committee (DRC)*:** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review.
- **Development of Regional Impact (DRI) Study:** Developments either over 500,000 s.f. or having greater than 600 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
 - **Initial submission:** DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is **REQUIRED** for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: www.atlantawatershed.org/greeninfrastructure

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date 5/9/18 Signature of Applicant [Signature]

The City Code provides that Zoning and Development Director shall review each request for an SAP within 30 days of a filing of a **completed*** application. (Atlanta Code Chapter 16, Section 16-25). * **Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.**

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was approved or denied on _____
See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.

Signed for Director, Office of Zoning & Development

Staff Reviewer - Print Name

Project Summary

The applicant proposes to renovate the existing retail building occupied by Rooms To Go. The façade will be renovated as depicted in the elevations included in this application. No additional building square footage is being added in connection with this request. The streetscape on Piedmont Road will be updated to reflect the SPI-9 streetscape requirements. The streetscape on Peachtree Road was recently improved and will remain in place. Landscape areas and planters will be installed within the supplemental zone on Piedmont Road. Further, the signage for the project will be reconfigured to remove all of the existing signage and provide for monument signage on Peachtree Road and Piedmont Road. No changes are proposed to the vehicular access to the property or the existing parking area. Further, no variations are sought in connection with this request.

SAP-18-075
Department of City Planning
Office of Zoning & Development

MAY 11 2018

65 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA



Department of City Planning City of Atlanta Office of Planning
 SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
 Development Controls Specifications

MAY 11 2018 File # SAP 18-075

These forms are intended to assist applicants in preparing the required submission materials for a Special Administrative Permit approval. In addition to these forms to be completed by the applicant, all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

Definitions and Methods of Calculation				
<ul style="list-style-type: none"> • Net Lot Area (NLA) = length of property line X width of property line • GLA for corner lots = (NLA) + [(street "A" right-of-way width +2) X (street "A" length of property line)] + [(street "B" right-of-way width +2) X (street "B" length of property line) + [(street "A" right-of-way width +2) X (street "B" right-of-way width +2)] • GLA (with only one front yard adjacent to street) = (NLA) + [(street right-of-way width +2) X (length of front property line)] • GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width. • GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts. • Building Lot Coverage provided = (net lot area minus area of building footprint) + (net lot area) 				
Lot Size (in square footage)				
Gross Land Area (GLA)	90,772 sf			
Net Lot Area (NLA)	64,691 sf			
Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input type="checkbox"/> GLA, or <input type="checkbox"/> NLA				
	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage
Base Allowed	N/A	N/A	8.2	742,920 sf
Base Provided	0	0	0.313	20,300 sf (existing)
Bonus Allowed				
Bonus Provided				
Bonus FAR Program (check bonus utilized if applicable)				
Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>
Residential Units			Total Provided: 0	
Number of Units Provided (without bonus)			0	
Number of Bonus Units Provided (without workforce housing)			0	
Number of Bonus Workforce Housing Units Provided (20% required)			0	
Total Number of Units per Acre			0	
Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)				
	Percentage (%)		Square Footage	
Max. Permitted	N/A		N/A	
Provided				
Fenestration (% of each street-fronting facade calculated separately, per district regulations)				
	Residential Façade Percentage (%)		Non-residential Façade Percentage (%)	
	on Local Street	on Arterial/Collector	on Local Street	on Arterial/Collector
Min. Required				65%
Provided (specify for each street)				Piedmont - 71% Fenestration. Peachtree - 68% Fenestration.



Department of City Planning City of Atlanta Office of Planning
 Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications

MAY 11 2018 File # SAP-18-075

Residential Open Space Requirements (refer to Chapter 28 for clarification)

Definitions and Methods of Calculation

- **LUI** = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations)
- **TOSR** are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides.
 - TOSR required = (LUI table) X (GLA).
 - TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces).
- **UOSR** requirements are calculated using the residential FAR (of the corresponding net lot or GLA lot sized used to calculate FAR) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations.
 - UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR).
 - If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way).

TOSR: Total Open Space Requirements for Residential Only Projects

(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)

	Ratio	Total Square Footage
Minimum Required	N/A	
Provided		

Square Footage breakout of UNCOVERED TOSR amount provided by the following:

GLA minus building square footage	
Open exterior balconies (per Section 16-28 or district regs)	
Roof area improved as recreation space	

Square Footage breakout of COVERED TOSR amount provided by the following:

Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
--	--

UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments

(These are areas not counted towards Public Space Requirements)

	Ratio	Total Square Footage
Minimum Required	10%	6,469 sf
Provided	28%	18,160sf

Square Footage Breakdown of UOSR amounts provided by the following:

Balconies	
Rooftop Terraces	
Landscaped Areas and Plazas	18,160 sf (includes any sidewalk areas on private property)
Portions of Sidewalks on Private Property	
Portions of Landscaped Areas in Right-of-way adjacent to Property	



Department of City Planning City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications

MAY 11 2018

File # SAP-18-075

Non-Residential Public Space Requirements (refer to Chapter 28 for clarification)

55 Trinity Ave. S.W.
Atlanta, GA

PSR: Public Space Requirements for Non-residential & Mixed-use Developments <i>(These are areas not counted towards UOSR)</i>		
Public Space provided = (square footage area of exterior space) + (square footage area of interior space)		
	Percentage (%)	Total Square Footage
Minimum Required	N/A	
Provided		
Square Footage Breakdown of PSR amounts provided by the following:		
EXTERIOR (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)		
INTERIOR (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		

Parking and Loading Requirements (refer to district regulations and Chapter 28 for clarification)

Residential Unit Breakout				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
0	0	0	0	0
On-site Parking Spaces		Residential	Non-residential Uses	
Minimum Required	N/A		51	
Provided			63	
Maximum Allowed			67	
Bicycle Parking Spaces		Residential	Non-residential Uses	
Minimum Required	N/A		6	
Provided			6	
On-site Loading Spaces (see applicable zoning district requirements or Section 16-028.015)				
	Residential/Hotel	Non-residential Uses (break out by use)		
Minimum Required (specify for each use)	N/A	1 12'x35' space		
Provided (specify for each use)		1 12'x35' space		



City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized Authorization by Property Landowner

File # SAP 18-075
 Department of City Planning
 Office of Zoning & Development

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administrative Permit

MAY 11 2018

I, Logan Georgia Associates, L.P. SWEAR THAT I AM THE LANDOWNER
 owner(s) name Ste. 3350
Atlanta, GA

OF THE PROPERTY LOCATED AT: 3254 & 3256 Peachtree Road and 3300 Piedmont Road
(17 006100020057), (17 006100020255) and (17 006100020099)

AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA WHICH IS
 THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED
 BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Logan Georgia Associates, L.P.*

ADDRESS: 400 Perimeter Center Terrace, Suite 800 Atlanta, Georgia 30346

TELEPHONE: 678-338-4566 EMAIL: jfinkel@roomstogo.com

*Attorneys from Morris, Manning & Martin, LLP are authorized to
 file this application on behalf of Logan Georgia Associates, L.P.

[Signature]
 Signature of Property Landowner

Logan Georgia Associates, L.P.
 Print Name of Property Landowner

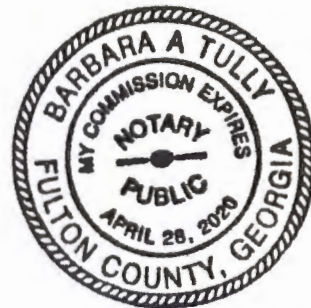
Personally Appeared
 Before Me

JEFFREY H. FINKEL, V.P.

Who Swears That The
 Information Contained
 In this Authorization
 Is True and Correct
 To The Best of His or Her
 Knowledge and Belief.

Barbara A Tully
 Signature of Notary Public

May 9th 2018
 Date





Department of City Planning
 City of Atlanta Office of Zoning & Development
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION

Notice to Applicant

MAY 11 2018

File # SAP 18 075

55 Trinity Ave S.W.

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD.

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Logan Georgia Associates, L.P.
 Applicant Printed Name

[Handwritten Signature]
 Applicant Signature

5/9/18
 Date



MAY 11 2018

55 Trinity Ave. S.W.
Ste. 3350

STORMWATER CONCEPT PLAN AND CONSULTATION MEETING RECORD

DEPARTMENT OF WATERSHED MANAGEMENT

CITY OF ATLANTA

Contact the Site Development Office, 404-330-6249, to schedule a meeting time.

Site Name Roums to Go Project Representative Wade Hargreaves
 Address 3656 Peachtree Rd NE Watershed Representative Aaron Wright
 Date of Meeting Request 4/5/18 Date of Meeting 4/5/18

For applicable developments (see below), a stormwater concept plan and consultation meeting is required early in the design process. The project's engineer and Site Development staff shall discuss the post-development stormwater management measures necessary for the proposed project and to assess constraints, opportunities and ideas for better site design, green infrastructure and runoff reduction techniques early in the design process. This consultation meeting shall be held prior to submittal of an application for a building permit (BB) or land disturbance permit (LD).

Per the City of Atlanta's Post Development Stormwater Management Ordinance, the project's engineer must present a Stormwater Concept Plan to Site Development Staff for the following activities:

- New commercial development (Greenfield) that involves the creation of any impervious cover;
- Commercial redevelopment that includes the creation, addition, or replacement of 500 square feet of impervious cover or more;
- Commercial development or redevelopment that disturbs one acre of land or more; and,

For more information regarding the applicability and exemptions of the City's Post Development Stormwater Management ordinance, see Chapter 74-Environment, Article X. Section 74-504 of the city code.

The Stormwater Concept Plan should include the following:

- Project description;
- A preliminary survey showing the following:
 - Property lines, existing conditions, general topography, general soil conditions, easements, and adjacent rights-of-way;
 - Location of all state waters, wetlands, applicable buffers, and floodplains;
- Any critical areas of the site which may affect the control of stormwater during and post-construction (steep slopes, eroded areas, buffers, invasive species, existing stormwater infrastructure, undersized culverts, floodplains, wetlands, etc.);
- A conceptual grading plan;
- Location and limit of proposed structures, land disturbing activities, demolition, and impervious surfaces;
- Infiltration rates shall be determined by soil surveys, on-site soil analysis, double-ring infiltrometer or percolation test. If a site has been previously developed or graded or contains urban soil types, a double-ring infiltrometer or percolation test is required. The test locations must be in the region where infiltration practices are proposed at the appropriate depth; and,
- Preliminary selection and location of proposed structural stormwater controls; location of existing and proposed conveyance systems such as grass channels, swales, and storm drains; flow paths; relationship of site to upstream and downstream properties and drainages; and preliminary location of proposed stream channel modifications, such as bridge or culvert crossings.

SAP-18-006

MAY 11 2018



55 Trinity Ave. S.W.
Atlanta, GA 30330

Prior to the issuance of a permit, a stormwater management plan must adequately address the following principles as required in the City's Post Development Stormwater ordinance, the Georgia Stormwater Management Manual (Blue Book), and the Coastal Stormwater Supplement (CSS):

NA **Runoff Reduction (RR) and Green Infrastructure (GI):** Discuss RR formula, infiltration techniques, better site design and limiting impervious surface, offsite drainage, rainwater harvesting, and GI incentives: 1) credit system in accordance with the CSS, 2) 1.0" runoff reduction vs. 1.7" water quality, 3) hardscape exemption, 4) for small commercial redevelopment sites involving less than 5,000 square feet of impervious surface (new or replaced), Stream Channel Protection, Overbank Flood, and Extreme Flood Protection will be waived if RR requirements are met, 5) rainwater harvesting techniques and potential water/sewer bill savings;

TSD **Water Quality:** Discuss exemption if 1.0" RR is provided, multiplier, credit system, high risk operations, hot spots, and proprietary devices. If the 1.0" runoff volume cannot be reduced on site (RR requirement), engineer must provide a written analysis as to why and appropriate documentation to support the claim during BB or LD plan review process. If proprietary measures are proposed, provide all necessary documentation (See Chapter 3.3.10.2 of the Blue Book for guidelines for using proprietary systems). Staff will determine the appropriateness of said proprietary device based on site conditions;

NA **Stream Channel Protection:** Discuss preservation of buffers, 24-hr extended release of 1-year, 24-hr rainfall event, velocity dissipation, and waivers (< 2.0 cfs OR discharging into larger systems where streambank and channel stabilization will not be affected);

NA **Overbank Flood Protection:** Discuss new vs. redevelopment rate reduction requirements, what is considered pre-development impervious cover, and the formula for calculating rate reduction on redevelopment sites up to 25-yr storm:

PIC = Pre-development Impervious Cover

PDRR = Peak Discharge Rate Reduction;

NA **Extreme Flood Protection:** Discuss new requirement (peak discharge rate reduction does not apply to 100-yr storm event), no increase allowed from pre- to post-development peak discharge rate for 100-year storm event, etc.;

NA **Downstream Analysis:** Discuss size of basin to be studied, any known downstream flooding or drainage issues, etc.;

Operations and Maintenance Plan / Inspections and Maintenance Agreement: Discuss maintenance requirements.

NOTE: Signature on this document does **NOT** constitute design approval, nor is it intended as a comprehensive list of all issues. Signature authorizes applicant to proceed with application for a land development/building permit. Issues identified must be addressed prior to plan approval by Site Development.

FOR ADMINISTRATIVE USE ONLY

Issues Discussed	Potential Opportunities and Comments
<input type="checkbox"/> Stream buffer	<u>LR not reqd. (under 5000 sqft new impervious)</u>
<input type="checkbox"/> Wetland	
<input type="checkbox"/> Floodplain	<u>WQ will be reqd. design TSD</u>
<input type="checkbox"/> Easement	
<input type="checkbox"/> Steep slope	
<input type="checkbox"/> RR limitations	
<input type="checkbox"/> Other	

Reviewed by:

Aaron Wright
(Print Name)

[Signature]
(Signature)

RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070

PAID
CITY OF ATLANTA
MAY 11 2018

EX OFFICIO MUNICIPAL
REVENUE COLLECTOR

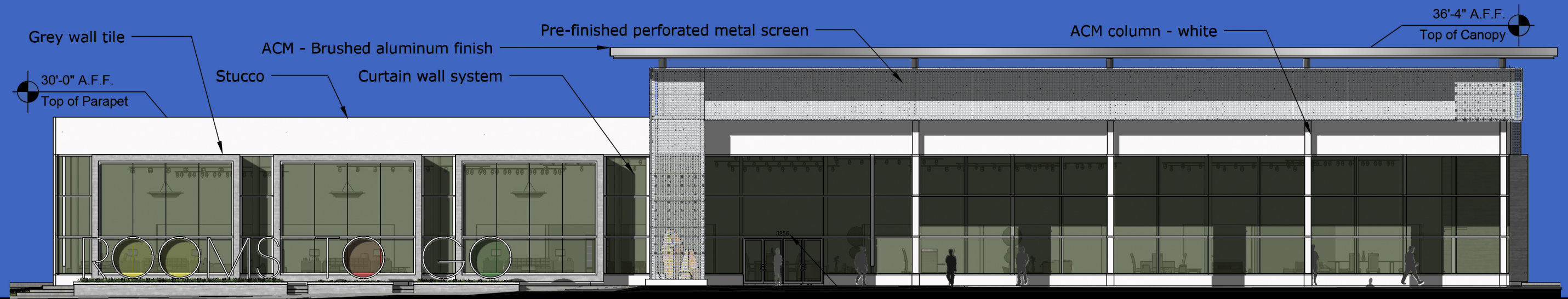


Application: SAP-18-075
Application Type: Planning/SAP/SPI/NA
Address: 3254 PEACHTREE RD NE, ATLANTA, GA 30305
Owner Name: LOGAN GEORGIA ASSOCIATES L P
Owner Address:
Application Name:

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
579806	000000850	\$250.00	05/11/2018	PAMITCHELL		

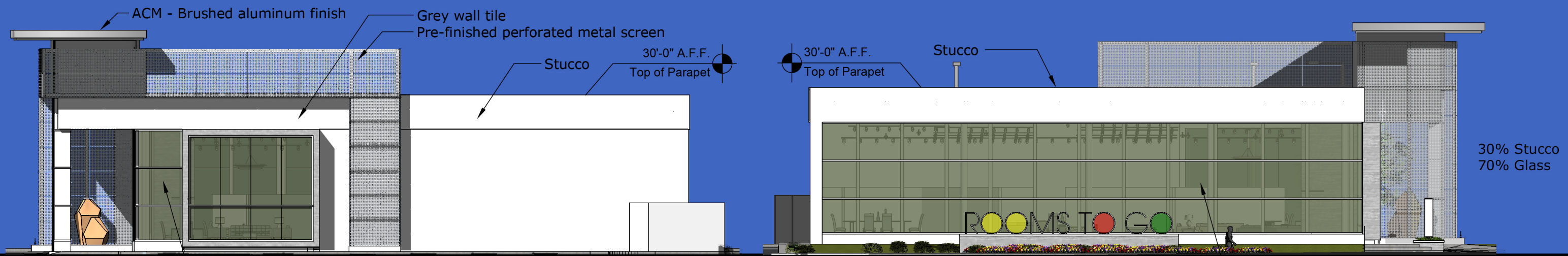
Owner Info.: LOGAN GEORGIA ASSOCIATES L P

Work Description: Renovate the existing retail building occupied by Rooms To Go. Addresses include: 3254 & 3256 Peachtree Road 3300 Piedmont Road



Piedmont Ave Elevation

Scale 1/16" = 1'-0"

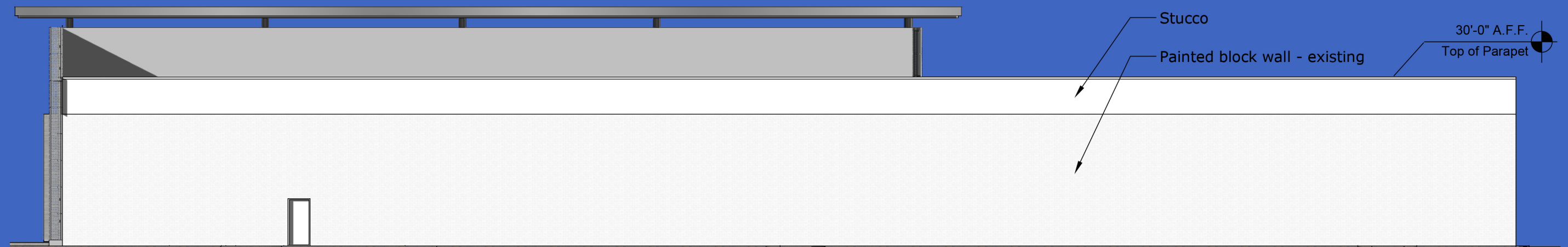


North Elevation

Scale 1/16" = 1'-0"

Peachtree Street Elevation

Scale 1/16" = 1'-0"



West Elevation

Scale 1/16" = 1'-0"