



**BRICK**  
TAYLOR CLAY  
MODULAR, RUNNING BOND  
COLOR: GRAY BLEND, WIRE CUT



**STONE WATERTABLE**  
IBISON STONE SUPPLY  
SANDSTONE, BATTERED  
APPROXIMATELY 8" H x 24" L  
COLOR: BROWN RANGE



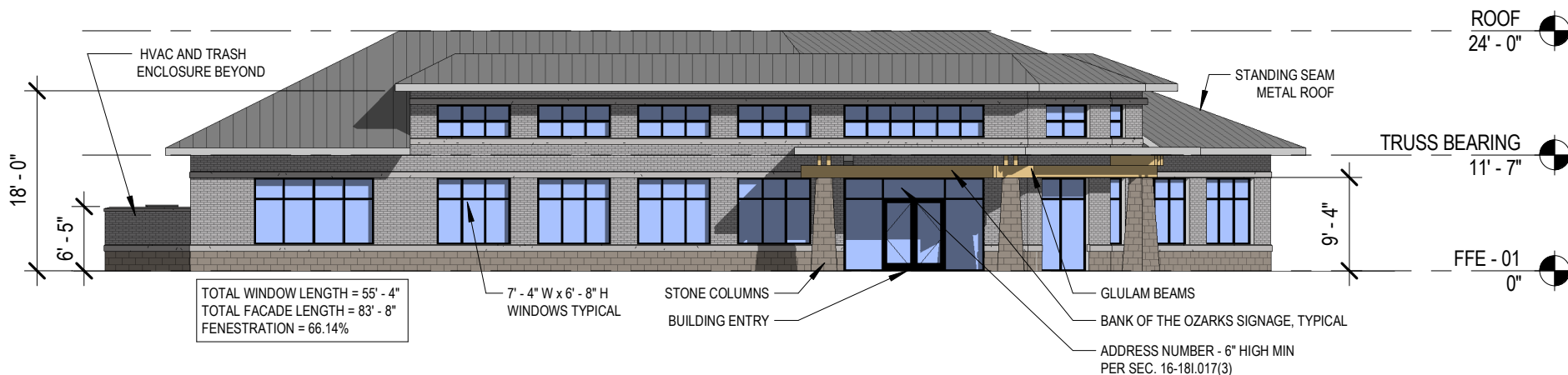
**PRECAST CONCRETE**  
8" & 10" ACCENT BANDS  
COLOR: LIGHT GRAY



**STANDING SEAM METAL ROOF**  
BERRIDGE MANUFACTURING CO.  
COLOR: BUCKSKIN



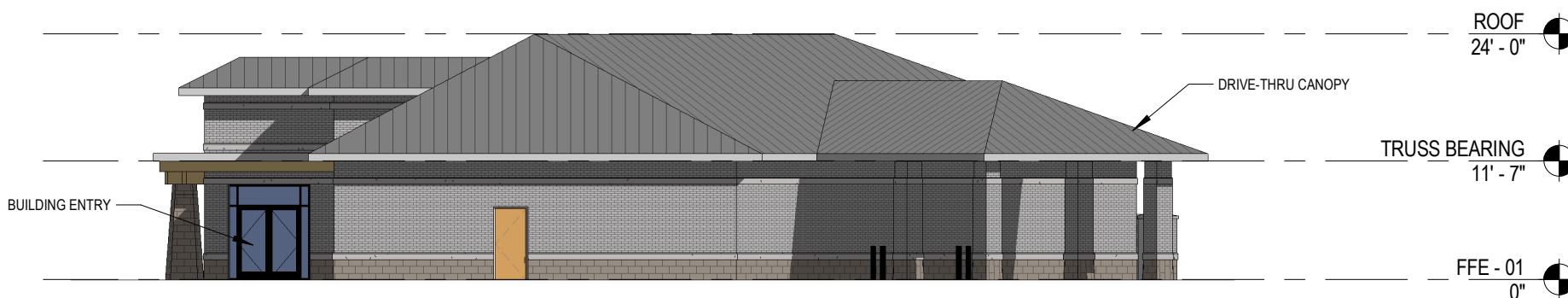
**GLULAM BEAMS**



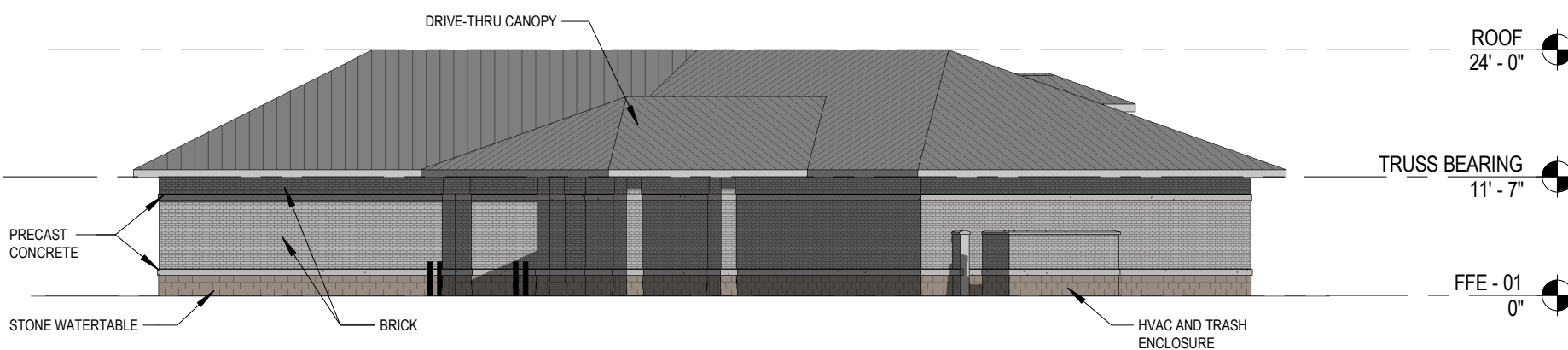
**PROPOSED NORTHWEST ELEVATION**



**PROPOSED WEST ELEVATION**

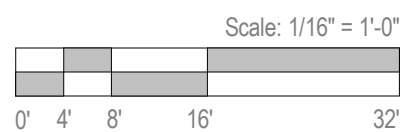


**PROPOSED SOUTH ELEVATION**



**PROPOSED EAST ELEVATION**

NOTE: BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY. THE EXTERIOR DESIGN AND MATERIAL SELECTIONS ARE PRELIMINARY AND SUBJECT TO MINOR CHANGES.



Applicants must appear in person to file an application. Applications by mail or courier will not be accepted.



**APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)**

For SPI, Beltline, LW, MR, MRC & NC Zoning Districts  
City of Atlanta, Office of Zoning and Development (404-330-6145)

File No.: \_\_\_\_\_

APPLICANT (name) Bank of the Ozarks, c/o Morris, Manning & Martin, LLP

ADDRESS 17901 Chenal Parkway, Little Rock, AR 72223

PHONE NO. 501-978-2204 EMAIL medwards@bankozarks.com

PROPERTY LANDOWNER The Adams Partnership, LLP

ADDRESS 595 West Granada Blvd, Suite A, Ormond Beach, FL 32174

PHONE NO. 386-677-3431 EMAIL \_\_\_\_\_

ADDRESS OF PROPERTY 3215 Peachtree Road (17 00610006109)

Land District 17 Land Lot 61 Council District 7 NPU B

Is property within the BeltLine Overlay District? Yes  No  Zoning Classification SP-9, SA1

Is Inclusionary Zoning applicable to this project? Yes  No  (See additional requirements below)

**Submittal Checklist (See detailed checklist on page 2):**

- Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- Property Survey:** Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.
- Site Plan** (released for construction and sealed) **and Building Elevations:**
  - a. **Initial Submission: Four (4)** Site plans & **Two (2)** Elevations; with two (2) more copies if DRI or NPU review is required.
  - b. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Zoning and Development.
- Property Owner Authorization:** Submit required notarized owner consent per attached form.
- Notice to Applicant:** Submit attached form with signature and date.
- Development Controls Specification Form**

**Fees (non-refundable):** Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.

- Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.  Developments < 50,000 sq.ft. of floor area: \$500.
- Developments 50,000 to 250,000 sq.ft. of floor area: \$1,000.  Developments ≥ 250,000 sq.ft. of floor area: \$1,500.

**Additional Submittal Requirements (as applicable):**

- **Inclusionary Zoning:** All new or conversion multifamily residential rental projects with 10 or more units in the Beltline Overlay District OR Westside neighborhoods of English Avenue, Vine City, Ashview Heights, or AUC must complete and submit the Inclusionary Zoning Certification Form with their application. Certification: <https://www.atlantaga.gov/home/showdocument?id=33627>
- **Beltline, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Pre-application conference with Zoning and Development Staff is recommended prior to SAP submittal. To arrange such a meeting contact Facia Brown at 404-330-6636 or [fbrown@atlantaga.gov](mailto:fbrown@atlantaga.gov). **INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE** for the required 21-day NPU review period as detailed below. Submit (1) one application and (3) three sets of drawings, staff will make copies of the received SAP for you.
  - Mail a copy of the **submitted SAP application & drawings stamped received by the Office of Zoning and Development** to the NPU.
  - Submit a copy of U.S. Postal Service Certificate of Mailing and notarized Affidavit of NPU Notification as soon as possible to complete the application submission and begin the SAP review period.
- **Development Review Committee (DRC)\*:** Projects in the Beltline & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review.
- **Development of Regional Impact (DRI) Study:** Developments either over 500,000 s.f. or having greater than 600 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
  - Initial submission: DRI Form 1 with the SAP application. Zoning and Development staff will then submit information to GRTA and ARC.
- **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is REQUIRED for any site disturbance to determine applicable storm water work. Call 404-330-6249 or visit: [www.atlantawatershed.org/greeninfrastructure](http://www.atlantawatershed.org/greeninfrastructure)

**I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.**

Date 5/23/18 Signature of Applicant [Signature] SVP

The City Code provides that Zoning and Development Director shall review each request for an SAP within 30 days of a filing of a **completed\*** application. (Atlanta Code Chapter 16, Section 16-25). \* **Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.**

(FOR OFFICE OF ZONING AND DEVELOPMENT OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was  approved or  denied on \_\_\_\_\_  
See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Notarized Authorization by Property Landowner

File # \_\_\_\_\_

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administrative Permit

I, The Adams Partnership, LLP SWEAR THAT I AM THE LANDOWNER  
 owner(s) name

OF THE PROPERTY LOCATED AT: 3215 Peachtree Road

AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA WHICH IS  
 THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED  
 BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Bank of the Ozarks, c/o Morris, Manning & Martin, LLP

ADDRESS: 17901 Chenal Parkway

Little Rock, AR 72223

TELEPHONE: 501-978-2204

EMAIL: medwards@bankozarks.com

Signature of Property Landowner  
*Noah C. McKinnon, Jr., solely in his  
 capacity as Designated Manager, and not in  
 his individual or any other capacity  
 The Adams Partnership, LLP*  
 Print Name of Property Landowner

Personally Appeared  
 Before Me

Noah C. McKinnon, Jr.

Who Swears That The  
 Information Contained  
 in this Authorization  
 is True and Correct  
 To The Best of His or Her  
 Knowledge and Belief.

Signature of Notary Public

6-4-18  
 Date



## **PROJECT SUMMARY AND VARIATION LIST**

### **3215 Peachtree Road**

#### **Project Summary**

This special administrative permit application proposes the construction of a 4,730 square foot bank with a drive in facility at the rear of the building. Access will be provided to the property from Peachtree Road and East Shadowlawn Avenue. Parking will be provided in the rear of the site.

#### **Variations Requested**

1. **Section 16-181.020(2)(b)** - This application requests a variation to allow a driveway to be closer than 100 feet from the nearest intersection or driveway on the same block face on Peachtree Road. A curb cut currently exists in the location of the proposed curb cut. The applicant has located the curb cut as far as possible from the intersection of Peachtree Road and East Shadowlawn Avenue, however, the property frontage is only 175 feet so any curb cut on Peachtree Road would require this variation. The location of the curb cut is in the most optimal for traffic management. The distance is 79.8 feet from centerline to centerline of the curb cuts.



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
**Development Controls Specifications (Required)**

File # \_\_\_\_\_

Developmental Controls forms are required to be completed by the applicant, and all applicable specifications should be shown on the **site plan in chart form**. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

<b>Definitions and Methods of Calculation</b>						
<ul style="list-style-type: none"> <li>• <u>Net Lot Area (NLA)</u> = length of property line X width of property line</li> <li>• <u>GLA for corner lots</u> = (NLA) + [(street "A" right-of-way width +2) X (street "A" length of property line)] + [(street "B" right-of-way width +2) X (street "B" length of property line) + [(street "A" right-of-way width +2) X (street "B" right-of-way width +2)]</li> <li>• <u>GLA (with only one front yard adjacent to street)</u> = (NLA) + [(street right-of-way width +2) X (length of front property line)]</li> <li>• GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width.</li> <li>• GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts.</li> <li>• <u>Building Lot Coverage provided</u> = (net lot area minus area of building footprint) + (net lot area)</li> </ul>						
<b>Lot Size (in square footage)</b>						
Gross Land Area (GLA)	38,175.8					
Net Lot Area (NLA)	27,405					
<b>Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input type="checkbox"/> GLA, or <input type="checkbox"/> NLA</b>						
	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage		
Base Allowed	N/A	N/A	8.2	224,721		
<b>Base Provided</b>	<b>N/A</b>	N/A	0.18	4,730		
Bonus Allowed						
<b>Bonus Provided</b>						
<b>Bonus FAR Program (check bonus utilized if applicable)</b>						
Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>		
<b>Residential Units</b>			<b>Total Provided: None</b>			
Number of Units Provided (without bonus)						
Number of Bonus Units Provided (without workforce housing)						
Number of Bonus Workforce Housing Units Provided (20% required)						
Total Number of Units per Acre						
<b>Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)</b>						
	Percentage (%)			Square Footage		
Max. Permitted	N/A			N/A		
Provided						
<b>Fenestration (% of each street-fronting facade calculated separately, per district regulations)</b>						
	Residential Façade Percentage (%)			Non-residential Façade Percentage (%)		
	Local Street	Arterial/Collector	Beltline Corridor	Local Street	Arterial/Collector	Beltline Corridor
Min. Required				65%	65%	N/A
Provided (specify for each street)				66.14% East Shadowlawn Avenue	70.55% Peachtree Road	N/A



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
**Development Controls Specifications (Required)**

File # \_\_\_\_\_

**Residential Open Space Requirements** (refer to Chapter 28 for clarification)

<b>Definitions and Methods of Calculation</b>		
<ul style="list-style-type: none"> <li>• <b>LUI</b> = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations)</li> <li>• <b>TOSR</b> are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides.               <ul style="list-style-type: none"> <li>○ TOSR required = (LUI table) X (GLA).</li> <li>○ TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces).</li> </ul> </li> <li>• <b>UOSR</b> requirements are calculated using the residential FAR (of the <u>corresponding net lot or GLA lot sized used to calculate FAR</u>) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations.               <ul style="list-style-type: none"> <li>○ UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR).</li> <li>○ If GLA is used for USOR, than the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way).</li> </ul> </li> </ul>		
<b>TOSR: Total Open Space Requirements for Residential Only Projects</b>		
<i>(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)</i>		
	Ratio	Total Square Footage
Minimum Required	N/A	
Provided		
<b>Square Footage breakout of UNCOVERED TOSR amount provided by the following:</b>		
GLA minus building square footage		
Open exterior balconies (per Section 16-28 or district regs)		
Roof area improved as recreation space		
<b>Square Footage breakout of COVERED TOSR amount provided by the following:</b>		
Areas closed to the sky (roof) but having two sides with a minimum of 50% open		
<b>UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments</b>		
<i>(These are areas not counted towards Public Space Requirements)</i>		
	Ratio	Total Square Footage
Minimum Required	N/A - under 1 acre	
Provided		
<b>Square Footage Breakdown of UOSR amounts provided by the following:</b>		
Balconies		
Rooftop Terraces		
Landscaped Areas and Plazas		
Portions of Sidewalks on Private Property		
Portions of Landscaped Areas in Right-of-way adjacent to Property		



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
**Development Controls Specifications (Required)**

File # \_\_\_\_\_

**Non-Residential Public Space Requirements** (refer to Chapter 28 for clarification)

<b>PSR: Public Space Requirements for Non-residential &amp; Mixed-use Developments</b> (These are areas not counted towards UOSR)		
<i>Public Space provided = (square footage area of exterior space) + (square footage area of interior space)</i>		
	Percentage (%)	Total Square Footage
Minimum Required	None	N/A
Provided	None	N/A
<b>Square Footage Breakdown of PSR amounts provided by the following:</b>		
<b>EXTERIOR</b> (accessible to general public such as landscaped areas, plazas, terraces, patios, observation decks, fountains, sidewalks, common areas, open recreational spaces, etc.)		N/A
<b>INTERIOR</b> (ground-level area accessible to the general public during normal business hours such as malls, galleries, atria, lobbies, concourses, plaza, walkways, fountains, landscape areas for public recreation, pedestrian seating, or eating and similar public amenities)		

**Parking and Loading Requirements** (refer to district regulations and Chapter 28 for clarification)

<b>Residential Unit Breakout</b>				
Number of Studios	Number of 1 BR	Number of 2 BR	Number of 3 BR	Number of 4 BR
<b>On-site Parking Spaces</b>	<b>Residential</b>		<b>Non-residential Uses</b>	
Minimum Required			0	
Provided			10	
Maximum Allowed			10	
<b>Bicycle Parking Spaces</b>	<b>Residential</b>		<b>Non-residential Uses</b>	
Minimum Required			2	
Provided			2	
<b>On-site Loading Spaces</b> (see applicable zoning district requirements or Section 16-028.015)				
	<b>Residential/Hotel</b>		<b>Non-residential Uses (break out by use)</b>	
Minimum Required (specify for each use)			None	
Provided (specify for each use)			None	



City of Atlanta Office of Zoning & Development  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**  
Notice to Applicant

File # \_\_\_\_\_

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

**It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted.** The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Melvin L. Edwards  
 Applicant Printed Name

[Handwritten Signature]  
 Applicant Signature

5/23/18  
 Date





**STORMWATER CONCEPT PLAN AND CONSULTATION MEETING RECORD**  
**DEPARTMENT OF WATERSHED MANAGEMENT**  
**CITY OF ATLANTA**

Contact the Site Development Office, 404-330-6249, to schedule a meeting time.

Site Name Bank of Ozarks Project Representative Andrew Blakey  
 Address 3215 Peachtree Rd. Watershed Representative B. Amos  
 Date of Meeting Request 5-31-18 Date of Meeting 6-7-18

For applicable developments (see below), a stormwater concept plan and consultation meeting is required early in the design process. The project's engineer and Site Development staff shall discuss the post-development stormwater management measures necessary for the proposed project and to assess constraints, opportunities and ideas for better site design, green infrastructure and runoff reduction techniques early in the design process. This consultation meeting shall be held prior to submittal of an application for a building permit (BB) or land disturbance permit (LD).

Per the City of Atlanta's Post Development Stormwater Management Ordinance, the project's engineer must present a Stormwater Concept Plan to Site Development Staff for the following activities:

- New commercial development (Greenfield) that involves the creation of any impervious cover;
- Commercial redevelopment that includes the creation, addition, or replacement of 500 square feet of impervious cover or more;
- Commercial development or redevelopment that disturbs one acre of land or more; and,

For more information regarding the applicability and exemptions of the City's Post Development Stormwater Management ordinance, see Chapter 74-Environment, Article X. Section 74-504 of the city code.

The Stormwater Concept Plan should include the following:

- Project description;
- A preliminary survey showing the following:
  - Property lines, existing conditions, general topography, general soil conditions, easements, and adjacent rights-of-way;
  - Location of all state waters, wetlands, applicable buffers, and floodplains;
- Any critical areas of the site which may affect the control of stormwater during and post-construction (steep slopes, eroded areas, buffers, invasive species, existing stormwater infrastructure, undersized culverts, floodplains, wetlands, etc.);
- A conceptual grading plan;
- Location and limit of proposed structures, land disturbing activities, demolition, and impervious surfaces;
- Infiltration rates shall be determined by soil surveys, on-site soil analysis, double-ring infiltrometer or percolation test. If a site has been previously developed or graded or contains urban soil types, a double-ring infiltrometer or percolation test is required. The test locations must be in the region where infiltration practices are proposed at the appropriate depth; and,
- Preliminary selection and location of proposed structural stormwater controls; location of existing and proposed conveyance systems such as grass channels, swales, and storm drains; flow paths; relationship of site to upstream and downstream properties and drainages; and preliminary location of proposed stream channel modifications, such as bridge or culvert crossings.



Prior to the issuance of a permit, a stormwater management plan must adequately address the following principles as required in the City's Post Development Stormwater ordinance, the Georgia Stormwater Management Manual (Blue Book), and the Coastal Stormwater Supplement (CSS):

**Runoff Reduction (RR) and Green Infrastructure (GI):** Discuss RR formula, infiltration techniques, better site design and limiting impervious surface, offsite drainage, rainwater harvesting, and GI incentives: 1) credit system in accordance with the CSS, 2) 1.0" runoff reduction vs. 1.2" water quality, 3) hardscape exemption, 4) for small commercial redevelopment sites involving less than 5,000 square feet of impervious surface (new or replaced), Stream Channel Protection, Overbank Flood, and Extreme Flood Protection will be waived if RR requirements are met, 5) rainwater harvesting techniques and potential water/sewer bill savings,

**Water Quality:** Discuss exemption if 1.0" RR is provided, multiplier, credit system, high risk operations, hot spots, and proprietary devices. If the 1.0" runoff volume cannot be reduced on site (RR requirement), engineer must provide a written analysis as to why and appropriate documentation to support the claim during BB or LD plan review process. If proprietary measures are proposed, provide all necessary documentation (See Chapter 3.3.10.2 of the Blue Book for guidelines for using proprietary systems). Staff will determine the appropriateness of said proprietary device based on site conditions,

**Stream Channel Protection:** Discuss preservation of buffers, 24-hr extended release of 1-year, 24-hr rainfall event, velocity dissipation, and waivers (< 2.0 cfs **OR** discharging into larger systems where streambank and channel stabilization will not be affected);

**Overbank Flood Protection:** Discuss new vs. redevelopment rate reduction requirements, what is considered pre-development impervious cover, and the formula for calculating rate reduction on redevelopment sites up to 25-yr storm:

*PIC = Pre-development Impervious Cover*

*PDRR = Peak Discharge Rate Reduction;*

**Extreme Flood Protection:** Discuss new requirement (peak discharge rate reduction does not apply to 100-yr storm event), no increase allowed from pre- to post-development peak discharge rate for 100-year storm event, etc.;

**Downstream Analysis:** Discuss size of basin to be studied, any known downstream flooding or drainage issues, etc.;

**Operations and Maintenance Plan / Inspections and Maintenance Agreement:** Discuss maintenance requirements.

**NOTE:** Signature on this document does **NOT** constitute design approval, nor is it intended as a comprehensive list of all issues. Signature authorizes applicant to proceed with application for a land development/building permit. Issues identified must be addressed prior to plan approval by Site Development.

**FOR ADMINISTRATIVE USE ONLY**

**Issues Discussed**

- Stream buffer
- Wetland
- Floodplain
- Easement
- Steep slope
- RR limitations
- Other

**Potential Opportunities and Comments**

bio retention, add catch basins on  
 shadow lanes

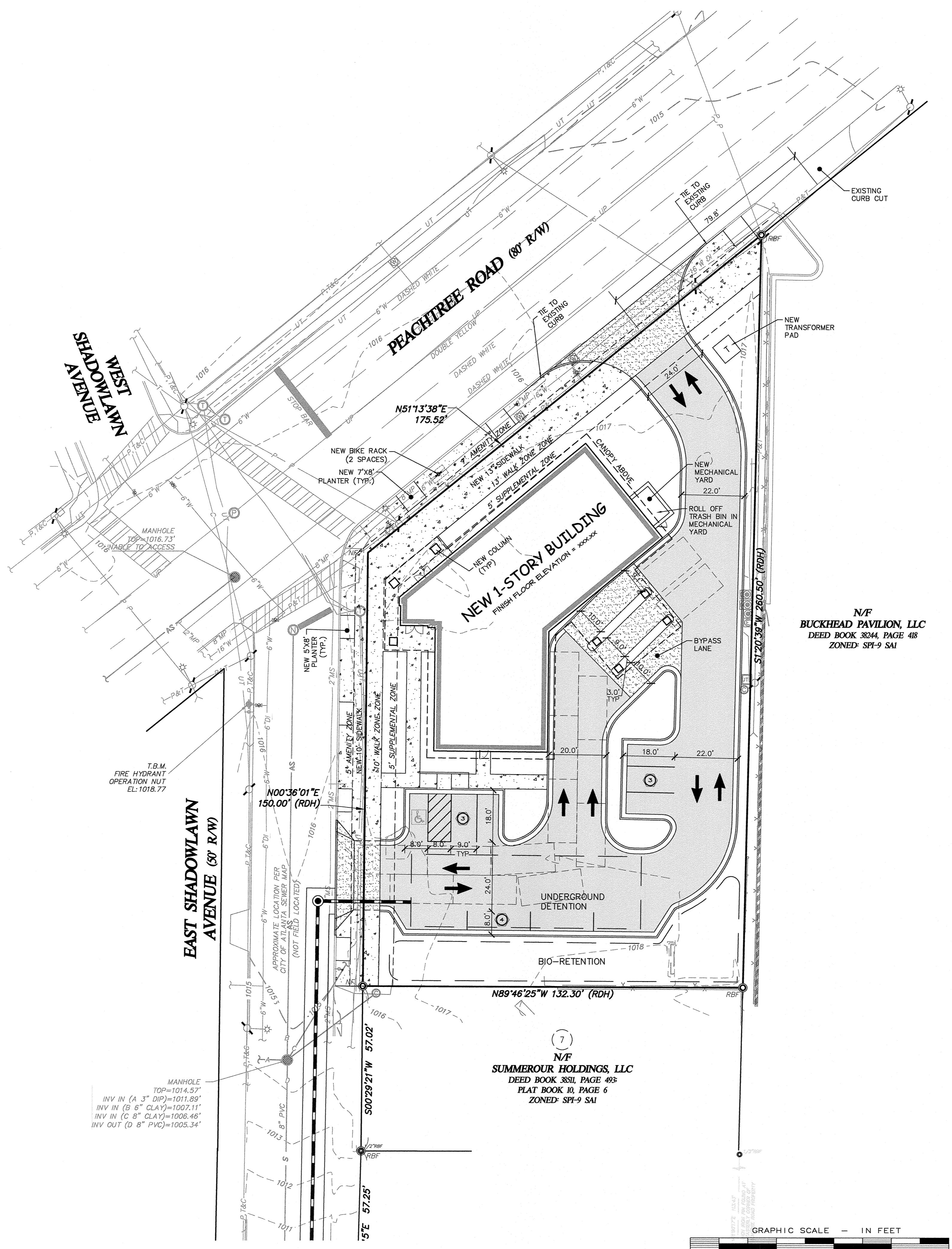
Reviewed by:

*BARR Amos*  
 (Print Name)

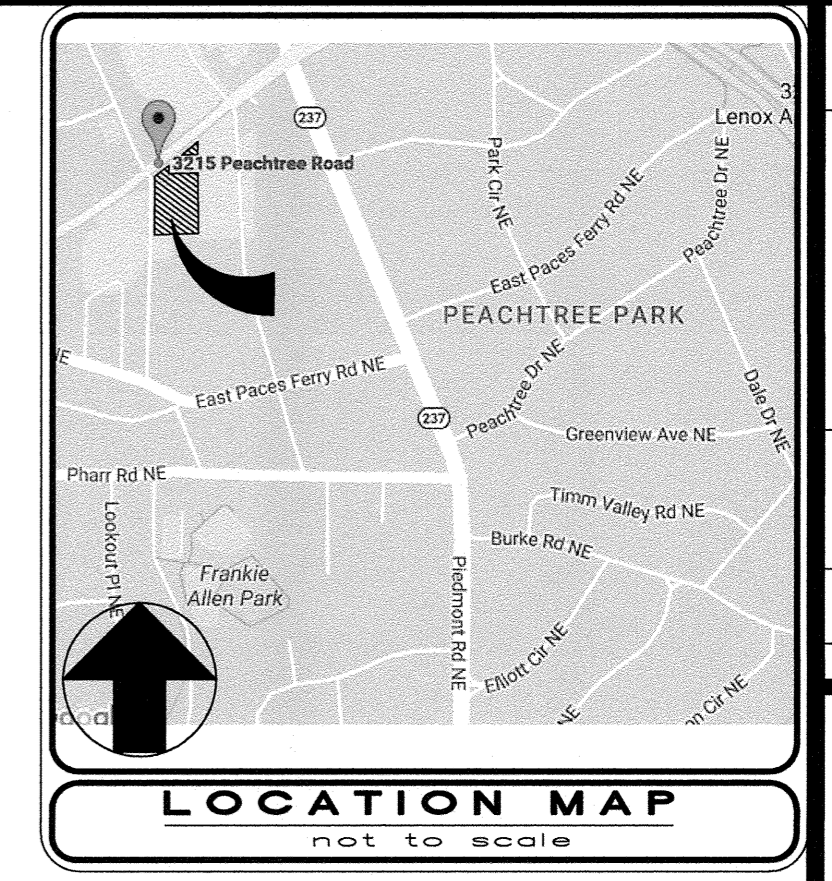
*[Signature]*  
 (Signature)

**LEGEND**

- EXIST. POWER POLE
- EXIST. POWER POLE V/GUY WIRE
- EXIST. LIGHT STANDARD
- EXIST. ELECTRIC BOX or TRANSFORMER
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. UNKNOWN UTILITY STRUCTURE
- EXIST. TELEPHONE MONUMENT
- EXIST. TELEPHONE BOX
- EXIST. GAS METER
- EXIST. GAS VALVE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. CLEAN OUT
- EXIST. JUNCTION BOX/STORM SEWER MANHOLE
- EXIST. CATCH BASIN
- EXIST. DROP INLET
- EXIST. STORM SEWER LINE
- EXIST. FLARED END SECTION
- EXIST. YARD INLET
- EXIST. SANITARY SEWER LINE
- EXIST. OVERHEAD POWER LINE
- EXIST. OVERHEAD TELEPHONE LINE
- APPROX. LOCATION UNDERGROUND POWER LINE
- APPROX. LOCATION UNDERGROUND TELEPHONE LINE
- APPROX. LOCATION UNDERGROUND GAS LINE
- APPROX. LOCATION UNDERGROUND WATER LINE
- APPROX. LOCATION CHILLED WATER LINE
- APPROX. LOCATION STEAM WATER LINE
- EXIST. FENCE LINE (AS NOTED)
- EXIST. SIGN (AS NOTED)
- EXIST. TREE (AS NOTED)
- TEMPORARY BENCHMARK (TBM)
- CONCRETE MONUMENT FOUND
- PROPERTY CORNER
- FIELD LOCATED PIN (AS NOTED)
- EXIST. SPOT ELEVATION
- EXIST. CONTOUR ELEVATION
- IRON PIN SET (1/2" REBAR)
- IRON PIN FOUND
- POINT OF BEGINNING
- RIGHT-OF-WAY
- N/W OR FORMERLY
- BUILDING SETBACK LINE
- DEED BOOK
- PAGE
- TOP OF CURB
- BOTTOM OF CURB
- REINFORCED CONCRETE PIPE
- CORRUGATED METAL PIPE
- PBL/VINYL CHLORIDE PIPE
- DUCTILE IRON PIPE
- HDPPE
- INVERT
- THRDT
- CONCRETE
- CURB & GUTTER
- AMERICANS WITH DISABILITIES ACT
- NEW SANITARY SEWER LINE
- NEW CHILLED WATER LINE
- NEW STEAM WATER LINE
- NEW FIRE LINE
- NEW WATER LINE
- NEW GAS LINE
- NEW STORM SEWER
- NEW GATE VALVE
- NEW FIRE HYDRANT
- NEW DROP INLET
- NEW HEADWALL
- NEW CATCH BASIN
- NEW MANHOLE
- NEW CLEANOUT
- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW NUMBER OF PARKING SPACES
- STORM STRUCTURE IDENTIFICATION
- SANITARY STRUCTURE IDENTIFICATION
- NEW ASPHALT PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- EXISTING PAVEMENT/ C&G TO BE REMOVED
- STRUCTURES/ITEMS TO BE REMOVED
- TRAFFIC DIRECTION ARROWS (FOR INFORMATION ONLY)
- NEW ADA ACCESSIBLE SYMBOL



Grid North (CA West Zone)  
TPA



**OWNER**  
**The Adams Partnership, LLP**  
 585 West Granada Blvd, Suite A  
 Ormond Beach, FL 32174  
 Tel: (386)677-3431

**DEVELOPER**  
**Bank of the Ozarks**  
 17901 Chenal Parkway  
 Little Rock, AR 72223  
 Tel: (501) 978-2340

24 HOUR EMERGENCY CONTACT  
 Mr. Melvin Edwards  
 Tel: (501) 978-2340

TAX PARCEL ID: 17 006100061093

**SITE AREA:**  
 27,405 S.F., 0.629 ACRES

**SITE ZONING:** SPI-9 SA-1

**BUILDING SETBACK LINES:**  
 FRONT YARD PEACHTREE RD: 25 FEET  
 FRONT YARD SHADOWLAWN AVE: 15 FEET  
 SIDE YARD : NONE  
 REAR YARD : NONE

**PARKING SUMMARY:**

	MIN*	MAX*	PROVIDED**
REGULAR PARKING:	0	9	9
ADA ACCESSIBLE PARKING:	0	1	1
TOTAL PARKING SPACES:	0	10	10

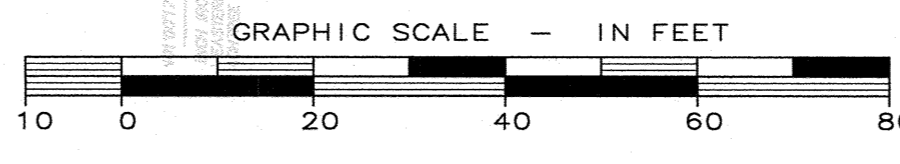
\*PER BUCKHEAD PARKING OVERLAY DISTRICT - 0 SPACES MINIMUM REQUIRED; 2.0 SPACES PER 1000 SQ FT MAXIMUM

**BUILDING SUMMARY:**  
 1-STORY  
 BUILDING 4,730 SQUARE FEET  
 MAXIMUM BUILDING HEIGHT: NONE  
 PROPOSED BUILDING HEIGHT: 21'-6"  
 PROPOSED MECH. YARD HEIGHT: 6'-5"

**F.A.R. CALCULATIONS:**  
 SITE AREA = 27,405 S.F.  
 PROPOSED FLOOR AREA= 4,730 S.F.  
 MAX F.A.R. = 8.2  
 PROPOSED F.A.R. = 0.18

**SITE PLAN SPECIFICATION TABLE**

ZONING CLASSIFICATION	SPI-9 SA-1
NET LOT AREA	27,405 SQUARE FEET
FLOOR AREA RATIO (FAR)	0.18
AREA OF BUILDING	4,730 SQUARE FEET
MINIMUM NUMBER OF PARKING SPACES	0 SPACES
MAXIMUM NUMBER OF PARKING SPACES	10 SPACES
MINIMUM NUMBER OF BICYCLE SPACES	2 SPACES
MINIMUM NUMBER OF LOADING SPACES	0 SPACES
MAXIMUM BUILDING COVERAGE	NOT SPECIFIED IN SEC. 16-16.007 - DEVELOPMENTAL CONTROLS
PUBLIC SPACE AREA	N/A



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

OWNER COMMENTS

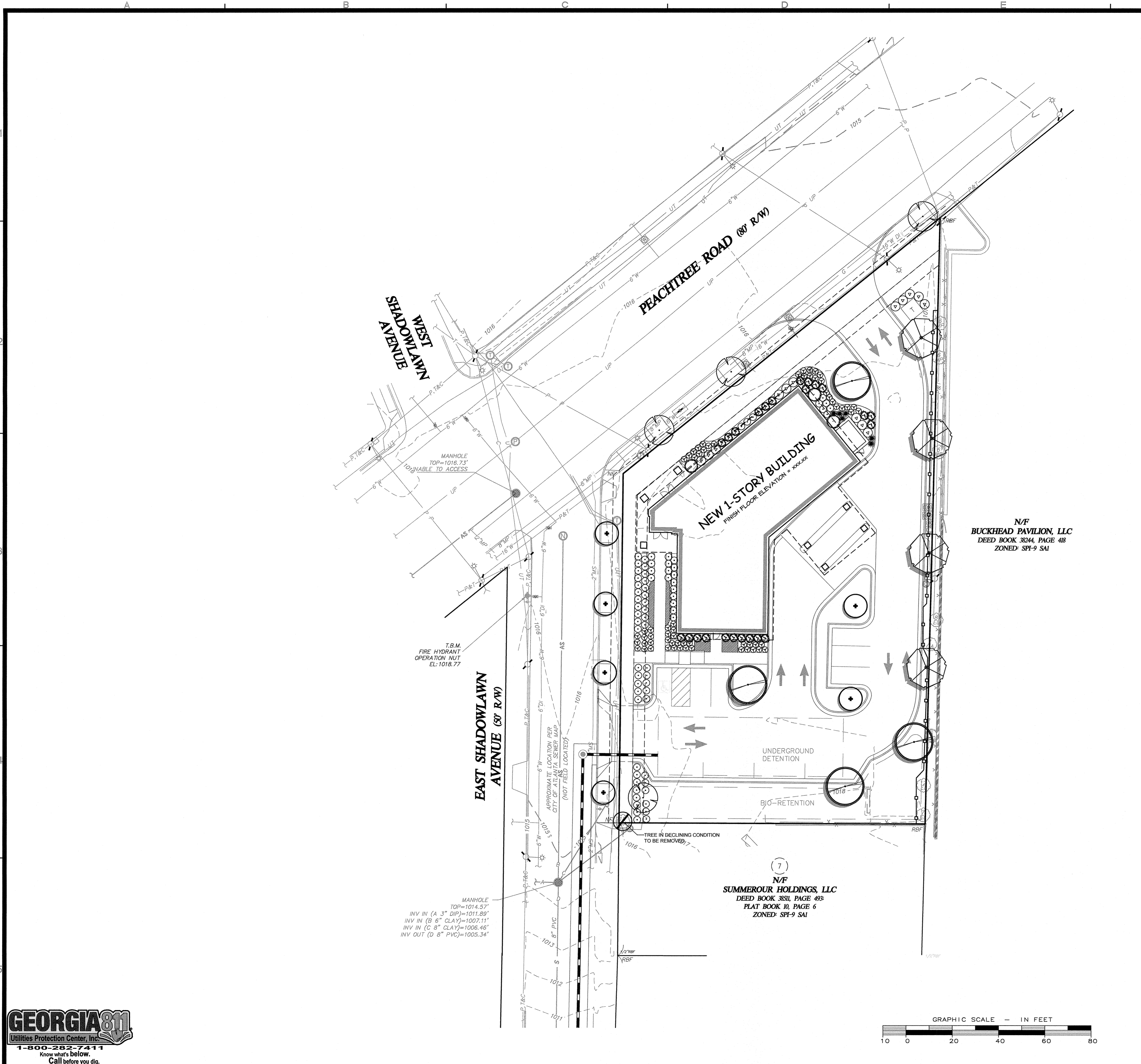
4317 Park Drive, Suite 400  
 Norcross, Georgia 30093  
 Phone: (770)416-7511  
 Fax: (770)416-6759  
 www.travisprutt.com  
 Contact Person: ANDREW BLAKEY, P.E.

Travis Prutt & Associates, Inc.  
 ENGINEER  
 LANDSCAPE ARCHITECT

**SAP SITE PLAN**  
**BANK OF THE OZARKS - 3215 PEACHTREE RD**  
 LAND LOT 61, 17TH DISTRICT, CITY OF ATLANTA, FULTON COUNTY, GEORGIA  
 SHEET NO. 1 OF 1

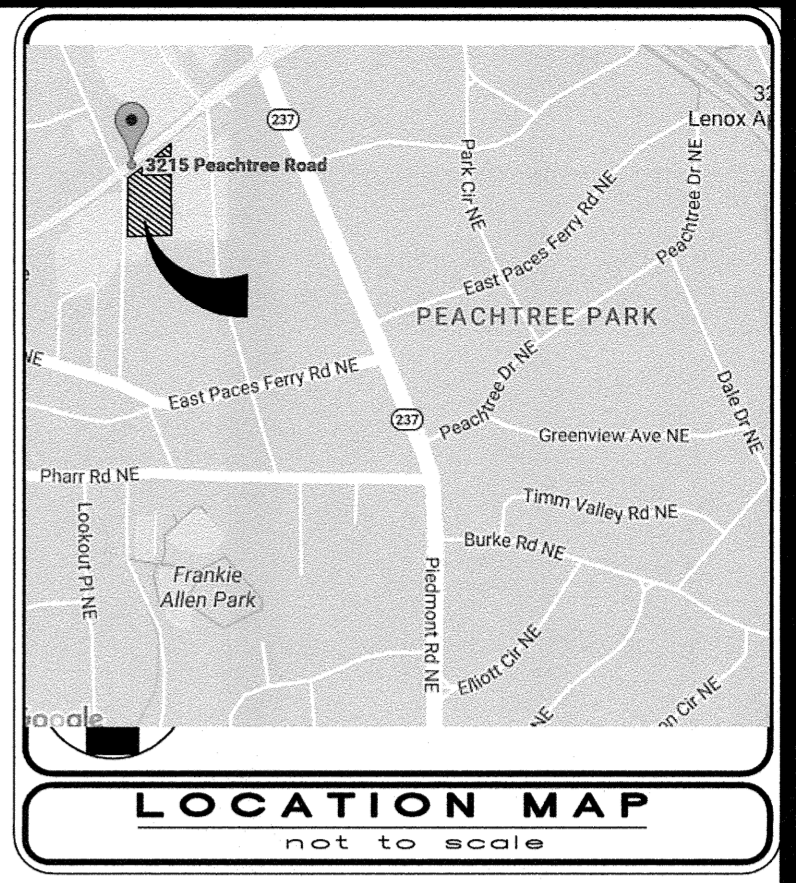
For The Firm  
 Travis Prutt & Associates, Inc.  
 DATE: 06-21-18  
 SCALE: 1" = 20'  
 CN: 170316SAP  
 LSV:  
 JN: 1-17-0316  
 FN: 163-D-137

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Grid North (GA West Zone)

TPA



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**DEVELOPER**  
Bank of the Ozarks  
17901 Chenal Parkway  
Little Rock, AR 72223  
Tel: (501) 978-2340

24 HOUR EMERGENCY CONTACT  
Mr. Melvin Edwards  
Tel: (501) 978-2340

**TREE DENSITY UNITS**  
REQUIRED: 90' PER ACRE  
0.6 ACRES = 54'  
PROVIDED: 18 - 3" TREES = 54'

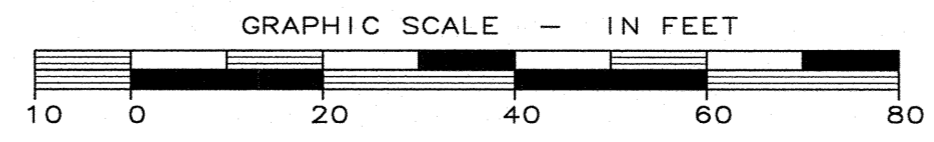
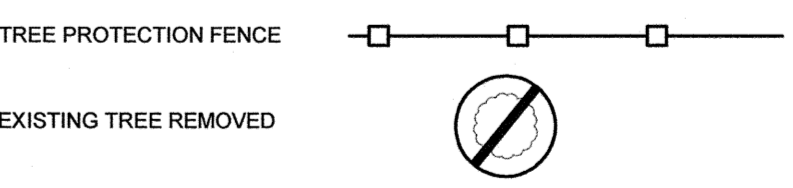
**PARKING LOT TREES**  
REQUIRED: 10 SPACES @ 1 TREE PER 8 SPACES = 2 TREES  
PROVIDED: 3 TREES

**PARKING LOT LANDSCAPING**  
REQUIRED: 3,480 SF X .10 (10%) = 348 SF  
PROVIDED: 476 SF (13.6%)

**PLANT SCHEDULE**

TREES							
SYM	Count	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES
HB	6	Carpinus betulus 'Frans Fontaine'	EUROPEAN HORNBEAM	3" cal	b&b	ai	Matching
AE	4	Ulmus x 'Frontier'	FRONTIER ELM	3" cal	b&b	ai	Matching
RR	4	Acer rubrum 'Brandy Wine'	RED MAPLE	3" cal	b&b	ai	Matching
TM	4	Acer buergerianum	TRIDENT MAPLE	3" cal	b&b	ai	
TOTAL	18						
SHRUBS							
AZ	63	Rhododendron sp. 'Gumpo Pink'	GUMPO AZALEA	3 gal	con	ai	
BH	14	Ilex cornuta 'Burfordii nana'	DWARF BURFORD HOLLY	3 gal	con	ai	
DL	3	Ilex x aquiperyi 'Meschick'	DRAGON LADY HOLLY	7 gal	con	ai	
DH	71	Ilex crenata 'Stokes'	STOKES HOLLY	3 gal	con	ai	
MG	6	Miscanthus sinensis 'Gracillimus'	MAIDEN GRASS	3 gal	con	ai	
HG	24	Juniperus chinensis 'Nick's Compact'	CHINESE JUNIPER	3 gal	con	ai	
GROUND COVER							
	150 sf	Liriope muscari 'Big Blue'	BIG BLUE LIRIOPE	2.25'	pot	1' oc	

**TREE PROTECTION LEGEND**



NO.	DATE	OWNER COMMENTS	AGB	BY
0				
1				
2				
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4				
5				

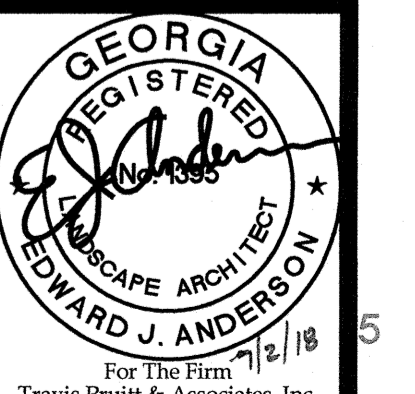
4317 Park Drive, Suite 400  
Norcross, Georgia 30093  
Phone: (770)416-7511  
Fax: (770)416-6759  
www.travisprutt.com  
Contact Person: ANDREW BLAKEY, P.E.

Travis Prutt & Associates, Inc.  
LANDSCAPE ARCHITECT

SAP LANSCAPE PLAN

BANK OF THE OZARKS - 3215 PEACHTREE RD

LAND LOT 61, 17TH DISTRICT, CITY OF ATLANTA, FULTON COUNTY, GEORGIA

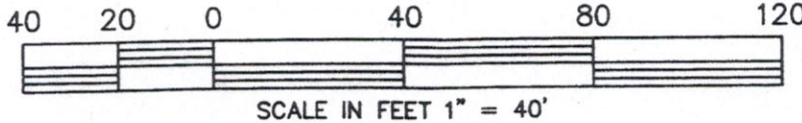


DATE: 06-21-18  
SCALE: 1" = 20'  
CN: 170316SAP  
LSV:  
JN: 1-17-0316  
FN: 163-D-137

Sheet No. 1 OF 1



The field data upon which this plat is based has a closure of 1 foot in 10,000+ feet, an angular error of 03 seconds per angle per station was adjusted using the Least Squares Method. This plat has been calculated for closure and found to be accurate to 1 foot in 100,000. An electronic total station and a 100' chain were used to gather the information used in the preparation of this plat. No State Plane Coordinate Monument found within 500' of this property.

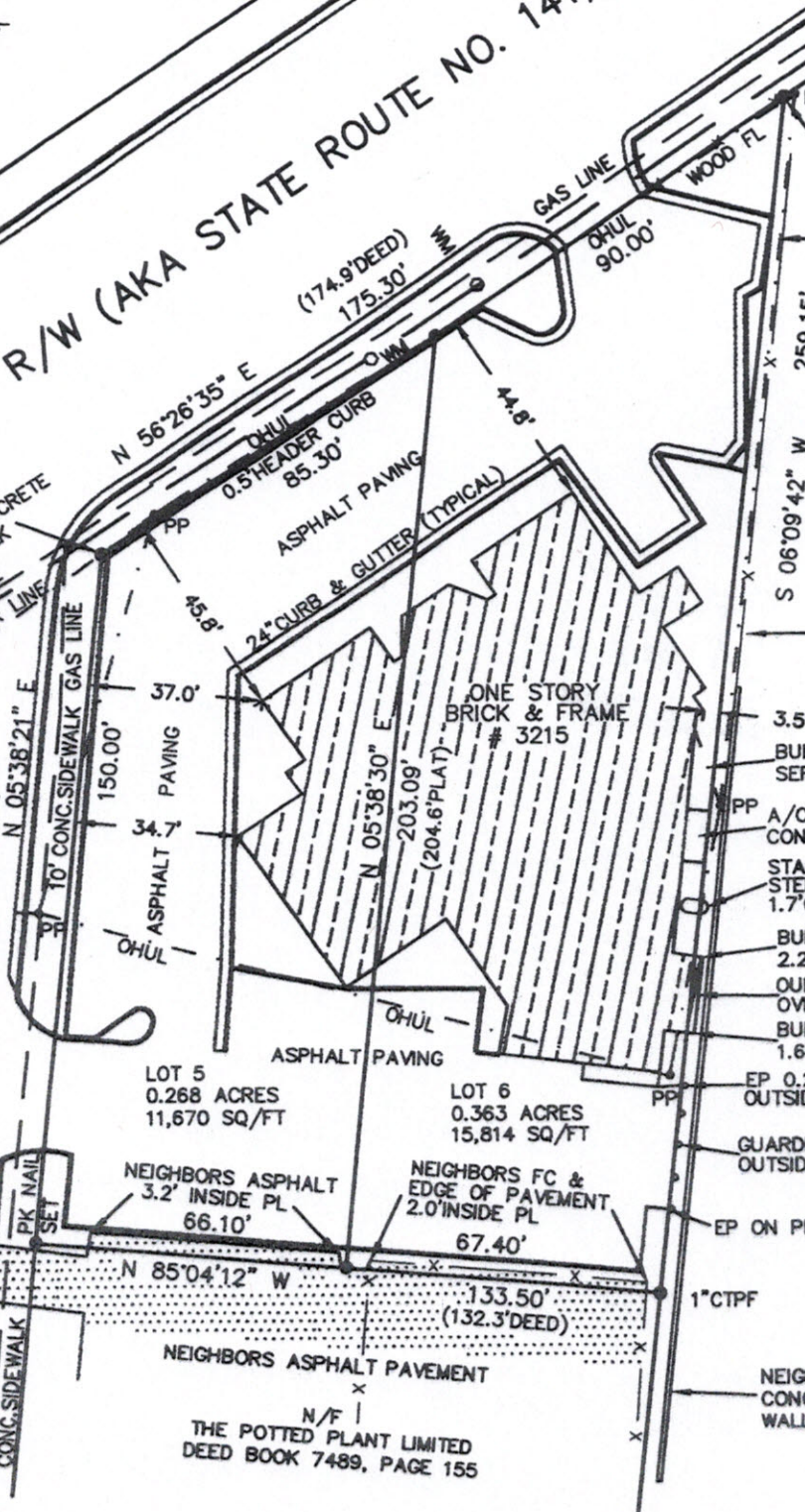


TOTAL ACREAGE  
0.631 ACRES  
 27,484 SQ/FT

PEACHTREE ROAD 80' R/W (AKA STATE ROUTE NO. 141)

SHADOW LAWN AVENUE 50' R/W

- \*\* LEGEND \*\***
- IPS IRON PIN SET
  - FC FENCE CORNER
  - X-X- FENCE
  - OTPF OPEN TOP PIPE FOUND
  - CTPF CRIMP TOP PIPE FOUND
  - RBF REINFORCING BAR
  - CLF CHAIN LINK FENCE
  - CONC. CONCRETE
  - R/W RIGHT-OF-WAY
  - PP POWER POLE
  - SP SERVICE POLE
  - LP LAMP POLE
  - POB POINT OF BEGINNING
  - OHUL OVERHEAD UTILITY LINE
  - MH MAN HOLE
  - SS SANITARY SEWER
  - HW HEAD WALL
  - CMP CORRUGATED METAL PIPE
  - RCP REINFORCED CONC. PIPE
  - FH FIRE HYDRANT
  - WV WATER VALVE
  - WM WATER METER
  - GV GAS VALVE
  - GM GAS METER
  - PL PROPERTY LINE
  - BL BUILDING LINE



N/F |  
 THE POTTED PLANT LIMITED  
 DEED BOOK 7489, PAGE 155

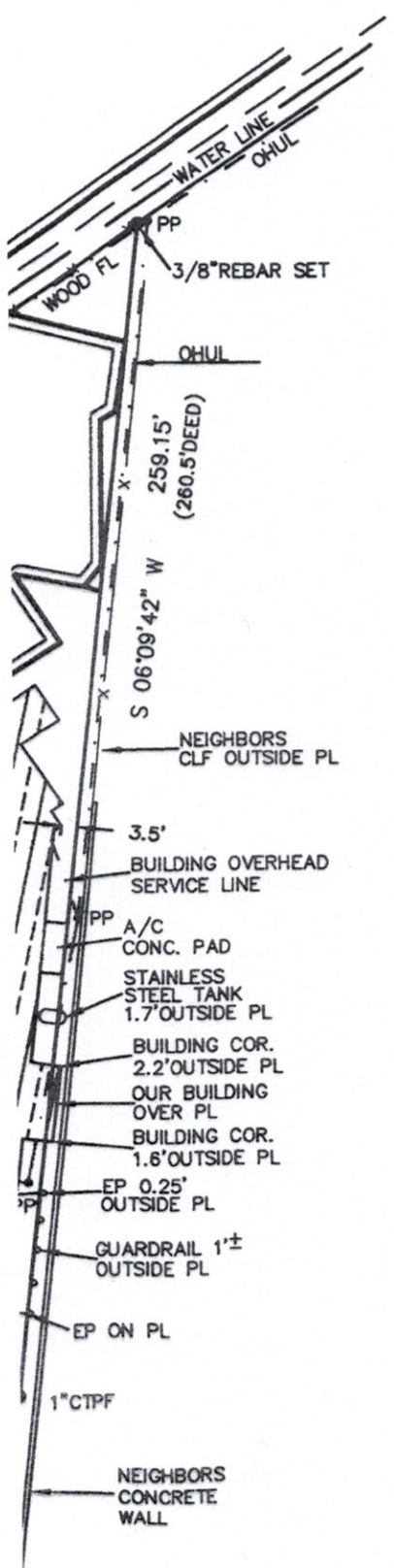
s per angle point and  
foot in 100,000+ feet.

I HAVE THIS DATE, EXAMINED THE "FIA OFFICAL FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED  
PARCEL (●) IS IN AN AREA HAVING SPECIAL FLOOD HAZARDS WITHOUT AN ELEVATION CERTIFICATION  
SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINA FOR SAID PARCEL

MAP ID 13121C0253 E EFFECTIVE DATE : JUNE 22,1998

NOTES:

1. ALL IRON PINS SET ARE 1/2" REBARS.
2. THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW. ALL MATTERS OF TITLE ARE ACCEPTED CONCERNING CORRECT OWNERSHIP, WIDTH, AND LOCATION OF EASEMENTS AND OTHER TITLE QUESTION REVEALED BY TITLE EXAMINATION
3. THE FOLLOWING REFERENCES WERE USED IN COMPILING THIS SURVEY :
  - A). MAPS
    - 1.SUBDIVISION PLAT OF SHADOWLAWN SUBDIVISION RECORDED IN PLAT BOOK 9, PAGE 38,& PLAT BOOK 10, PAGE 6.
  - B). DEEDS
    1. DEED BOOK 1270, PAGE 16 FOR LOT 5.
    2. DEED BOOK 6863, PAGE 428 FOR LOT 6.
    3. DEED BOOK 7480, PAGE 155 FOR LOT 7.
4. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD BOTH WRITTEN AND UNWRITTEN.
5. NO UNDERGROUND UTILITIES WERE SHOWN HEREON
6. BEARING ARE BASED ON A MAGNETIC READING
7. EQUIPMENT USED -  
TOPCON 302 TOTAL STATION  
SDR22 DATA COLLECTOR



N/F  
SECURED PROPS INVESTORS XI,LP  
DEED BOOK 21743, PAGE 136



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

*Walter K. Maupin*

REVISION

GA. LAND SURVEYING CO., INC.

DATE 2/24/2000

PLAT PREPARED FOR : THE ADAMS PARTNERSHIP

SHEET