

Project Summary

West Paces Ferry Apartments
99 West Paces Ferry Road Atlanta, Georgia

The proposed project consists of the construction of a mixed use development as part of a phased redevelopment of the property. The first phase of development will occur on the West Paces Ferry Road frontage of the property and will include 13 story apartment building containing a total of 313 units and 5,900 square feet of sidewalk level commercial space. The proposed building will include a three story concrete parking podium with associated amenity and swimming pool facilities to serve the residents. The second phase of the development will occur on the Paces Ferry Place frontage of the property and will handled through a separate special administrative permit request. Access to the site will be from one curb cut along West Paces Ferry Road and one curb cut on Paces Ferry Place. Other proposed improvements will include new streetscapes and new storm water facilities to meet the City's current storm water ordinance and requirements. The proposed building will screen the parking podium with enhanced architectural treatments and the proposed exterior elevations will incorporate a number of finish materials including stone and brick masonry, stucco, and clear glass.



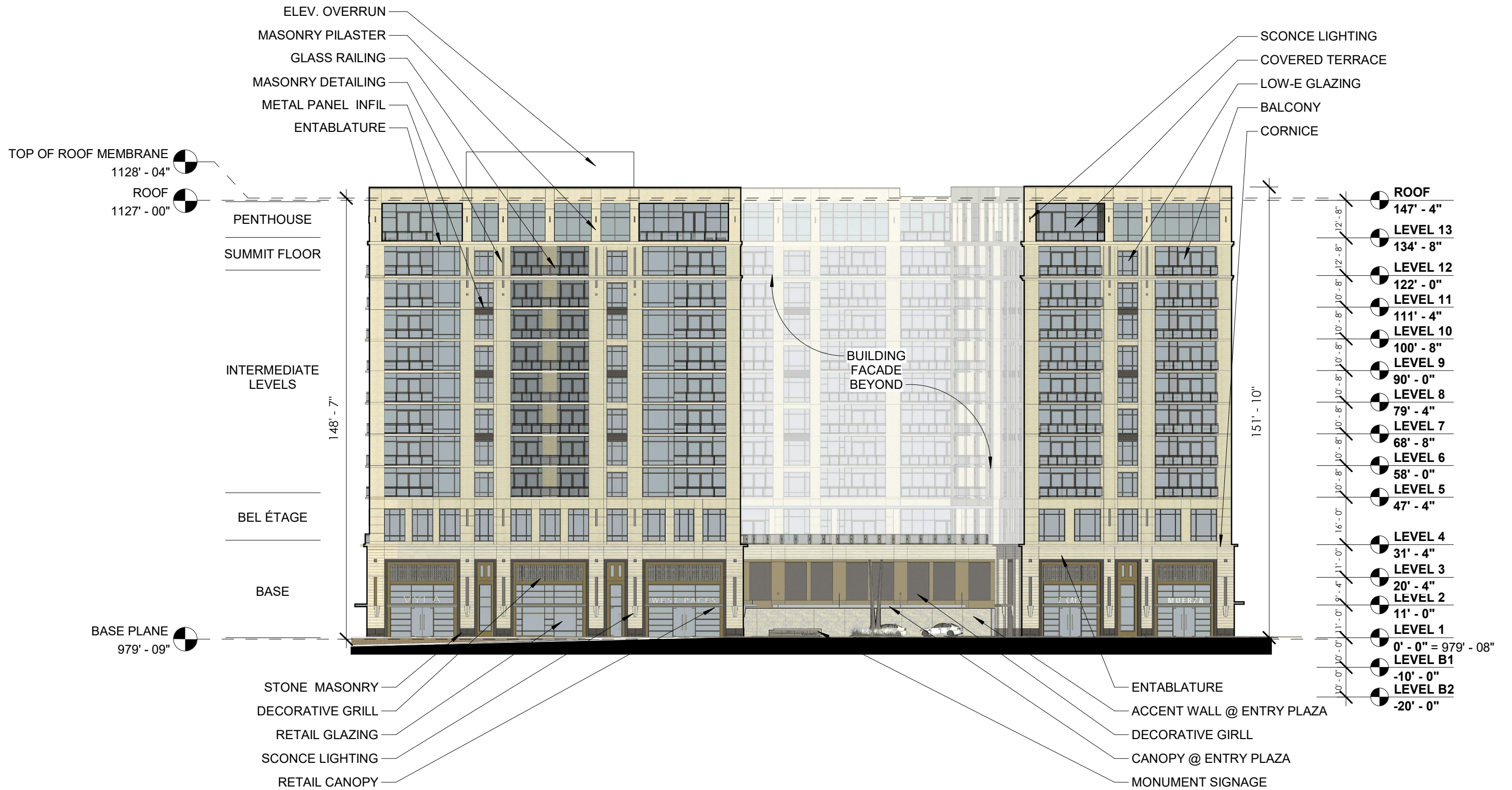
WEST PACES APARTMENTS

RENDERING

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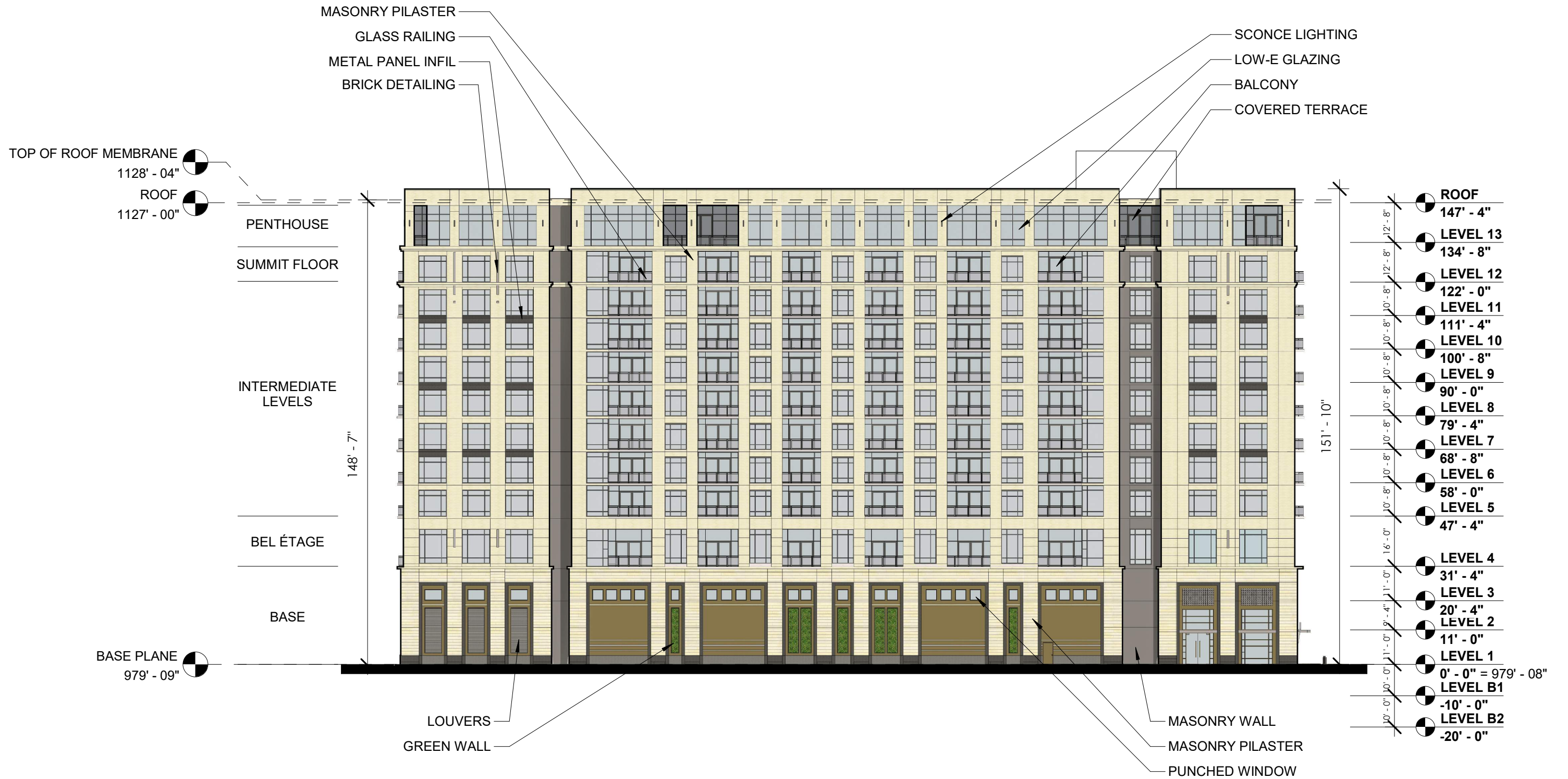


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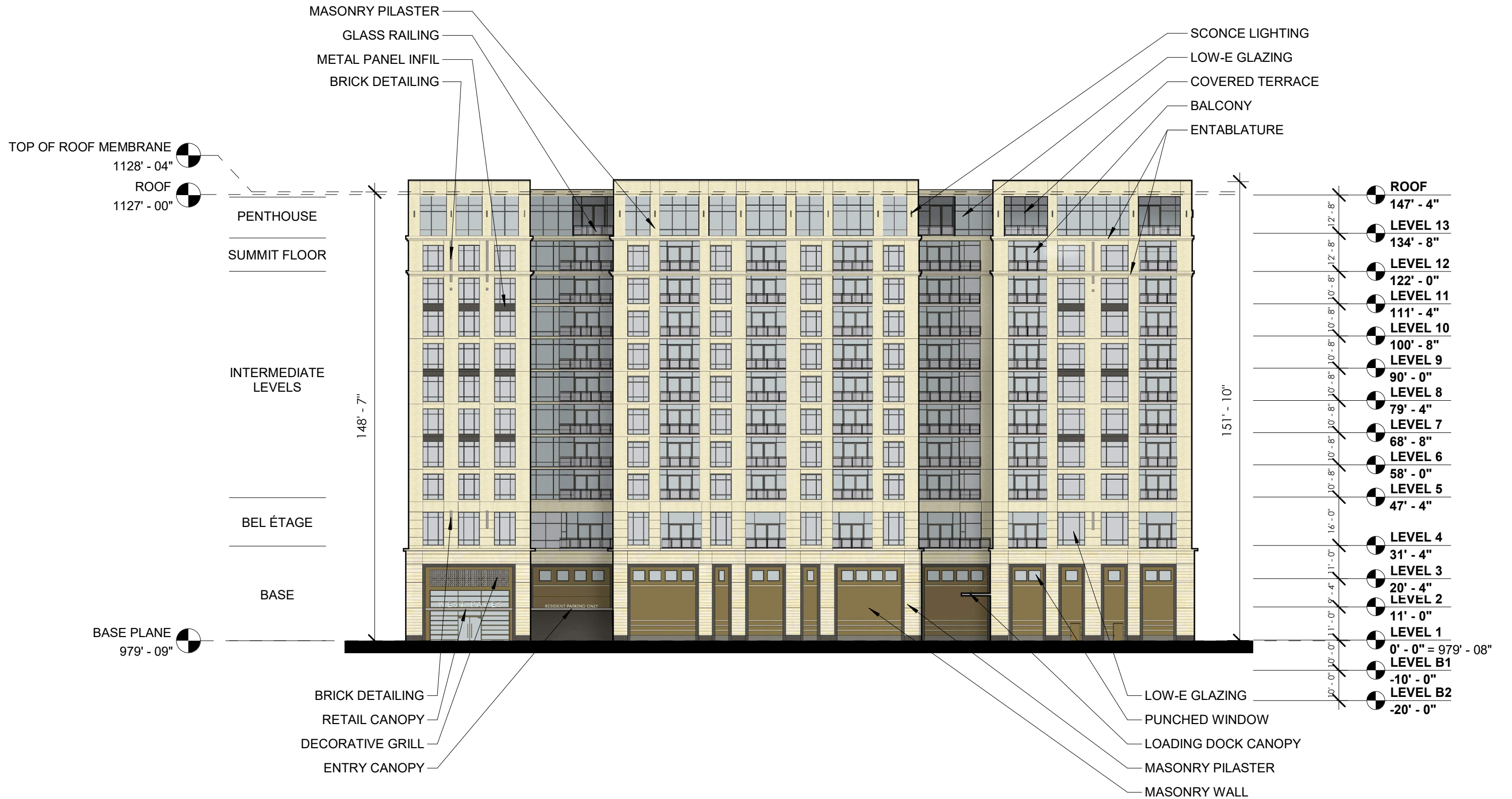
WEST PACES APARTMENTS

ELEVATION - SOUTH



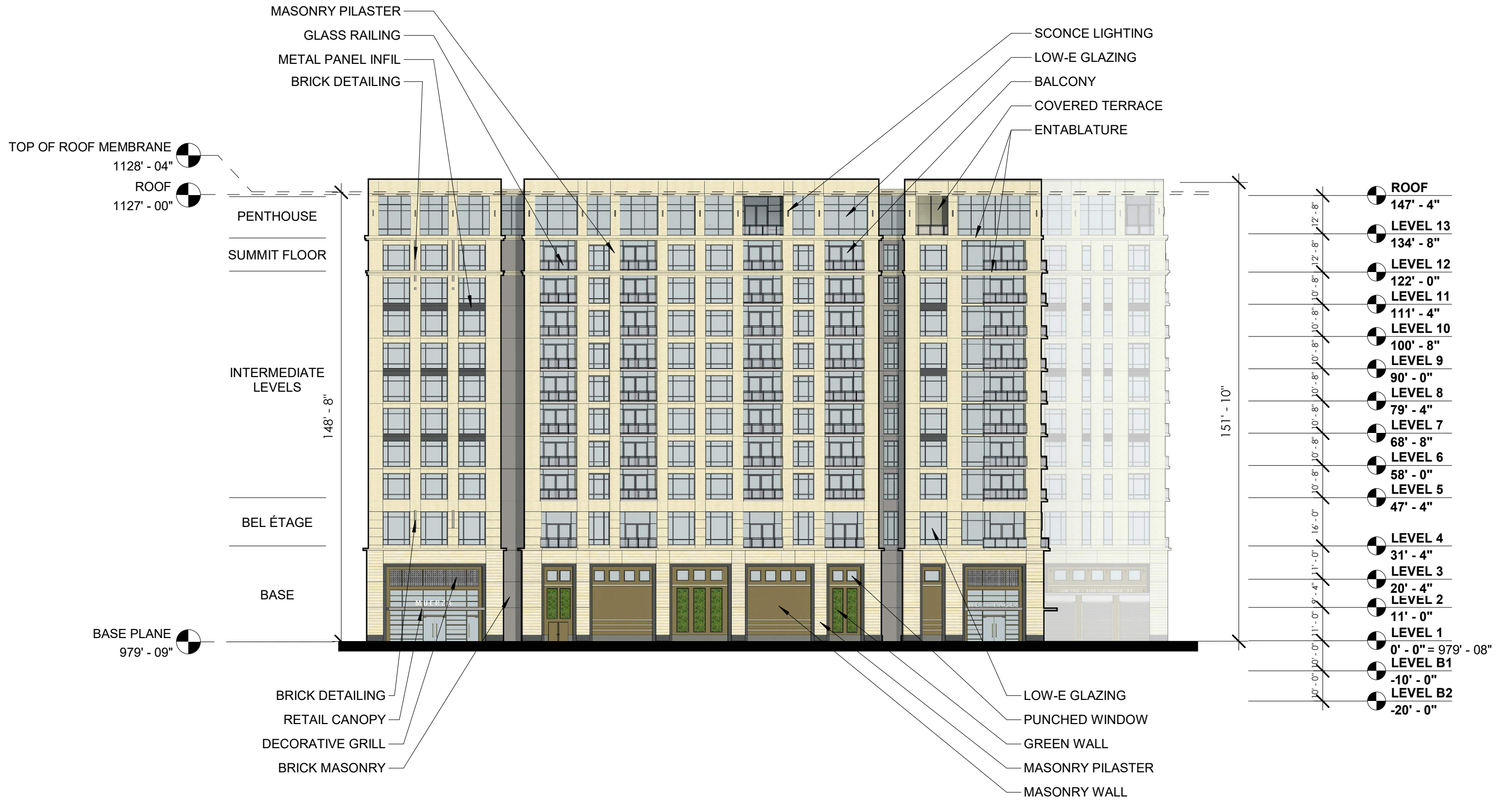
WEST PACES APARTMENTS

ELEVATION - WEST



WEST PACES APARTMENTS

ELEVATION - NORTH



WEST PACES APARTMENTS

ELEVATION - EAST



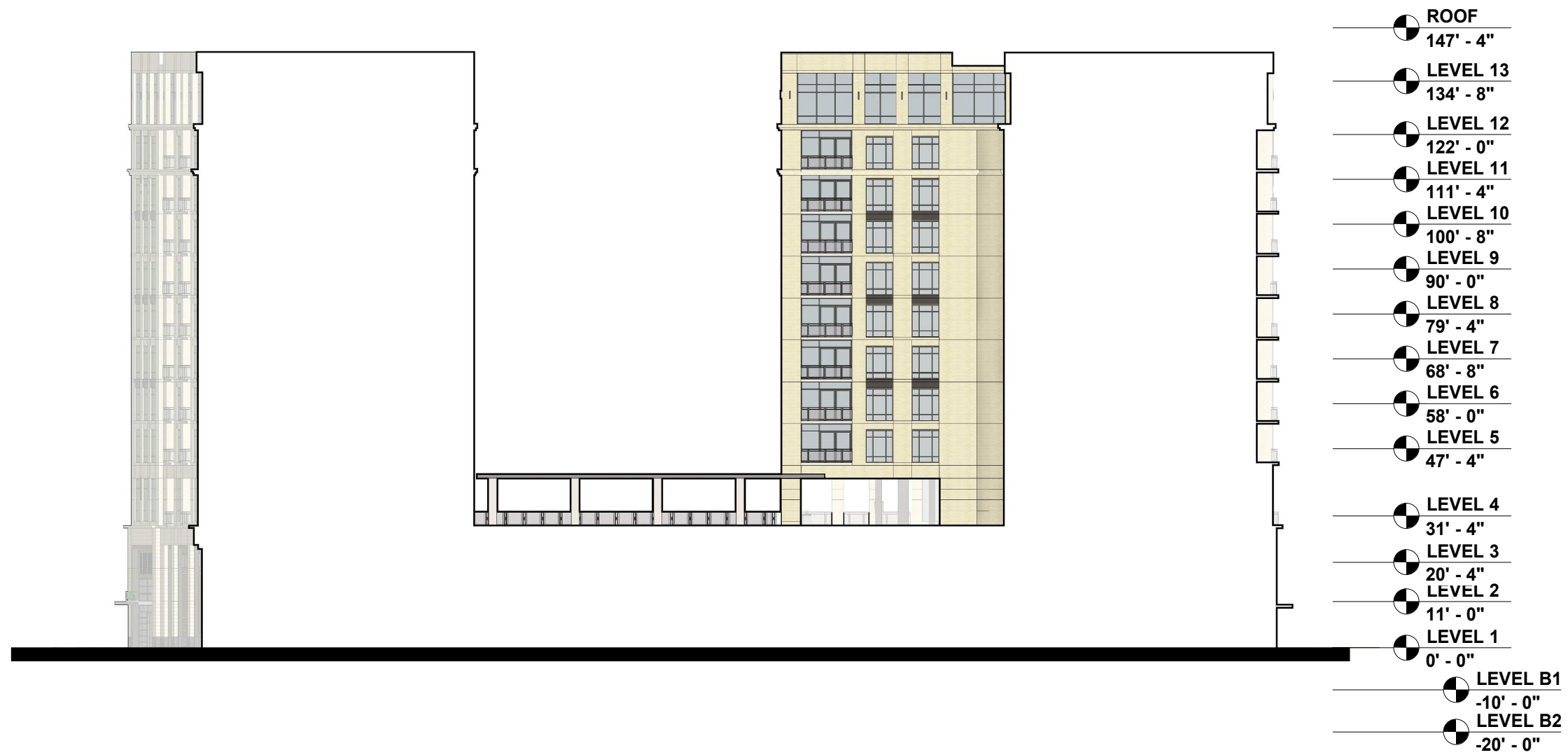
WEST PACES APARTMENTS

ELEVATION - COURTYARD SOUTH



WEST PACES APARTMENTS

ELEVATION - COURTYARD WEST



WEST PACES APARTMENTS

ELEVATION - COURTYARD NORTH



WEST PACES APARTMENTS

ELEVATION - COURTYARD EAST

