#### **Project Summary**

#### West Paces Ferry Apartments 99 West Paces Ferry Road Atlanta, Georgia

The proposed project consists of the construction of a mixed use development as part of a phased redevelopment of the property. The first phase of development will occur on the West Paces Ferry Road frontage of the property and will include 13 story apartment building containing a total of 313 units and 5,900 square feet of sidewalk level commercial space. The proposed building will include a three story concrete parking podium with associated amenity and swimming pool facilities to serve the residents. The second phase of the development will occur on the Paces Ferry Place frontage of the property and will handled through a separate special administrative permit request. Access to the site will be from one curb cut along West Paces Ferry Road and one curb cut on Paces Ferry Place. Other proposed improvements will include new streetscapes and new storm water facilities to meet the City's current storm water ordinance and requirements. The proposed building will screen the parking podium with enhanced architectural treatments and the proposed exterior elevations will incorporate a number of finish materials including stone and brick masonry, stucco, and clear glass.



# WEST PACES APARTMENTS RENDERING

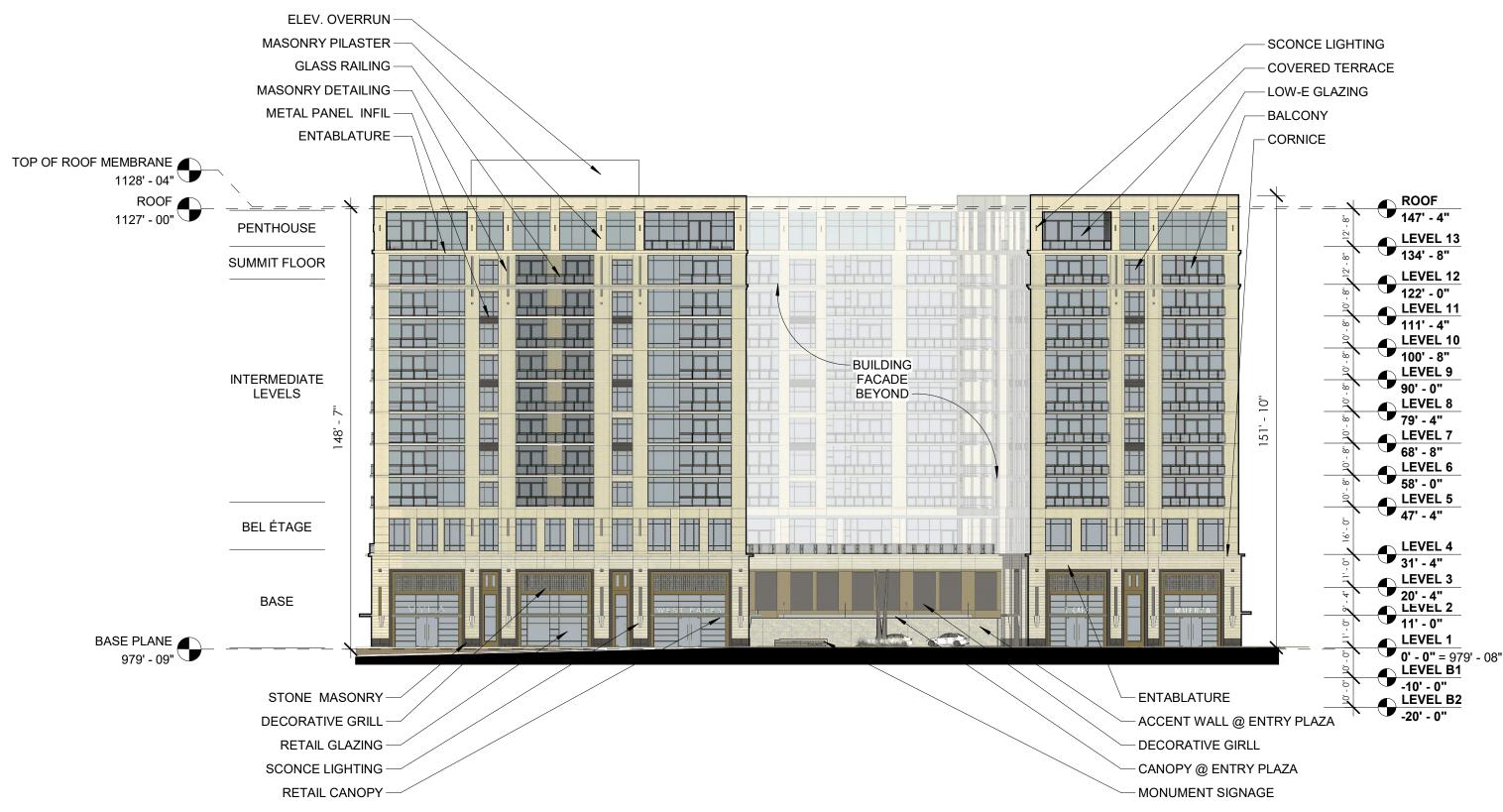
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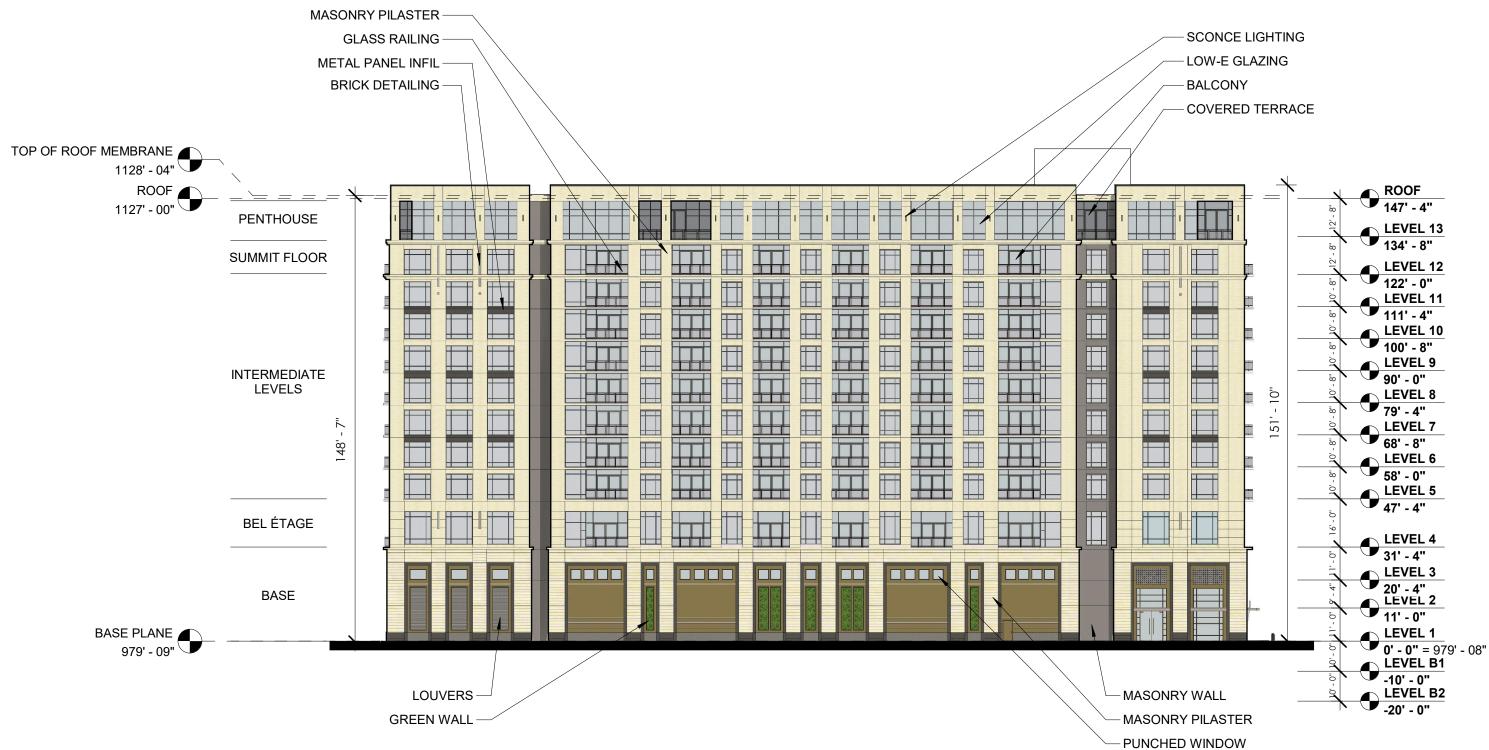
JULY 27, 2018



### **WEST PACES APARTMENTS ELEVATION - SOUTH**



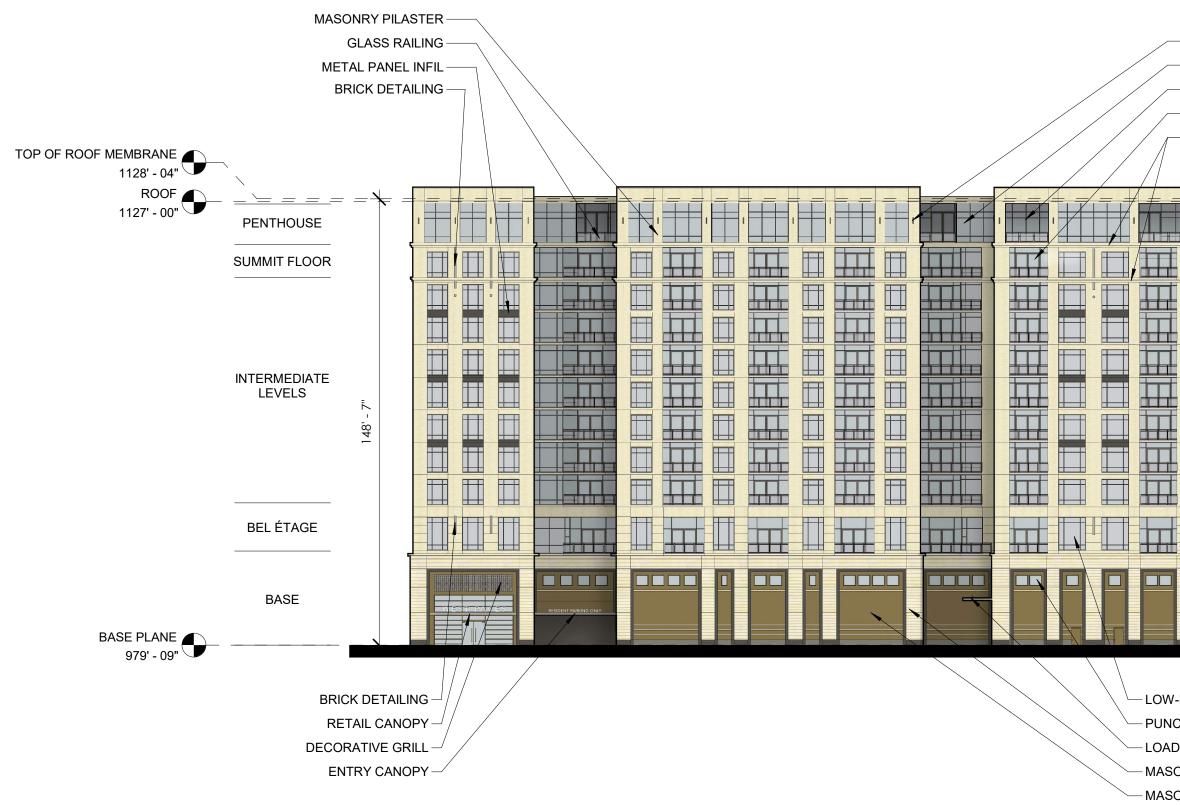




#### **WEST PACES APARTMENTS ELEVATION - WEST**







### **WEST PACES APARTMENTS ELEVATION - NORTH**

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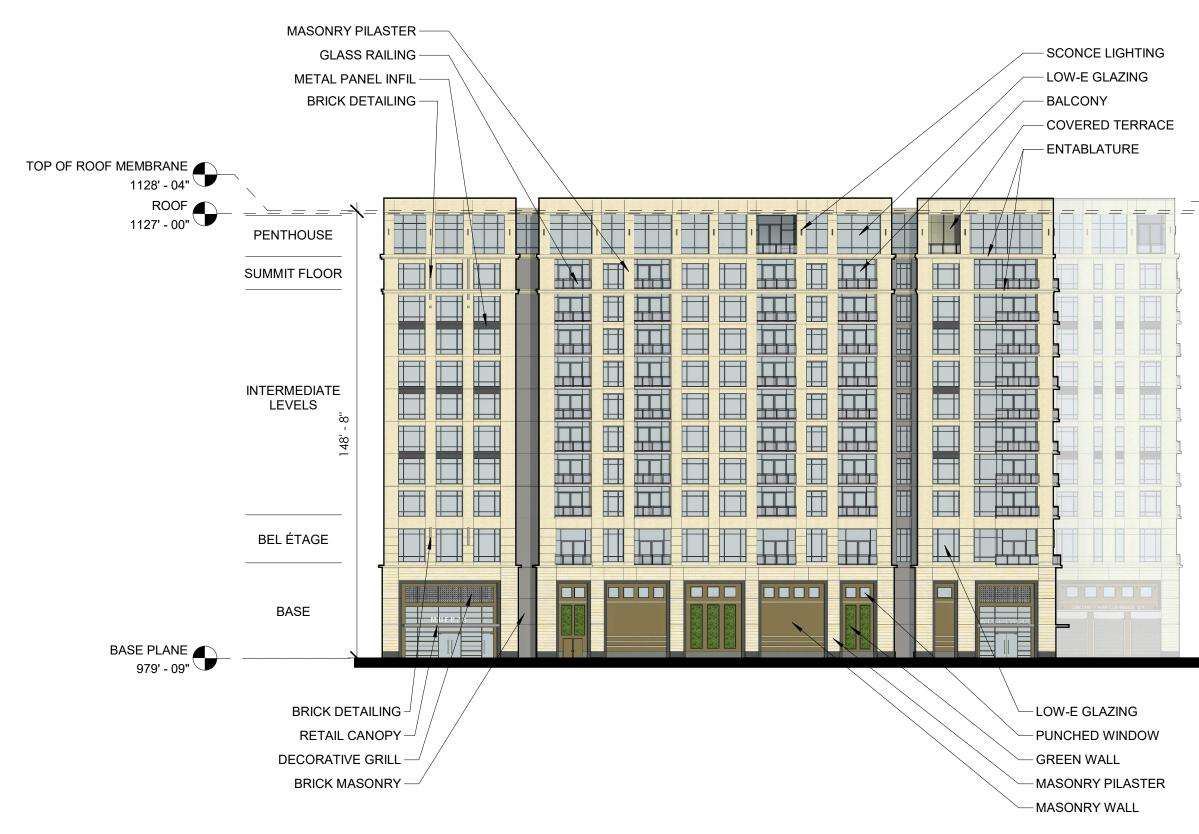
- MASONRY WALL
- MASONRY PILASTER
- LOADING DOCK CANOPY

- PUNCHED WINDOW
- **LEVEL 8** 79' 4" 10" 151' -**LEVEL 7** 68' - 8" **LEVEL 6** 58' - 0" **LEVEL 5** 47' - 4" **LEVEL 4** 31' - 4" **LEVEL 3** 20' - 4" **LĚVEL 2** 11' - 0" LEVEL 1 **0' - 0"** = 979' - 08" -LOW-E GLAZING
- **ROOF** 147' 4" **LEVEL 13** 134' - 8" <u>LEVEL 12</u> **122' - 0**" LEVEL 11 **111' - 4**" **LEVEL 10** 100' - 8" 90' - 0"
- ENTABLATURE

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BALCONY

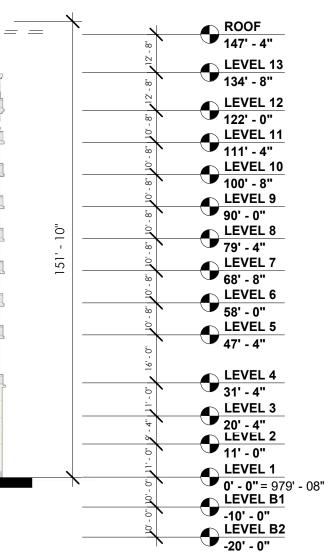
- COVERED TERRACE
- LOW-E GLAZING
- SCONCE LIGHTING



#### WEST PACES APARTMENTS ELEVATION - EAST





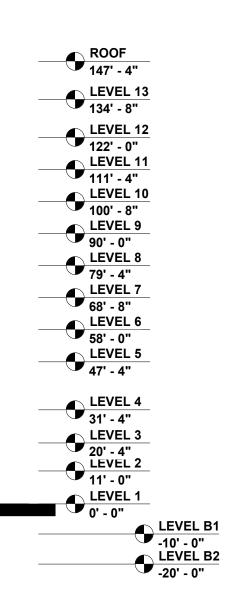


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# WEST PACES APARTMENTS ELEVATION - COURTYARD SOUTH







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# WEST PACES APARTMENTS ELEVATION - COURTYARD WEST

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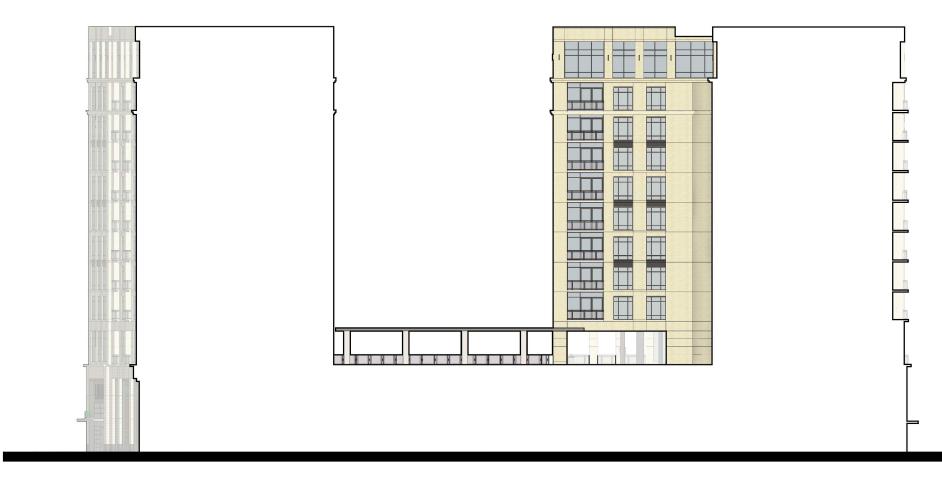


-	122 - 0
	LEVEL 11 111' - 4"
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	LEVEL 10 100' - 8"
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	LEVEL 9 90' - 0"
	LEVEL 8 79' - 4"
	LEVEL 7 68' - 8"
	LEVEL 6 58' - 0"
	58' - 0"
	LEVEL 5 47' - 4"
U	47' - 4"
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	LEVEL 4 31' - 4" LEVEL 3 20' - 4" LEVEL 2 11' - 0" LEVEL 1 0' - 0"
	LEVEL 4 31' - 4" LEVEL 3 20' - 4" LEVEL 2 11' - 0" LEVEL 1 0' - 0"
	LEVEL 4 31' - 4" LEVEL 3 20' - 4" LEVEL 2 11' - 0" LEVEL 1 0' - 0" LEVEL B1 -10' - 0"
	LEVEL 4 31' - 4" LEVEL 3 20' - 4" LEVEL 2 11' - 0" LEVEL 1 0' - 0"

**ROOF** 147' - 4"

**LEVEL 13** 134' - 8"

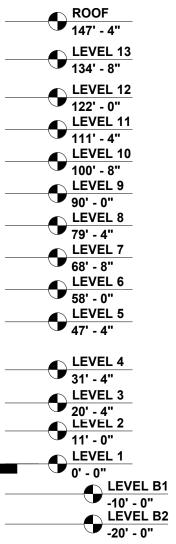
**LEVEL 12** 122' - 0"



### WEST PACES APARTMENTS ELEVATION - COURYARD NORTH





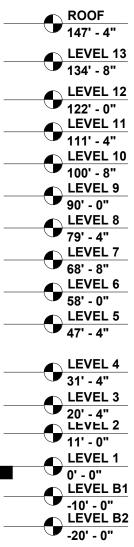


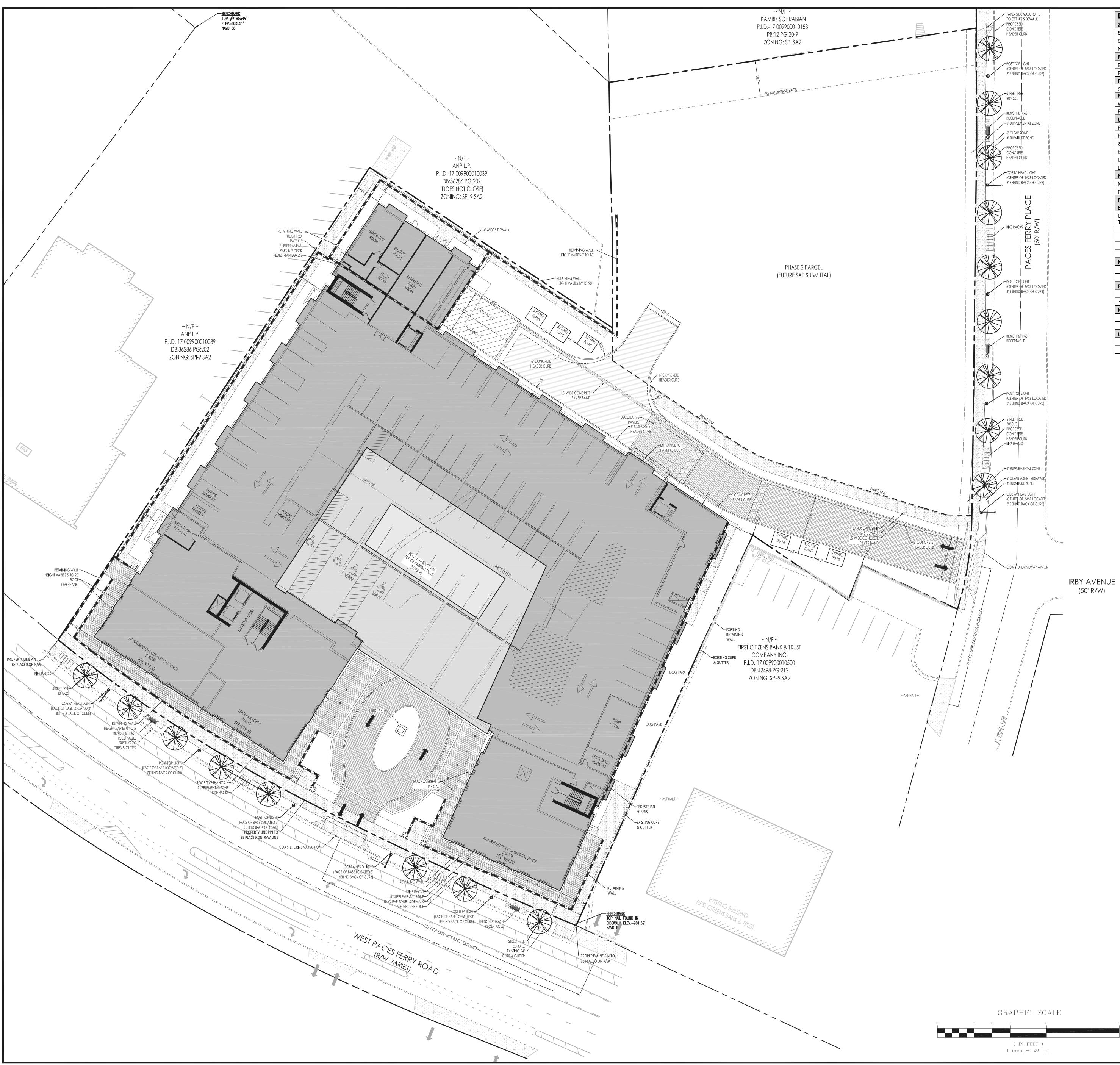


### WEST PACES APARTMENTS ELEVATION - COURTYARD EAST









	esignatior		: 99 West Pace					
SPI 9 SA2		-						
Gross Lot		161,905 sf	161.905 sf					
Net Lot Ar		140,613 sf	*					
Floor Are	<b>a Ratio</b> (B	ased on GLA)						
Base FAR		2.256 (365,2	57.68)	Bonus Allowed	<b>4.256</b> (689,067.68 sf)			
FAR Prov	ided	2.956 (478,6		1.3 FAR Remains for Phase 2 (210,411 sf)				
Residenti	al Units		,					
South Bui	lding (Phas	se 1)		313				
		nestration			1			
West Pac	es Ferry R	bad		65% Required	65.3% Provided			
Paces Fei	ry Place			<b>N/A</b> (Phase 1)	<b>N/A</b> (Phase 1)			
Usable O	pen Space	e (UOSR)		I				
Required	(0.20)			28,123 sf (0.20 x 14	40,613)			
Provided (	(0.42)			58,601 sf				
Square F	ootage Br	eakdown of U	OSR amounts provi	ded by the following	:			
Balconies	:0 sf			Rooftop Terraces: 1	2,760 sf			
Landscaped Areas and Plazas: 25.932 sf		Sidewalks on Privat	e Property: 2,278 sf					
Landscap	ed Areas ir	n R/W: 2,631 sf		Public Art: 15,000 s	Public Art: 15,000 sf			
Non-Resi	dential Pu	blic Space (PS	SR)					
Min. Requ	iired	14,061.3 sf (	1/2 of UOSR)					
Provided		22,566 sf (E)	(terior)					
Parking 8	Loading	Requirements						
South Bu	ilding (Ph	ase 1)	1					
Unit Type	No. of Units	Min. Allowable	Max. Allowable					
1 Bed	163	0	203.75					
2 Bed	127	0	285.75					
3 Bed	23	0	51.75					
Total	313	0	542					
Non-Resi	dential Pa	rking (Note: 5,	900 sf Non-Resident	ial area proposed)				
Min. Re	equired	Max. Allo	wed (2.5/1000sf)					
<b>0 15</b> (2.5 x 5.9)								
Residenti	al Bicycle	Parking						
Min. Re	equired	F	Provided					
1/5 Units	or 50 Max	50						
Non-Resi	dential Bio	cycle Parking						
Min. Re	equired	Provided						
1/4000 sf 5								
Loading S	Spaces			T				
Min. Re	equired	F	Provided					
3 2		1						





\*\*\*CAUTION\*\*\* THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NORTH

