



City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized authorization by Property Landowner

File # _____

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: **Special Administrative Permit**

I, HERBERT AMES SWEAR THAT I AM THE **LANDOWNER**
owner(s) name

OF THE PROPERTY LOCATED AT: 56 EAST ANDREWS DR
ATLANTA GA

AS SHOWN IN THE RECORDS OF _____ COUNTY, GEORGIA
WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE
PERSON NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS
APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

JENNIFER STUART

ADDRESS: 10800 JONES BRIDGE RD SUITE D-2
JOHNS CREEK GA 30022

TELEPHONE: 678-694-1967 EMAIL: JENN@SURETYBONDGIRLS.COM

Signature of Property Landowner

HERBERT AMES FOR EAST ANDREWS REALTY, LLC
Print Name of Property Landowner

Personally Appeared
Before Me

Sarah Renee Fitzgerald

Who Swears That The
Information Contained
In this Authorization
Is True and Correct
To The Best of His or Her
Knowledge and Belief.

Sarah Renee Fitzgerald
Signature of Notary Public

4/14/17
Date

Comm. expires: 7/29/18



PROJECT DESCRIPTION:

Add a new covered, unenclosed porch to the front courtyard facade of Henri's Delicatessen, for their use as a covered dining space, facing Cains Hills Place. There are no plans to enclose the porch, which will be constructed out of timber posts with a clay tile roof to match the existing building.

DRAWING INDEX:

- A1, 1-PORCH Covered Porch Plans
- A2, 1-PORCH Porch Elevations & Wall Section
- xx Site Survey

APPLICABLE CODES:

- International Building Code, 2012 Edition, with Georgia Amendments (2013)
- International Residential Code, 2012 Edition, with Georgia Amendments (2013)
- International Fire Code, 2012 Edition, with Georgia Amendments (2013)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2013)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2012)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2013)
- National Electrical Code, 2014 Edition, with no Georgia Amendments
- International Energy Conservation Code, 2009 Edition, with Georgia Supplements and Amendments (2011) (2012)
- 2012 NFPA 101 - Life Safety Code with state Amendments (2013)

CODE INFORMATION:

Project Address: Suite 10
56 E. Andrews Drive
Atlanta, GA 30305

Zoning: SPl-9 (Subarea 3)

Occupancy: Assembly Type A-2 (Restaurant)

Building Height: (Not applicable - no change to overall building)
10'-1 1/2" new porch height

Building Area: (Not applicable - no change)

Floor Area Ratio: (Not applicable - no change)

Parking: (Not applicable - no change to occupant load)

Restaurant Occupant Load:
Dining: 309 s.f. / 15 s.f. per occ. = 21 occupants
Dining Banquette: 21'-3 1/2" / 18" per occ. = 15 occupants
Retail: 477 s.f. / 30 s.f. per occ. = 16 occupants
Kitchen / Office / Service: 655 s.f. / 100 s.f. per occ. = 7 occupants
SUBTOTAL = 59 occupants (interior) - (no change)

Exterior: 642 s.f. / 15 s.f. per occ. = 43 occupants (no change)
TOTAL = 102 occupants (interior & exterior) (no change)

(NFPA Table 7.3.1.2)

Egress Corr. Width: 3'-0" min. (less than 50 occupants)
(NFPA 7.3.4.1, 12.2.3.8, Table 7.3.3.1)

Number of Exits: (Not applicable - open to public exterior courtyard)

Site Area: 111,936 s.f.

Disturbed Area: 330 s.f.

Cut: 0.5 c.y. (for new post footings only)

Fill: 0.0 c.y.

Haul: 0.5 c.y.

PROJECT CONTACTS:

OWNER:
Anthony DiNardo
Henri's Delicatessen
(678) 222-8533
anthony_dinardo@yahoo.com

ARCHITECT:
Mike DeCarlo
DeCarlo Hawker
2470 H. L. Williams Drive NE
Atlanta, GA 30317
(678) 595-9002
mike@decarlohawker.com

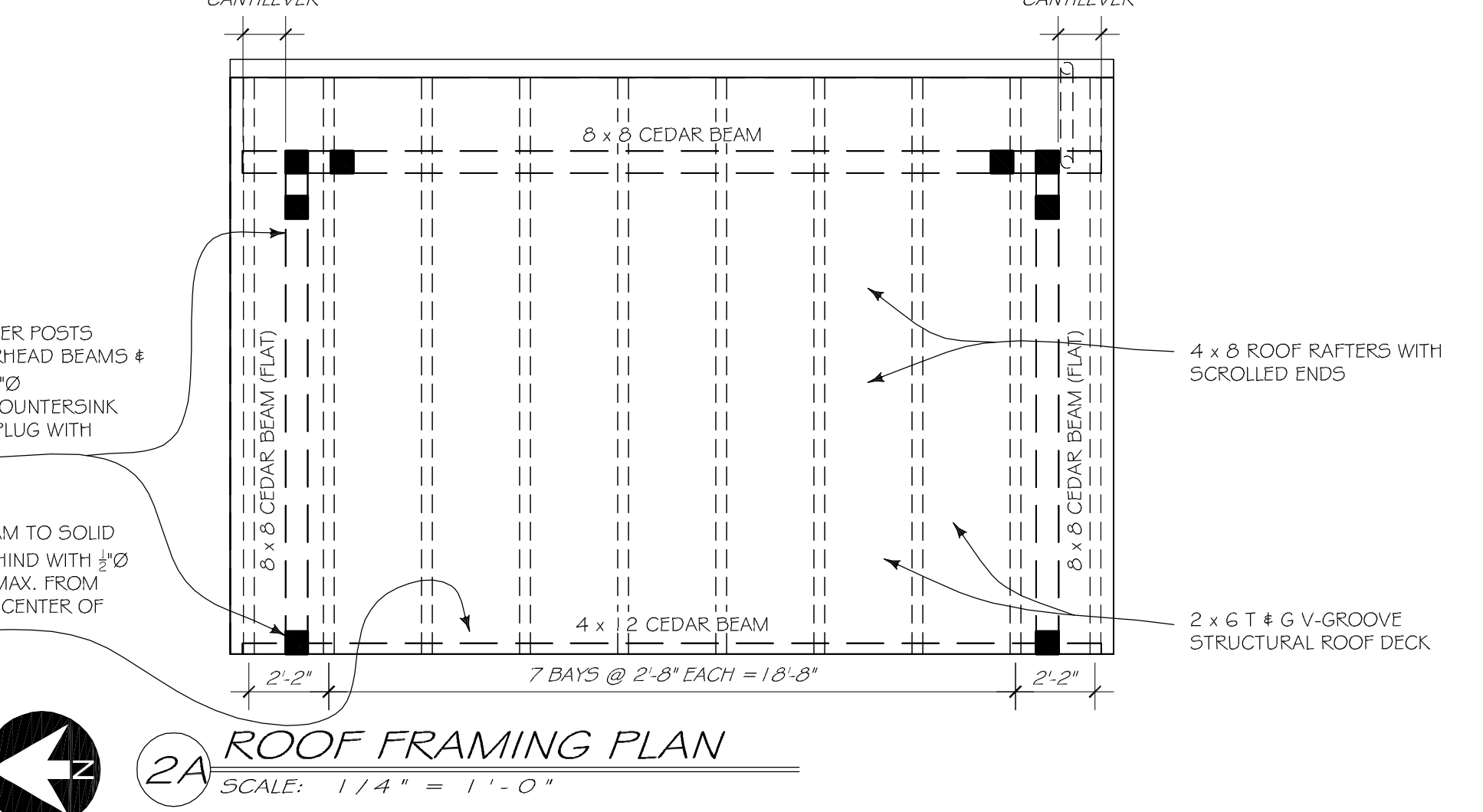
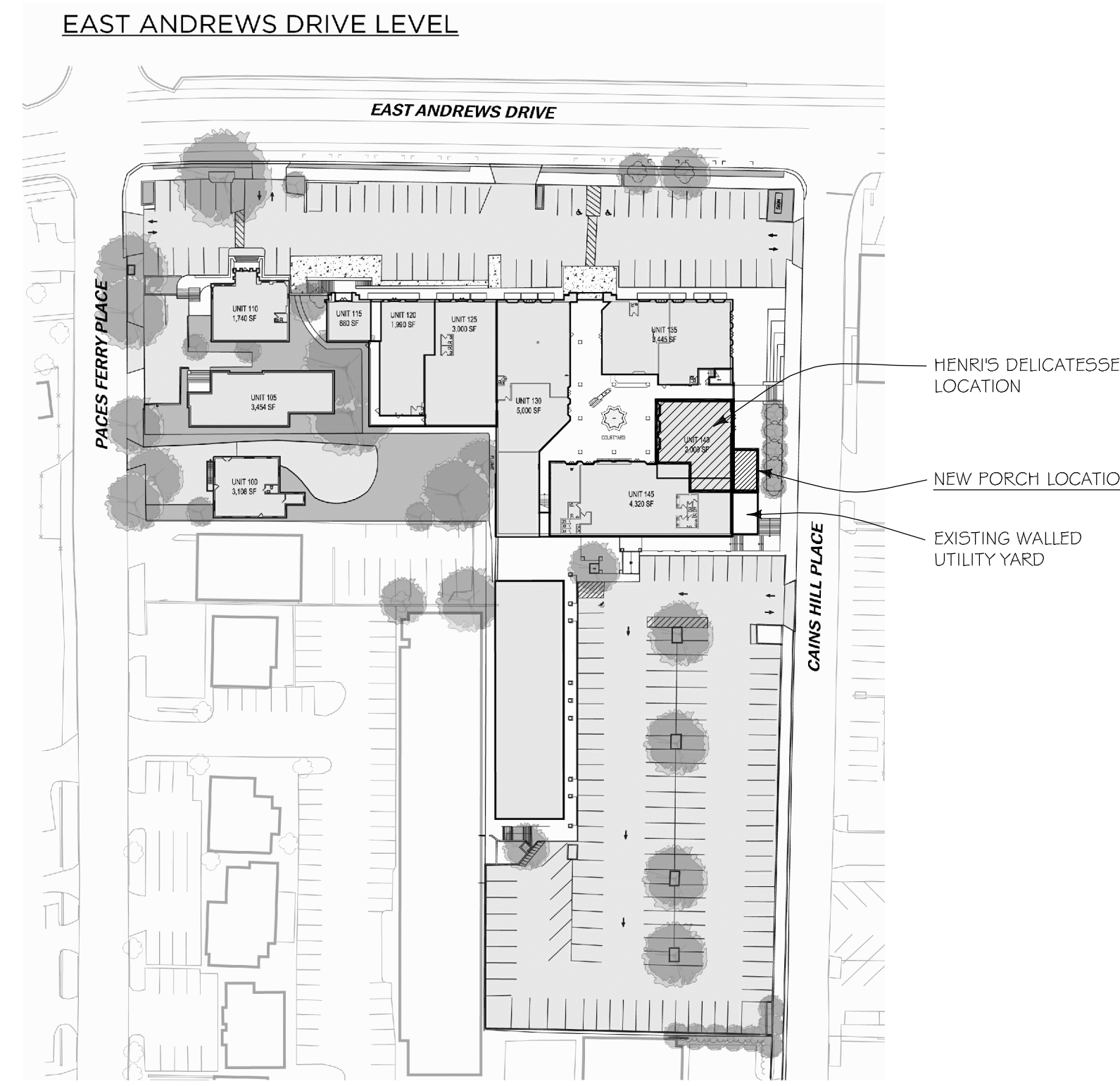
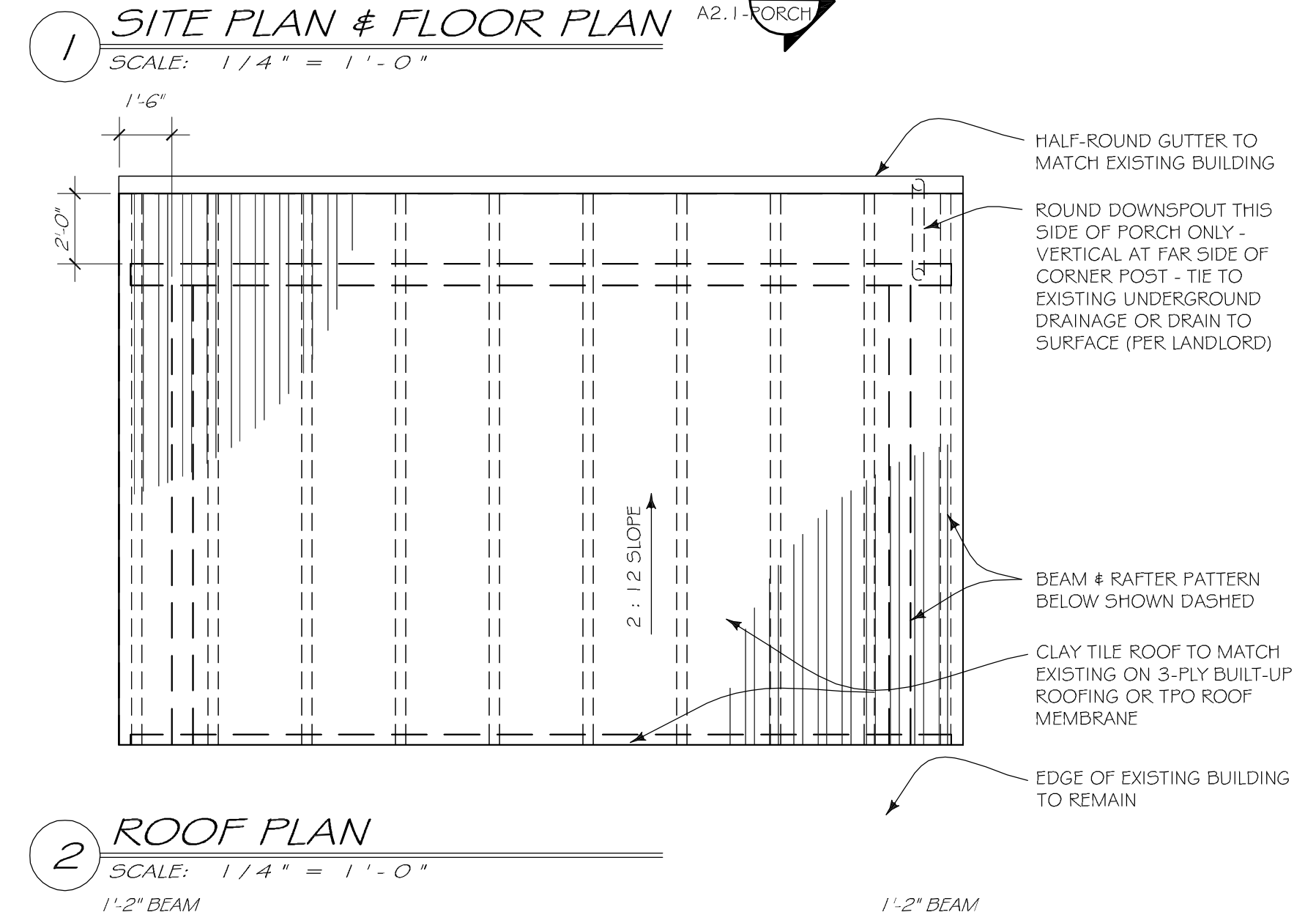
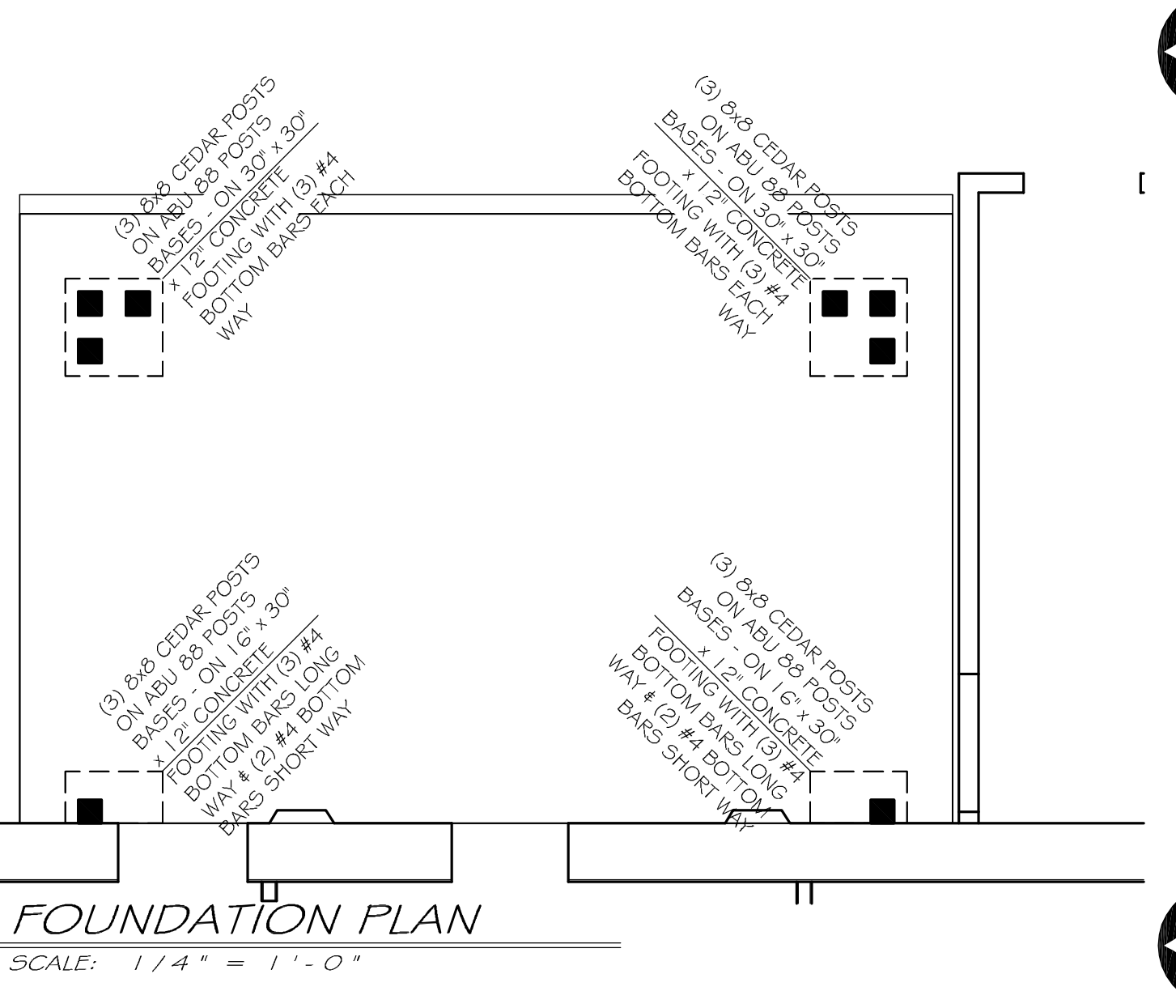
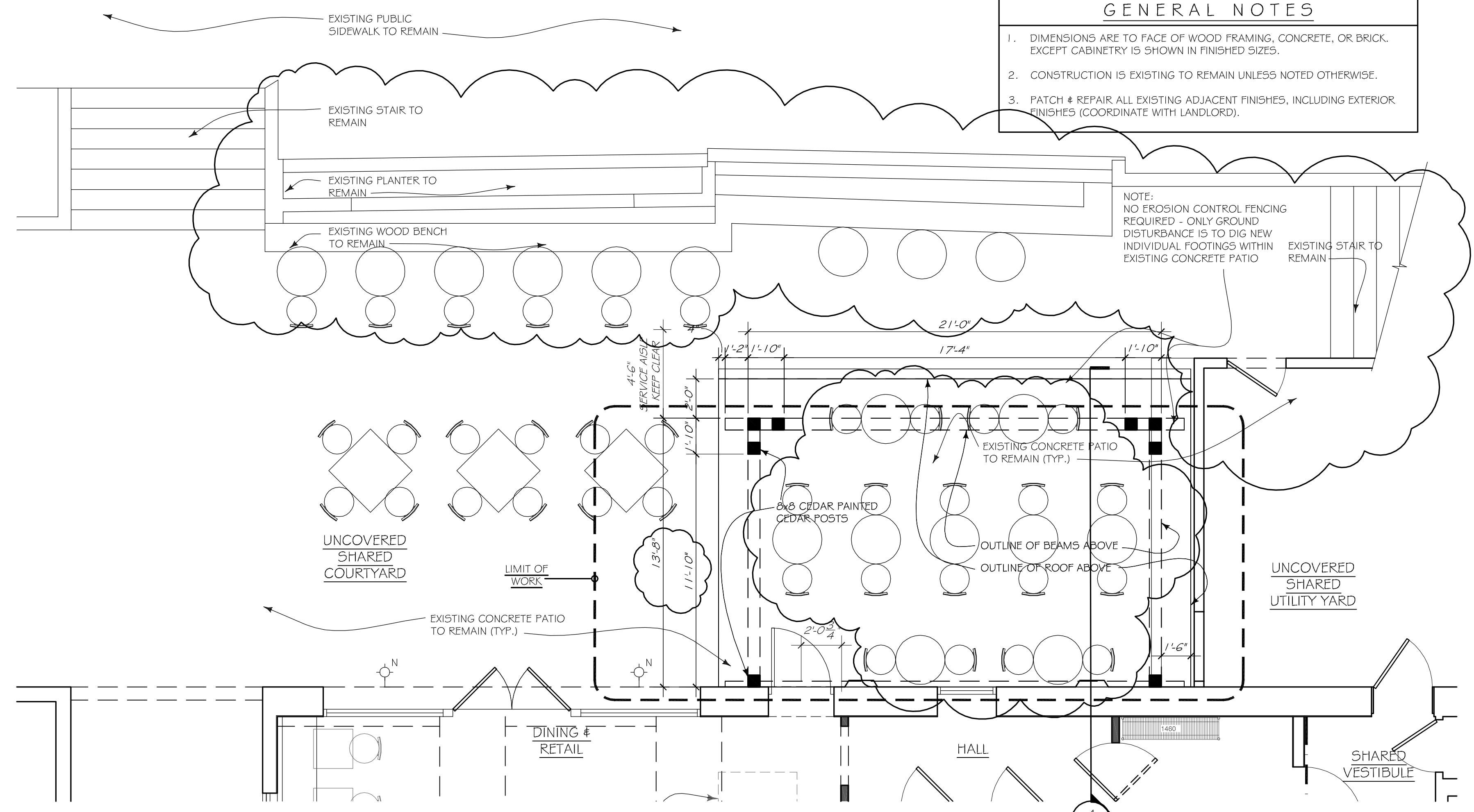
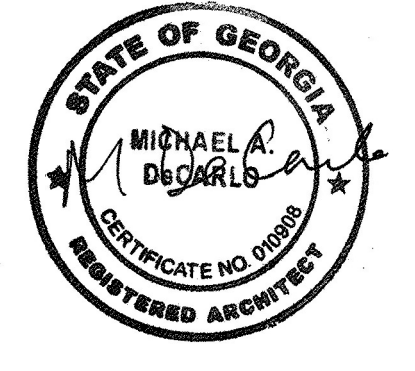
GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF WOOD FRAMING, CONCRETE, OR BRICK. EXCEPT CABINETRY IS SHOWN IN FINISHED SIZES.
2. CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
3. PATCH & REPAIR ALL EXISTING ADJACENT FINISHES, INCLUDING EXTERIOR FINISHES (COORDINATE WITH LANDLORD).

NOTE:
NO EROSION CONTROL FENCING REQUIRED - ONLY GROUND DISTURBANCE IS TO DIG NEW INDIVIDUAL FOOTINGS WITHIN EXISTING CONCRETE PATIO

DECARLO HAWKER

ARCHITECTURE & DESIGN
2470 H.L. WILLIAMS DRIVE NE
ATLANTA, GEORGIA 30317
TELEPHONE: 678.595.9002
www.decariohawker.com



18 JUL 2017 AS-BUILT REVISIONS
03 JUL 2017 LANDLORD REVIEW
10 MAR 2017 TO LANDLORD

HENRI'S DELICATESSEN

INTERIOR RENOVATION
ANDREWS SQUARE - SUITE 10
56 E. ANDREWS DRIVE
ATLANTA, GA.

JOB NO. 1628

COVERED PORCH PLANS

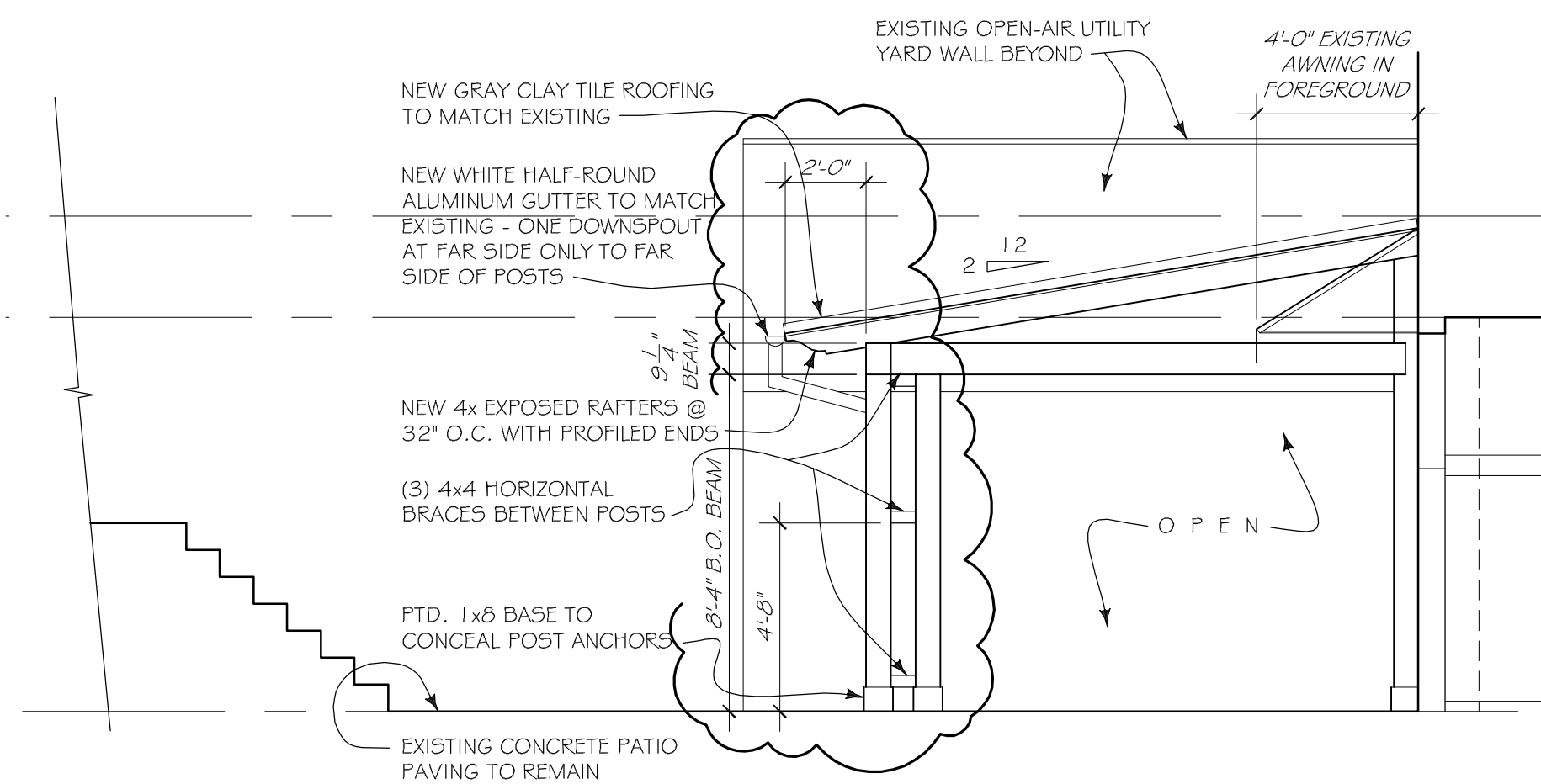
A1.1-PORCH

RELEASED FOR CONSTRUCTION

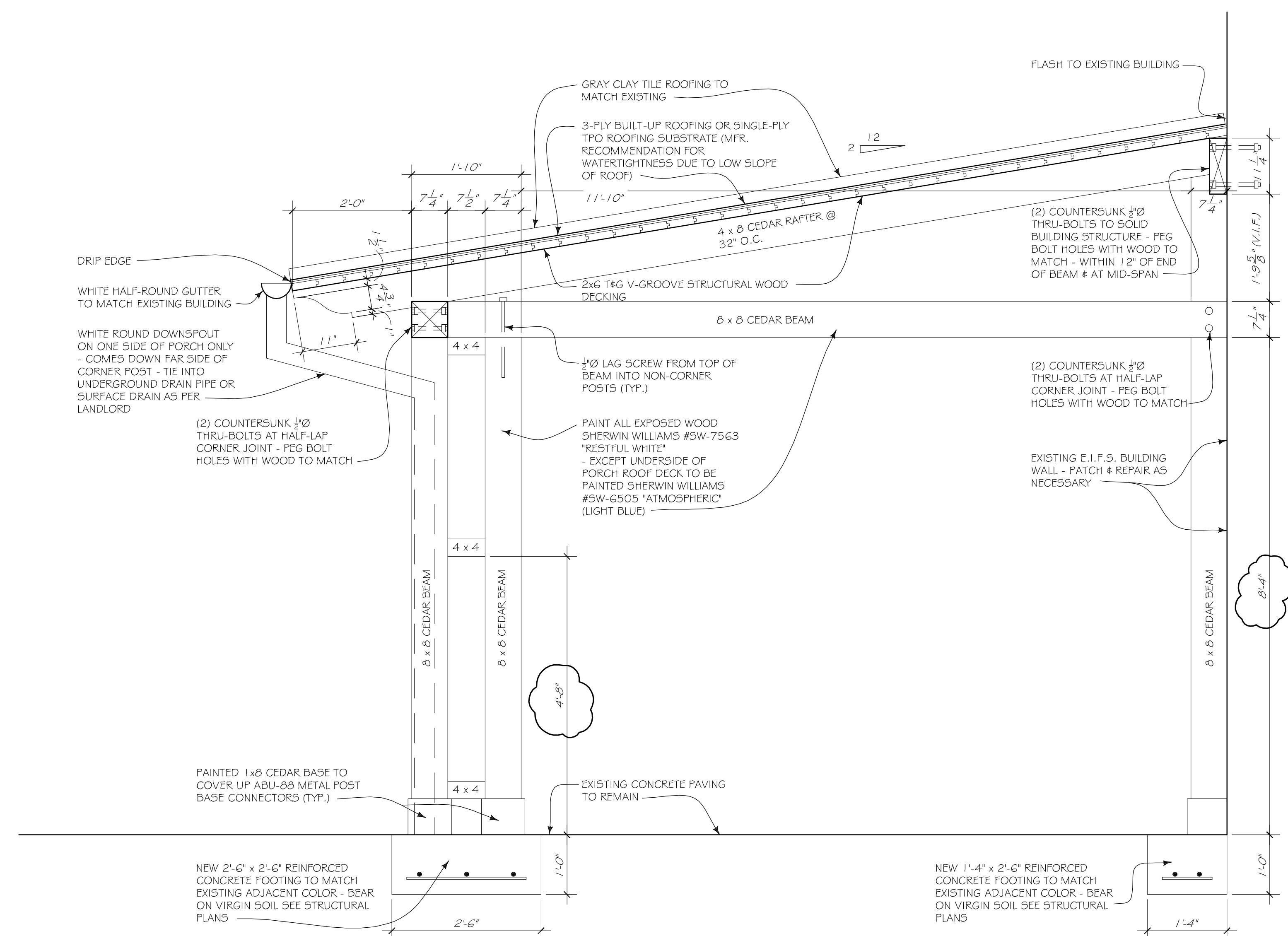
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1 (NOT USED)
SCALE: 1/4" = 1'-0"

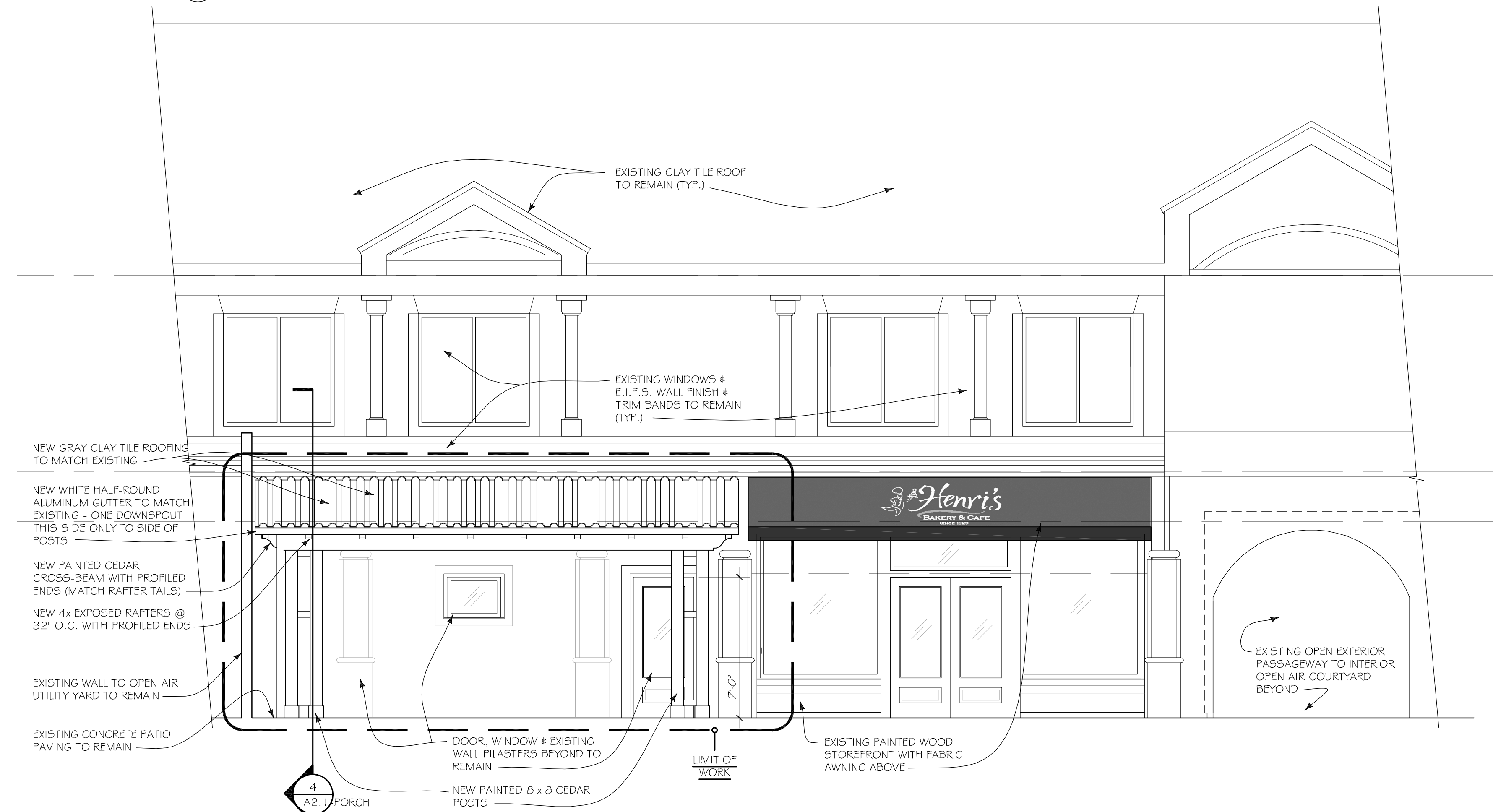


2 SIDE ELEVATION OF COVERED PORCH
SCALE: 1/4" = 1'-0"



4 PORCH SECTION
SCALE: 3/4" = 1'-0"

18 JUL 2017 AS-BUILT REVISIONS
03 JUL 2017 LANDLORD REVIEW
10 MAR 2017 LANDLORD REVIEW



3 EAST EXTERIOR ELEVATION - PROPOSED - FACING STREET (CAINS HILL PLACE)
SCALE: 1/4" = 1'-0"

HENRI'S
DELICATESSEN

INTERIOR RENOVATION
ANDREWS SQUARE - SUITE 10
56 E. ANDREWS DRIVE
ATLANTA, GA.

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PORCH
ELEVATIONS
& WALL SECTION

A2.1-
PORCH

RELEASED FOR CONSTRUCTION

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