

**PROPERTY DATA:**

PROPERTY AREA: 10,166 SF (0.233 ACRES)  
PRESENT ZONING: SPI-9 SA3 (EXTENDED VILLAGE)  
NEIGHBORHOOD PLANNING UNIT: B  
COUNCIL DISTRICT: 8  
TAX ID NUMBER: 17009900020046 (FULTON)

**OWNER/APPLICANT:**

DS, LLC (ALI AYDIN, CEO)  
720 RIVER KNOLL DRIVE  
MARIETTA, GEORGIA 30067  
PHONE: (404) 441-3035  
EMAIL: ali@aximumwatch.com

**SPECIFICATIONS TABLE:**

ZONING: SPI-9 SA3 (EXTENDED VILLAGE)  
NET LOT AREA = 10,166 SQUARE FEET  
EXISTING FLOOR AREA:  
STORY ONE = 1702 SF (JEWELER)  
STORY TWO = 1702 SF (HAIR SALON)  
STORY THREE = 1812 SF (OFFICE)

PROPOSED FLOOR AREA:  
STORY FOUR = 1812 SF (RESIDENTIAL)

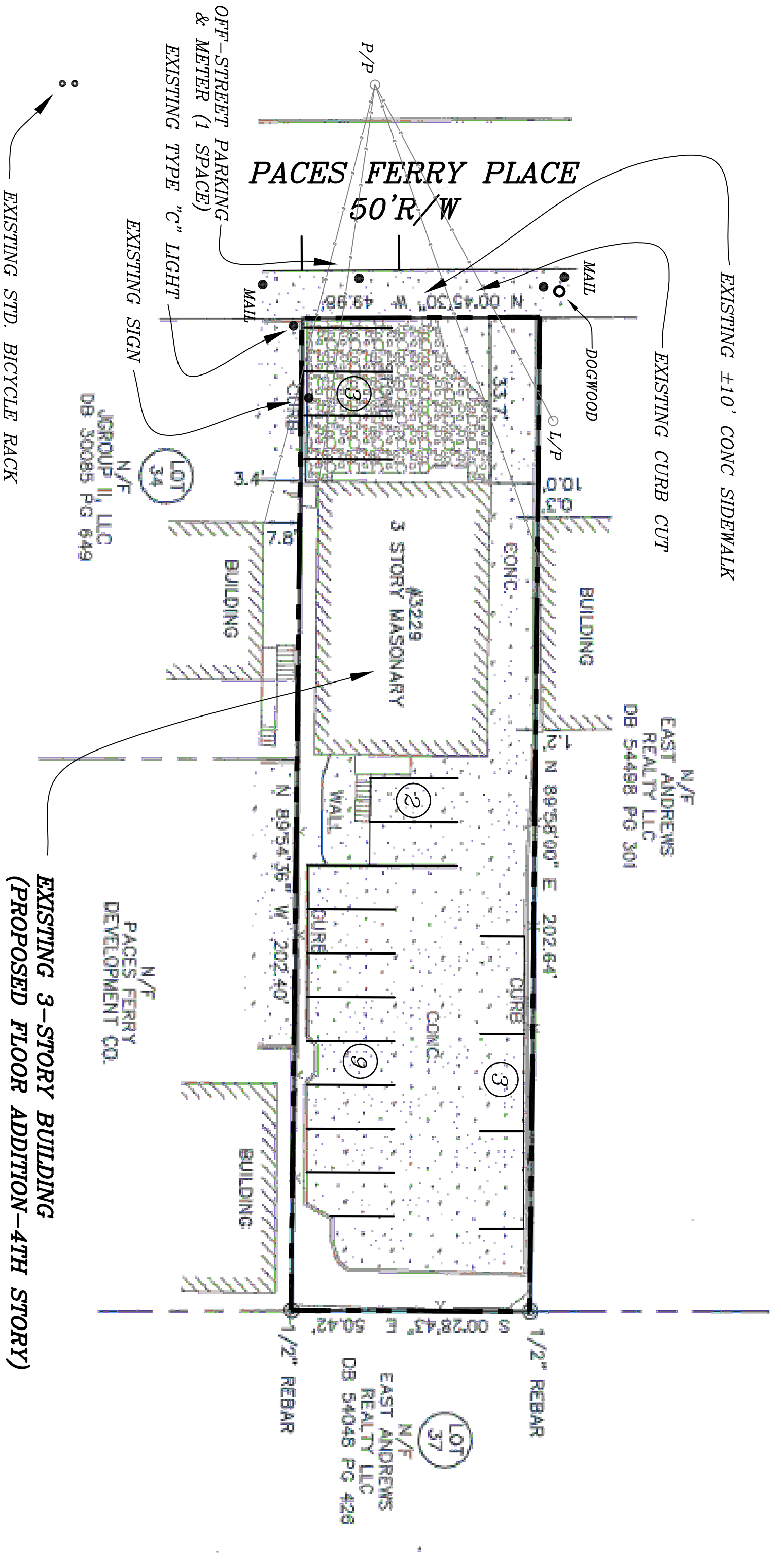
TOTAL FLOOR AREA = 7,028 SQUARE FEET  
FLOOR AREA RATIO (FAR) = 0.691  
ALLOWABLE FAR = 0.848 (ATTACHMENT A)

PARCEL AREA LESS THAN 1 ACRE:  
EXEMPT FROM USABLE OPEN SPACE REQ (USOR)

FLOOR AREA EXPANSION LESS THAN 8,000 SF  
AND LESS THAN 40% EXISTING FLOOR AREA:  
EXEMPT FROM REDEVELOPMENT REQUIREMENTS FOR  
SIDEWALK STREETScape, SUPPLEMENTAL ZONE AND  
RELATION OF BUILDING TO STREET REQUIREMENTS.

PROPOSED BUILDING HEIGHT = 44 FEET  
ALLOWABLE BUILDING HEIGHT = 150 FEET

EXISTING OFF-STREET PARKING = 17 SPACES  
EXISTING ON-STREET PARKING = 1 SPACE



EXISTING 3-STORY BUILDING  
(PROPOSED FLOOR ADDITION-4TH STORY)  
SEE BUILDING PLANS BY TCHAYA ARCHITECTURAL DESIGN

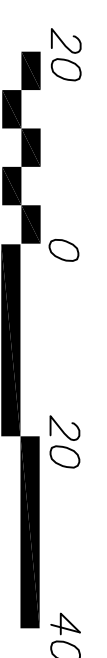
**REFERENCES:**

BOUNDARY SURVEY FOR ALI AYDIN  
BY BOUNDARY ZONE, INC., DATED JAN 23, 2017

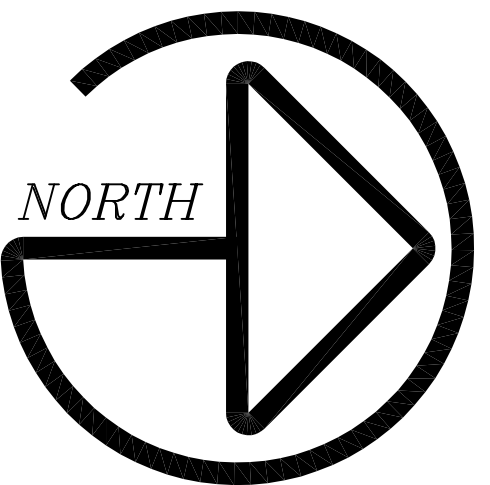
**SITE DEVELOPMENT:**

NO PROPOSED LAND DISTURBANCE ACTIVITIES.

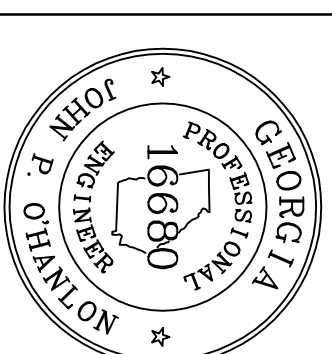
SCALE: 1" = 20'



(1"=40' FOR LEDGER SIZE REDUCTIONS)



PREPARED BY:  
**JOHN P. "JACK" O'HANLON, PE**  
ENGINEERING - PLANNING - ENTITLEMENTS - CONSTRUCTION  
120 HICKORY WALK MARIETTA, GEORGIA 30064  
PHONE: 404.456.8930 EMAIL: jp.ohanlon@outlook.com



SPECIAL ADMINISTRATIVE PERMIT SITE PLAN FOR:  
**3229 PACES FERRY PLACE**  
LAND LOT 99 2 17TH DISTRICT  
FULTON COUNTY (CITY OF ATLANTA), GEORGIA

DATE:  
AUGUST 21, 2017

ELIF FINE JEWELRY



















SAP-17-17  
Office of Planning

AUG 23 2017

55 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA

**DS, LLC**  
720 River Knoll Drive  
Marietta, Georgia 30067  
[ali@aximumwatch.com](mailto:ali@aximumwatch.com)  
(404) 441-3035

August 14, 2017

City of Atlanta Department of Planning  
Office of Zoning and Development  
55 Trinity Avenue, Suite 3350  
Atlanta, Georgia 30303

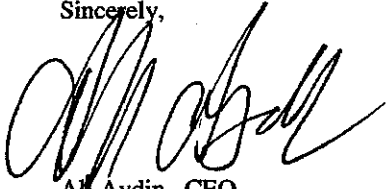
RE: Project Summary - Special Administrative Permit (SAP)  
3229 Paces Ferry Place – Building Addition  
Tax Parcel 17009900020046  
Present Zoning: SPI-9-SA3 (Extended Village)

I am the owner of the referenced property and I want to construct a fourth story atop the existing three-story building on the property. The first story is currently a retail jewelry store (Elif Fine Jewelry). The second story is currently a hair salon (Soren Salon). The third story is currently used as office space. The first story is a basement level which daylights on the front but is below grade to the rear. Thus, the rear of the existing building is two stories in height.

The added fourth story will have a gross floor area of approximately 1,900 square feet and will be constructed for a single-family residential use. Access to the proposed residence will be provided by extending the exterior steel stairway at the rear of the building. A flat roof with parapets will replace the existing pitched roof. A balcony will project from the front constructed forth story. The exterior of the proposed fourth story will resemble the existing stories in terms of material, color and fenestrations.

No land disturbance or site modifications are proposed. Parking for the new residence will be provided/designated in the existing parking lot at the rear of the building.

Sincerely,



Ali Aydin, CEO  
DS, LLC

Applicants must appear in person to file an application. Applications by mail or courier will not be accepted.



**APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)**

For SPI, Beltline, LW, MR, MRC & NC Zoning Districts  
City of Atlanta, Office of Zoning and Development (404-330-6145)

File No.: SAP-17-117

APPLICANT (name) ALI AYDIN

COMPANY DS, LLC

ADDRESS 720 RIVER KNOLL DR. MARIETTA, GA 30067

PHONE NO. 404-441-3035 EMAIL ALI@AXIMUMWATCH.COM

PROPERTY LANDOWNER DS, LLC

ADDRESS 720 RIVER KNOLL DR. MARIETTA, GA 30067

PHONE NO. 404-441-3035 EMAIL ALI@AXIMUMWATCH.COM

ADDRESS OF PROPERTY 3229 PAGES FERRY PLACE, ATLANTA, GA 30305

Land District 17TH Land Lot 99 Council District B NPU B

Is property within the BeltLine Overlay District? Yes  No  Zoning Classification SPI-9 SA3 (EXTENDED VILLAGE)

Office of Planning  
AUG 23 2017  
66 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA

**INSTRUCTIONS (approved SAP plans shall be included in Building Permit Application submittal to the Office of Buildings):**

- **Demolition Permits:** Applications for demolition permits shall not be approved until the SAP is approved.
- **Signage:** SAP approval for free-standing/monument and/or projecting structures only. Signage approval issued by Office of Buildings.
- **Submittal Package Requirements (See detailed checklist):**

- 1) **Project Summary:** Provide cover letter describing new construction, alterations, repairs or other changes to the exterior of existing structures and/or the site. Requests for administrative variations must be accompanied by a written justification for each.
- 2) **Property Survey:** Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.
- 3) **Site Plan (released for construction and sealed) and Building Elevations:**
  - a. **Initial Submission:** Four (4) Site plans & Two (2) Elevations; If DRI or NPU review is required: one (1) extra copy per review
  - b. **Final Submission:** after initial staff review addressing staff comments: Six (6) Site plans & Three (3) Elevations.
  - c. **Other information:** Copies of applicable Rezoning Legislation, Special Use Permit and any letters for Variance or Special Exception. Note: additional plans or documents may be required at the discretion of the Office of Planning.
- 4) **Property Owner Authorization:** Submit required notarized owner consent per attached form.
- 5) **Notice to Applicant:** Submit attached form with signature and date.

**Additional Submittal Requirements (as applicable):**

- o **Photographs (buildings/site):** Show existing conditions for alterations to exterior building facades and/or site modifications.
- o **Shared Off-site Parking:** Requests for approval of off-site parking submit materials on Shared Off-site Parking checklist.
- o **BeltLine, NC-2, NC-6, NC-10, NC-11, NC-12, & NC-14 Districts:** Pre-application conference with Planning Staff is recommended prior to SAP submittal. To arrange such a meeting contact Facia Brown at 404-330-6636 or [fbrown@atlantaga.gov](mailto:fbrown@atlantaga.gov). **INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE** for the required 21-day NPU review period as detailed below. Submit (1) one application and (3) three sets of drawings, staff will make copies of the received SAP for you.
  - > Mail a copy of the submitted SAP application & drawings stamped received by the Office of Planning to the NPU.
  - > Submit a copy of U.S. Postal Service Certificate of Mailing and notarized Affidavit of NPU Notification as soon as possible to complete the application submission and begin the SAP review period.
- o **Development Review Committee (DRC)\*:** Projects in the BeltLine & SPIs 1, 9, 12, 15, 16, 17 districts may require DRC review.
- o **Development of Regional Impact (DRI) Study:** Developments either over 500,000 s.f. or having greater than 600 residential units may require a DRI approval by GRTA and ARC. For full thresholds and rules contact GRTA and/or ARC.
  - > Initial submission: DRI Form 1 with the SAP application. Planning staff will then submit information to GRTA and ARC.
  - > Final submission: Copy of the DRI Notice of Decision letter shall be printed on the final site plan submission.

• **Watershed Management (DWM) Requirements (Section 74-504(a)):** Consultation meeting with DWM is REQUIRED for any site disturbance to determine applicable stormwater work. Call 404-330-6249 or visit: [www.atlantawatershed.org/greeninfrastructure](http://www.atlantawatershed.org/greeninfrastructure)

- **Fees (non-refundable):** Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.
  - Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.
  - Developments < 50,000 sqft of floor area: \$500.
  - Developments 50,000 to 250,000 sqft of floor area: \$1,000.
  - Developments ≥ 250,000 sqft of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date 8/23/2017 Signature of Applicant [Signature]

The City Code provides that Planning Director shall review each request for an SAP within 30 days of a filing of a completed\* application. (Atlanta Code Chapter 16, Section 16-25). \* Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.

(FOR OFFICE OF PLANNING OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was  approved or  denied on \_\_\_\_\_  
See attached **Special Administrative Permit Approval Form(s)** for detailed approval information.



Office of Zoning & Development  
City of Atlanta  
**SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION**

**Notice to Applicants**

AUG 23 2017  
File # SAP-17-117

55 Trinity Ave. S.W.  
Atlanta, GA

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Zoning & Development (OZD) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

**It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted.** The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OZD.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OZD. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OZD

It shall be the responsibility of the applicant, not the OZD, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OZD at the time of issuance of the SAP.

It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OZD staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OZD for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

ALI AYDIN  
Applicant Printed Name

[Signature]  
Applicant Signature

8/23/2017  
Date

















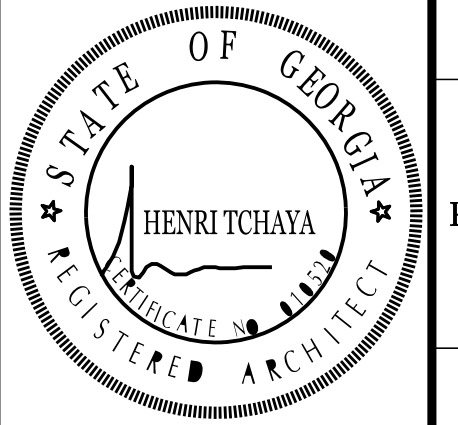


ELIF FINE JEWELRY

PACES  
FERRY  
PLACE  
BUSINESS LISTING

ELIF FINE  
JEWELRY





# ALI AYIDEN RESIDENCE

3229 paces ferry pl atlanta

## FLOOR ADDITION

**OWNER**

ALI AYIDEN  
atlanta ga

**ARCHITECT**

TAD ARCHITECTS (404)725-6731  
htchaya@aol.com

**CIVIL**

**STRUCTURAL**

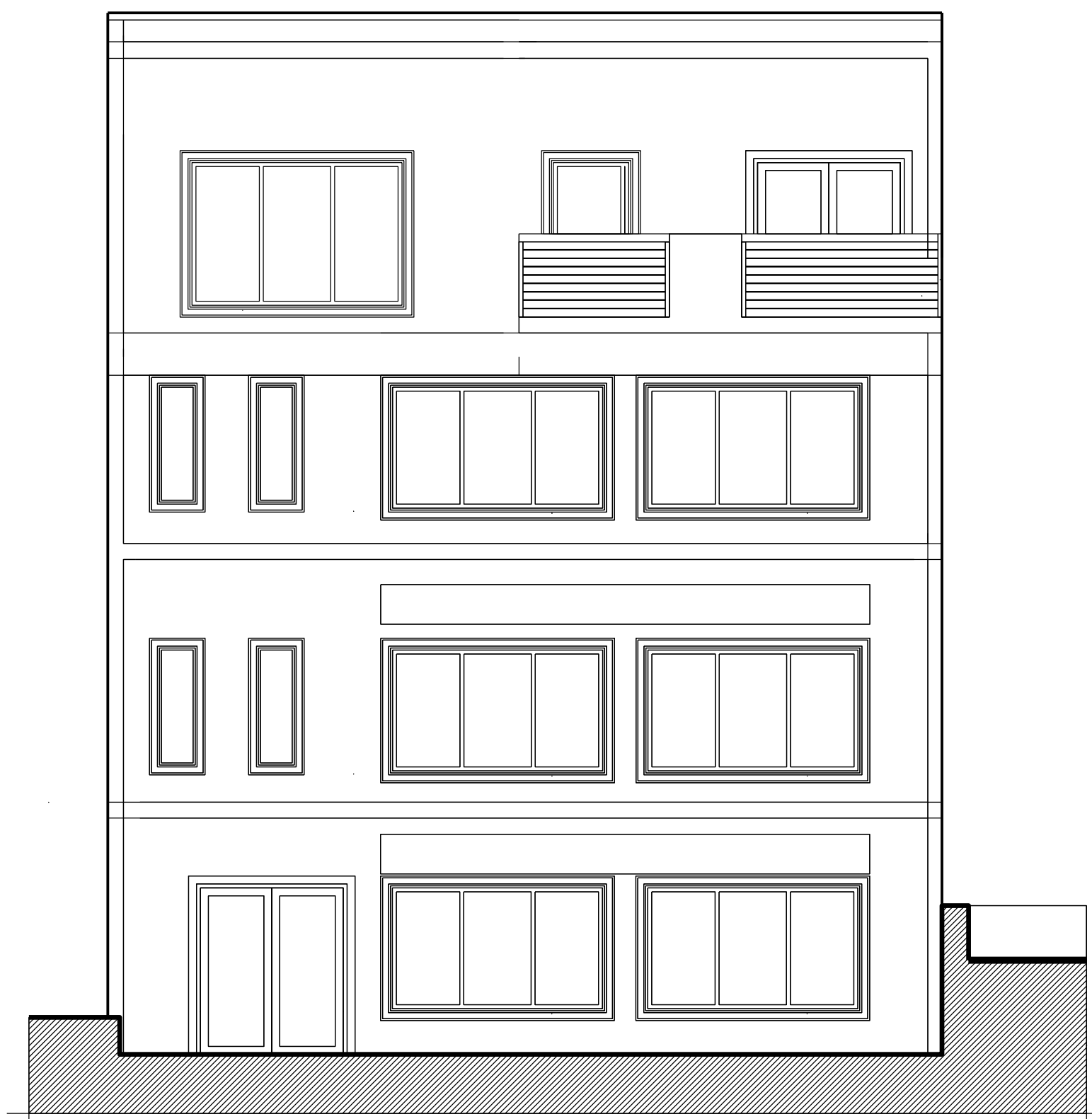
**PROJECT DATA**

ZONING	BUILDING CLASSIFICATION	TYPE OF CONSTRUCTION		AREA
SPI-9, SA-3	R1c	V B	NON SPRINKLERED	1,900sf

**DRAWING INDEX**

**PROJECT DESCRIPTION**

REMOVAL OF A PITCHED ROOF, ADDITION OF A FLOOR FOR A RESIDENTIAL THREE BEDROOM APARTMENT



NEW FLOOR ADDITION

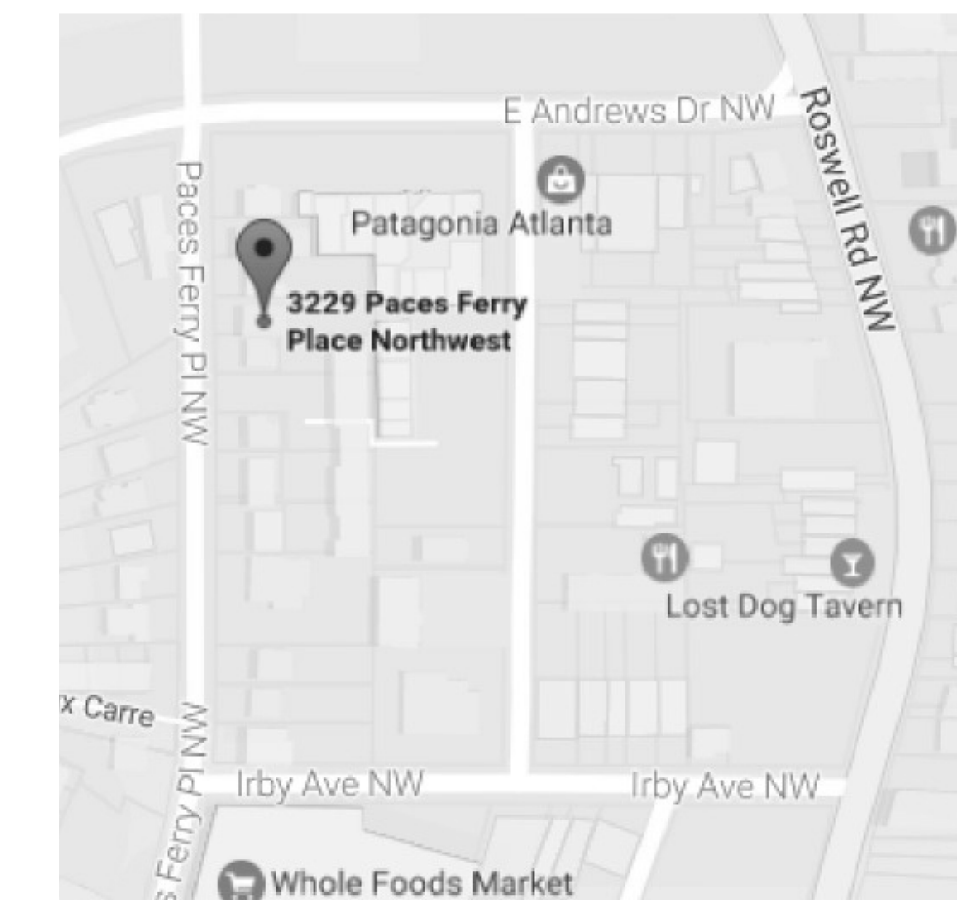
sheet no.	sheet name	original issue	released for construction	latest revision
	<b>CIVIL</b>			
	<b>ARCHITECTURE</b>			
A-01	COVER			
A-02	EXISTING FLOOR PLANS AND ELEVATIONS			
A-03	ADDITION FLOOR PLAN			
A-04	ELEVATIONS/SECTIONS			
A-05	ROOF DETAILS / BUILDING SECTION			
A-06	EXTERIOR STAIR			
A-07	FLOOR FRAMING			
A-08	ROOF FRAMING			
A-09	ELECTRICAL FLOOR PAN			

**CODE / PROJECT INFORMATION**

**GOVERNING CODES**

INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION,  
 WITH GEORGIA AMENDMENTS  
 INTERNATIONAL BUILDING CODE, 2012 EDITION,  
 WITH GEORGIA AMENDMENTS  
 INTERNATIONAL FIRE CODE, 2012 EDITION,  
 WITH GEORGIA AMENDMENTS  
 INTERNATIONAL PLUMBING CODE, 2012 EDITION,  
 WITH GEORGIA AMENDMENTS  
 INTERNATIONAL MECHANICAL CODE, 2012 EDITION,  
 WITH GEORGIA AMENDMENTS  
 INTERNATIONAL FUEL GAS CODE, 2012 EDITION,  
 WITH GEORGIA AMENDMENTS  
 INTERNATIONAL ENERGY CONSERVATION CODE,  
 2009 EDITION,  
 WITH GEORGIA SUPPLEMENTS AND AMENDMENTS  
 GEORGIA STATE HANDICAP, ACCESSIBILITY CODE, 120-3-20(A)  
 NATIONAL FIRE PROTECTION ASSOCIATION  
 101 LIFE SAFETY CODE (LSC) - 2012 EDITION

**LOCATION PLAN**



Drawing Title

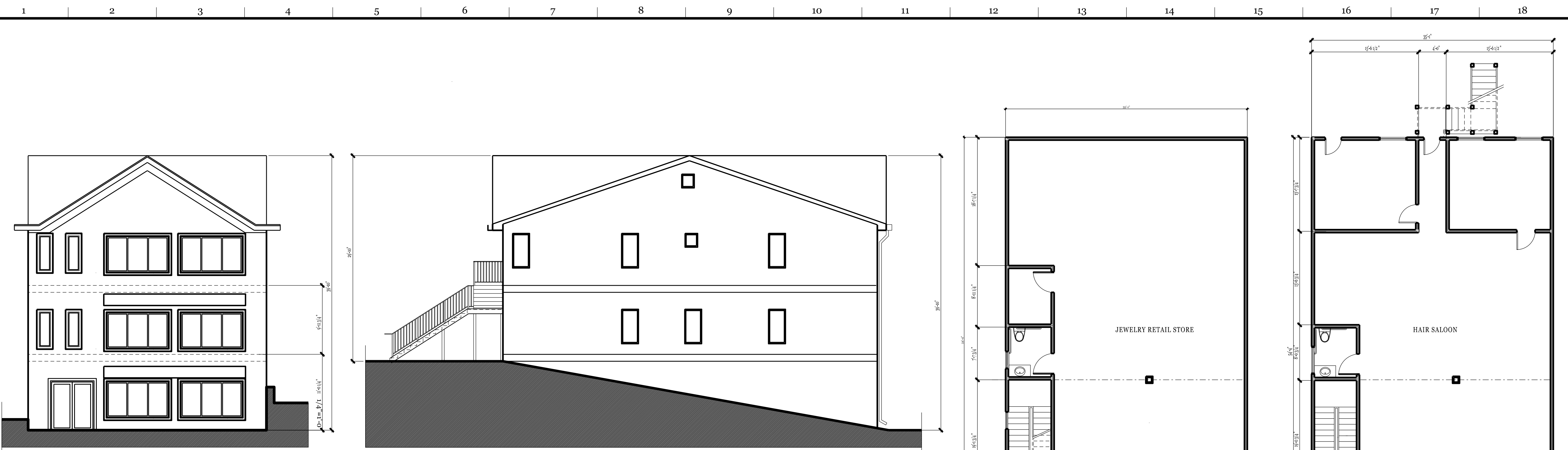
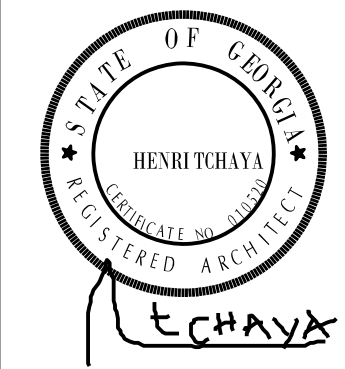
COVER

Drawing No.

Date  
11/20/2016

A-01

RELEASED FOR CONSTRUCTION

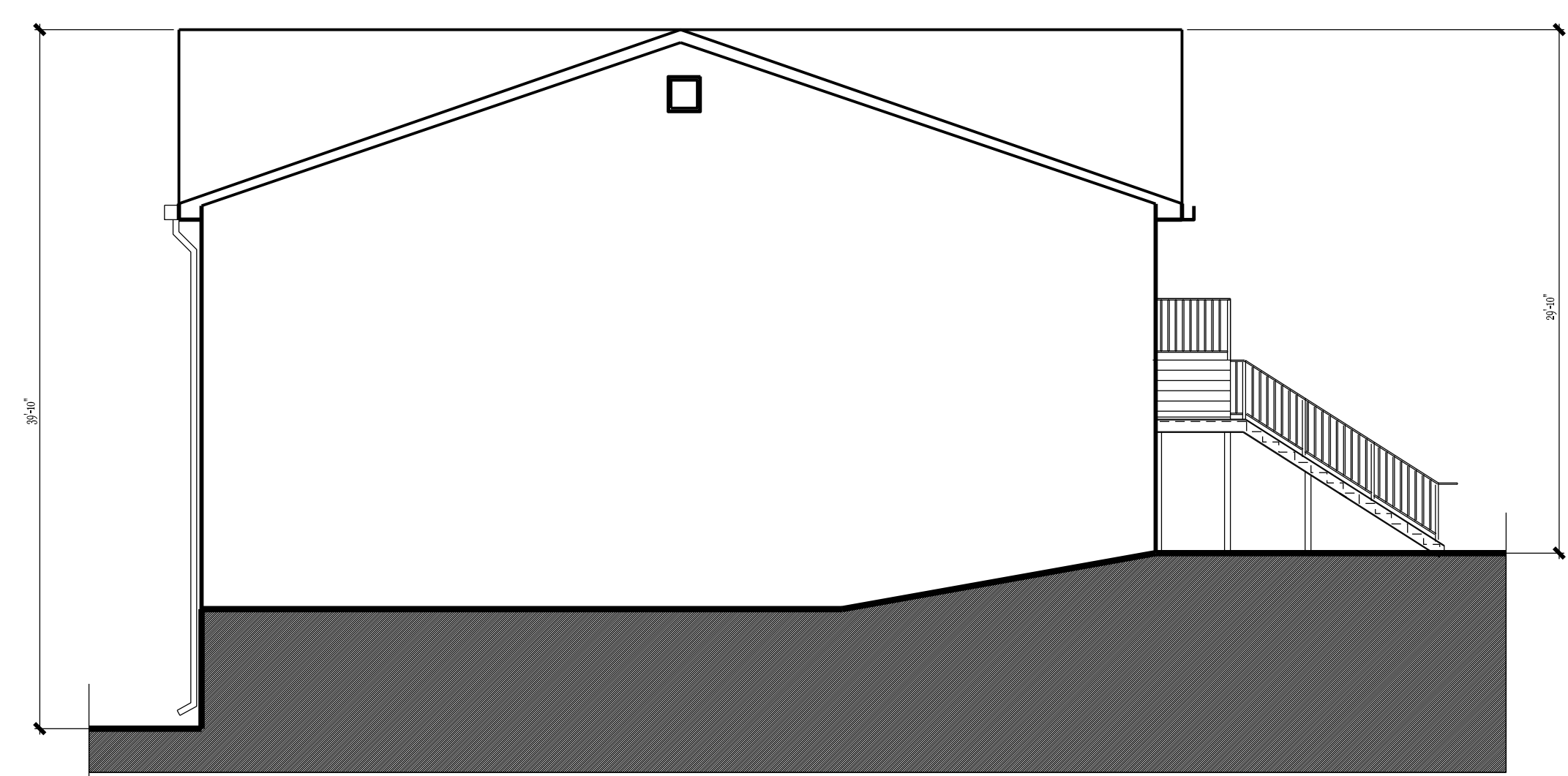
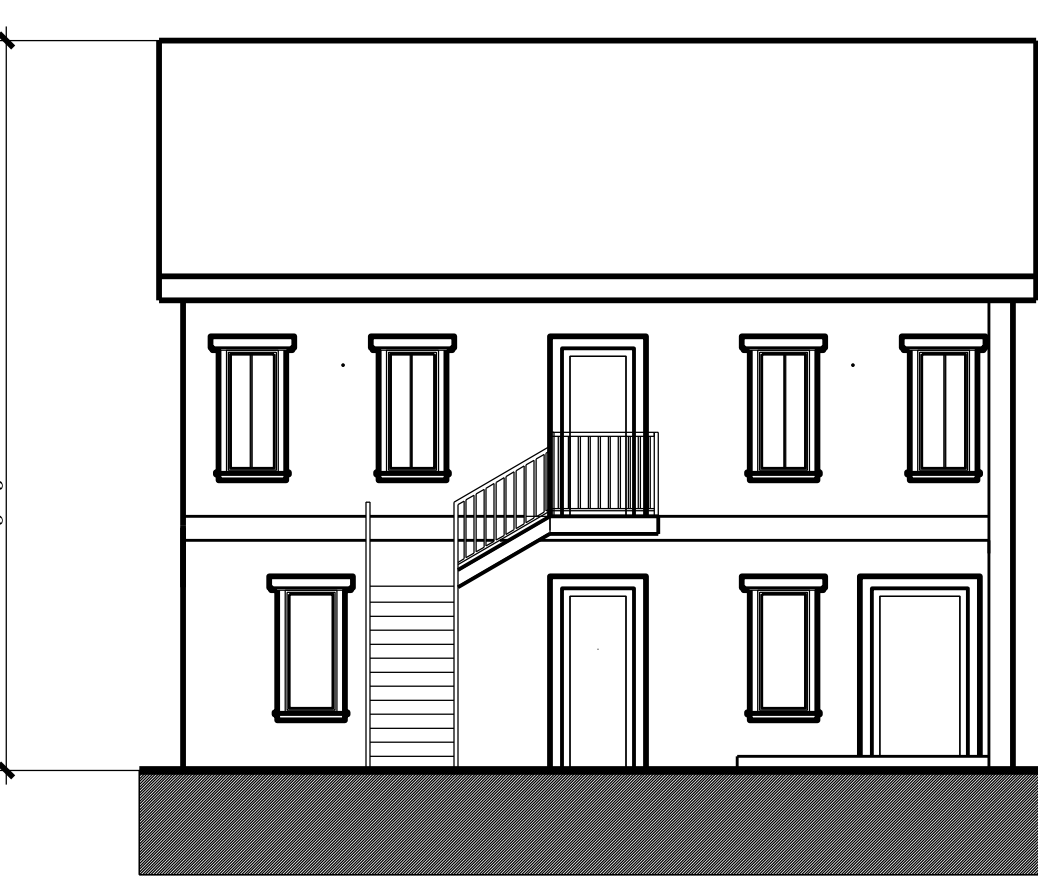


1 EXISTING FRONT ELEVATION  
 A-02 1/8"=1'-0"

2 EXISTING RIGHT ELEVATION  
 A-02 1/8"=1'-0"

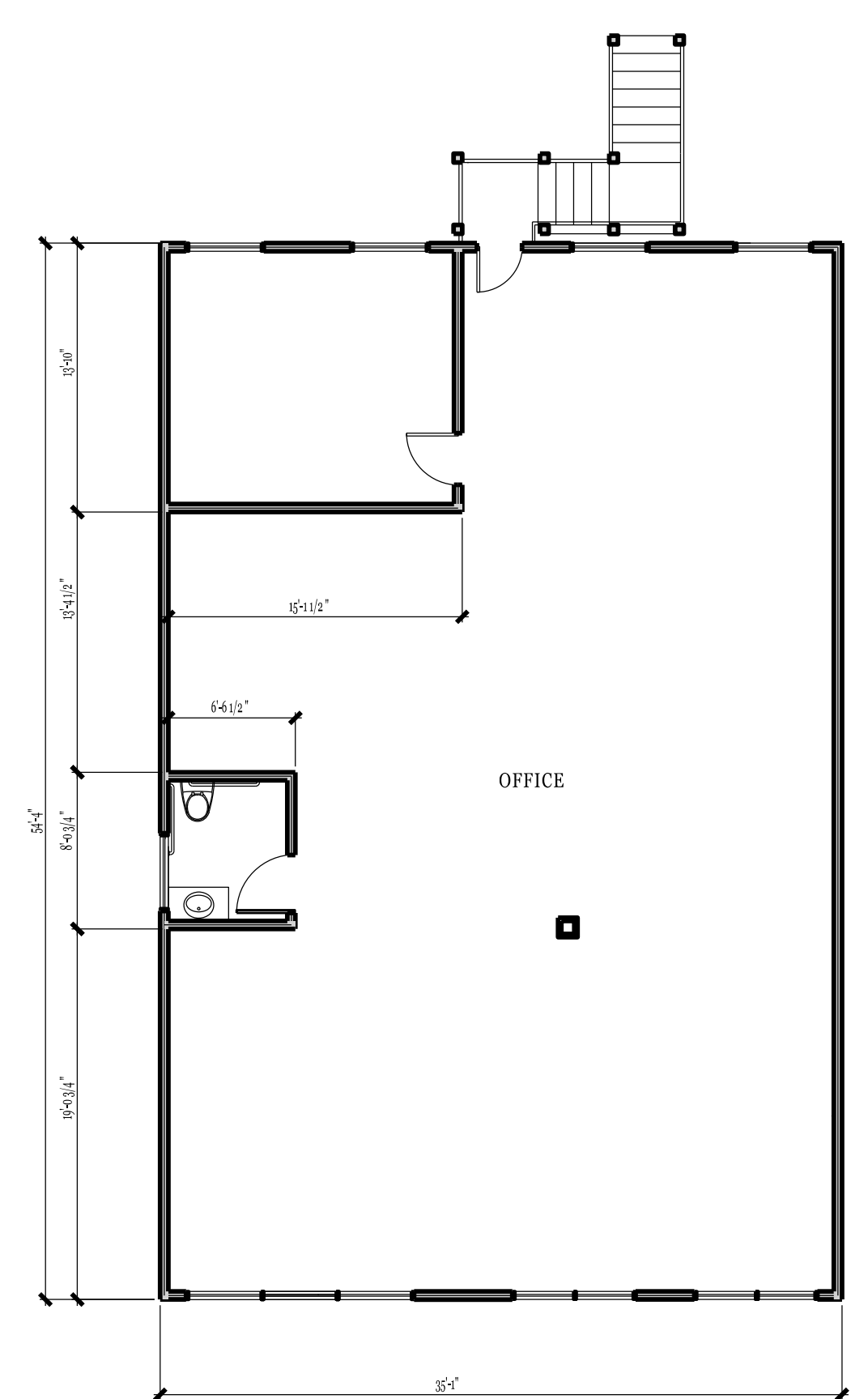
1 EXISTING LOWER LEVEL FLOOR PLAN  
 A-02 1/8"=1'-0"

1 EXISTING UPPER LEVEL FLOOR PLAN  
 A-02 1/8"=1'-0"



3 EXISTING REAR ELAVATION  
 A-02 1/8"=1'-0"

4 EXISTING RIGHT EEEVATION  
 A-02 1/8"=1'-0"



1 EXISTING 3RD LEVEL FLOOR PLAN  
 A-02 1/8"=1'-0"

No.	REVISIONS/SUBMISSIONS	Date

Drawing Title  
**EXISTING FLOOR PLANS AND ELEVATIONS**

Project No. Drawing No.

**A-02**

Scale

RELEASED FOR CONSTRUCTION

DOOR SCHEDULE (INTERIOR)										
MAIN LEVEL INTERIOR DOORS										
DOOR	SIZE & DESCRIPTION	DOOR TYPE	LAMB WIDTH	DOOR LOCATION	THICKNESS	MATERIAL	GLAZING	LITE PATTERN	HARDWARE	NOTES
D101	3'-0" x 7'-0"	SWING	-	ENTRY	1 3/4"	WOOD	N/A	N/A	-	
D102	3'-0" x 7'-0"	SWING	-	BEDROOM	1 3/4"	WOOD	N/A	N/A	-	
D103	3'-0" x 7'-0"	SWING	-	BEDROOM	1 3/4"	WOOD	N/A	N/A	-	
D105	2'-10" x 7'-0"	SWING	-	CLOSET	1 3/4"	WOOD	N/A	N/A	-	
D106	2'-10" x 7'-0"	SWING	-	BATHROOM	1 3/4"	WOOD	N/A	N/A	-	
D107	2'-10" x 7'-0"	SWING	-	BATHROOM	1 3/4"	WOOD	N/A	N/A	-	
D108	2'-10" x 7'-0"	SWING	-	CLOSET	1 3/4"	WOOD	N/A	N/A	-	
D109	3'-0" x 7'-0"	SWING	-	BEDROOM	1 3/4"	WOOD	N/A	N/A	-	
D110	30" X 84" BARN DOOR	BARN	-	MECH	1 3/4"	WOOD	N/A	N/A	-	
D111	30" X 84" BARN DOOR	BARN	-	POWDER	1 3/4"	WOOD	N/A	N/A	-	
D112	30" X 84" BARN DOOR	BARN	-	LAUNDRY	1 3/4"	WOOD	N/A	N/A	-	
D113	2'-10" x 7'-0"	SWING	-	CLOSET	1 3/4"	WOOD	N/A	N/A	-	
D114	2'-10" x 7'-0"	SWING	-	BATHROOM	1 3/4"	WOOD	N/A	N/A	-	
D115	PR 2'-6" x 7'-0"	SLIDING	-	BALCONY	1 3/4"	METAL	N/A	N/A	-	

MAIN FLOOR FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	CIG. HGT.
101	LIVING ROOM	WOOD FLOOR BOARDS	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
102	DINING	WOOD FLOOR BOARDS	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
103	KITCHEN	CERAMIC OR STONE TILE (T.B.D.)	4" CERAMIC OR STONE TILE (T.B.D.)	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
104	BEDROOM	WOOD FLOOR BOARDS	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
105	BEDROOM	WOOD FLOOR BOARDS	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
106	BEDROOM	WOOD FLOOR BOARDS	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
107	BATHROOM	CERAMIC OR STONE TILE (T.B.D.)	4" CERAMIC OR STONE TILE (T.B.D.)	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
108	LAUNDRY	CERAMIC OR STONE TILE (T.B.D.)	4" CERAMIC OR STONE TILE (T.B.D.)	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
109	CLOSET	CARPET	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
110	CLOSET	CARPET	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
111	CLOSET	CARPET	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
112	BATHROOM	CERAMIC OR STONE TILE (T.B.D.)	4" CERAMIC OR STONE TILE (T.B.D.)	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
113	BATHROOM	CERAMIC OR STONE TILE (T.B.D.)	4" CERAMIC OR STONE TILE (T.B.D.)	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
114	POWDER	CERAMIC OR STONE TILE (T.B.D.)	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
115	MECH	N/A		1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
116	ENTRY HALL	WOOD FLOOR BOARDS	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"
117	PANTRY	WOOD FLOOR BOARDS	1X4 WOOD BASEBOARD	1/2" GYPSUM WALL BOARD, PAINTED	1/2" GYPSUM WALL BOARD, PAINTED	11'-0"

**FLOOR ADDITION**

No.	REVISIONS/SUBMISSIONS	Date

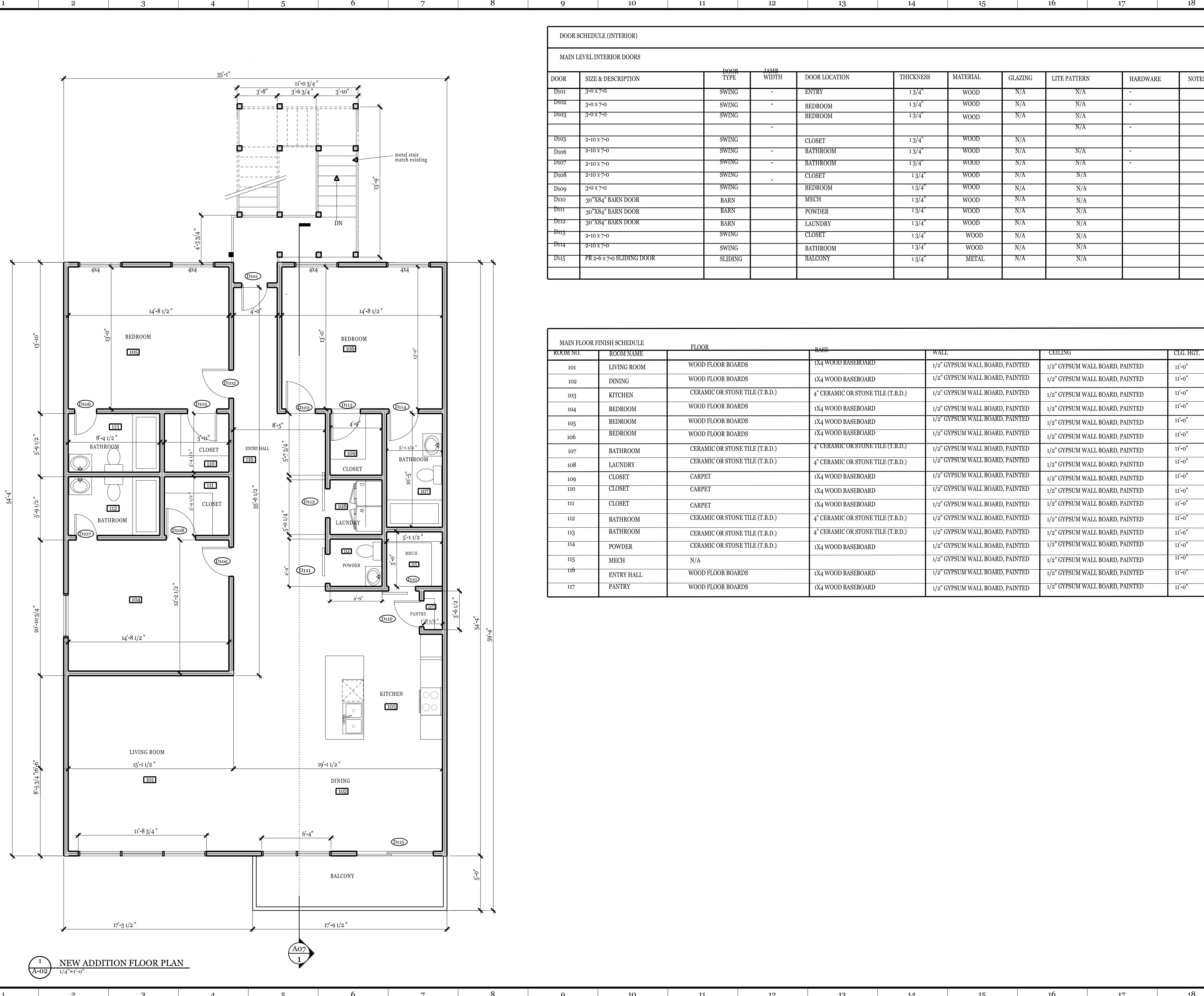
Drawing Title  
**ADDITION FLOOR PLAN**

Project No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

A-03

Scale \_\_\_\_\_

RELEASED FOR CONSTRUCTION



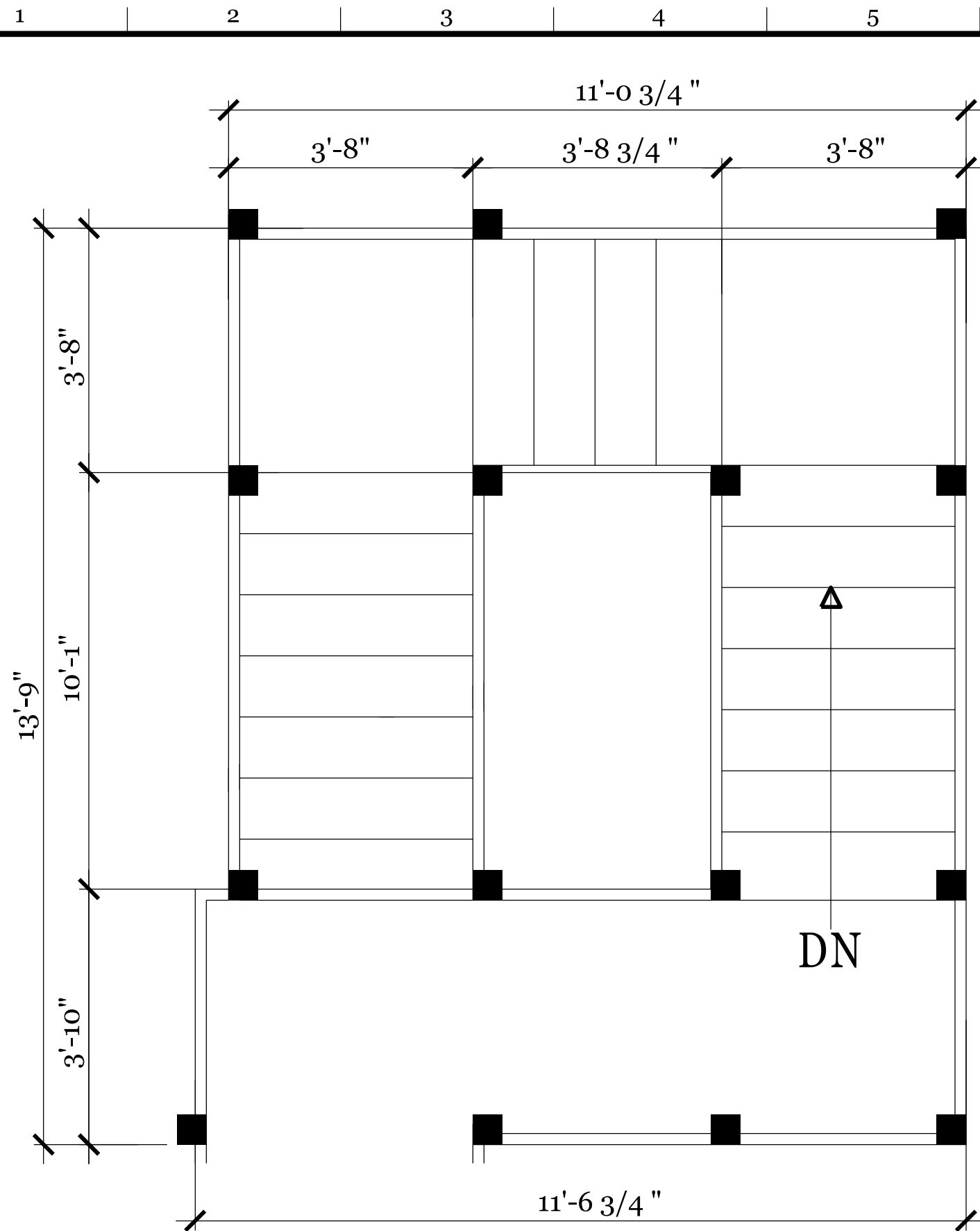
1 NEW ADDITION FLOOR PLAN  
 1/4"=1'-0"



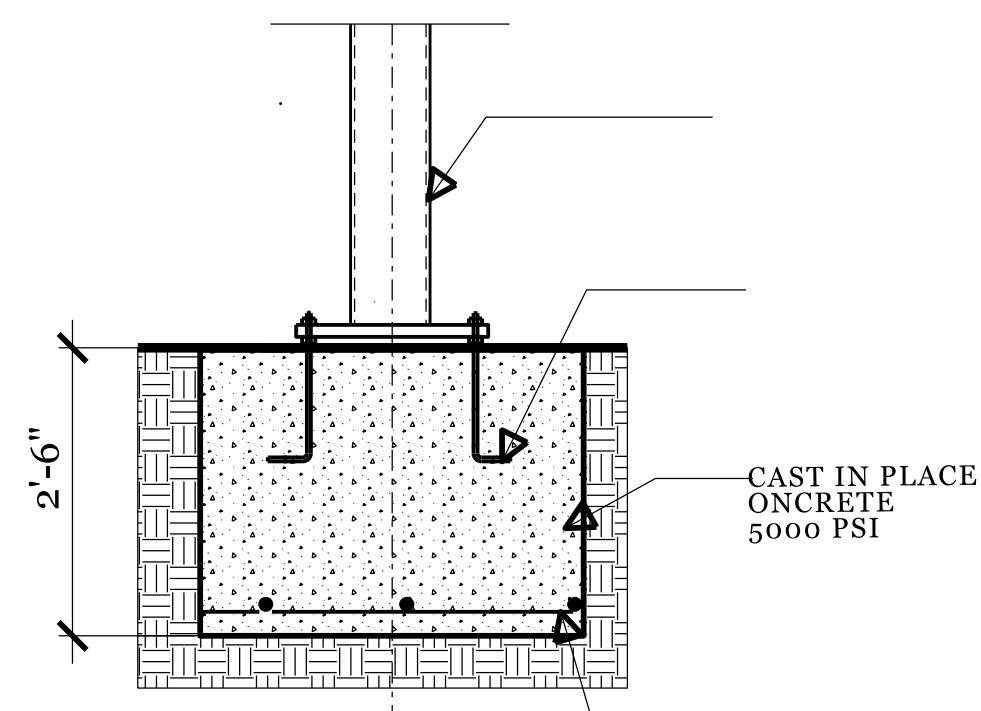
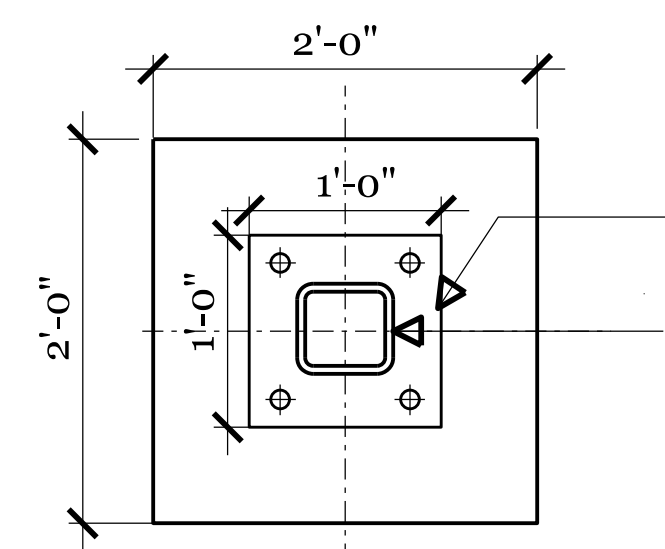




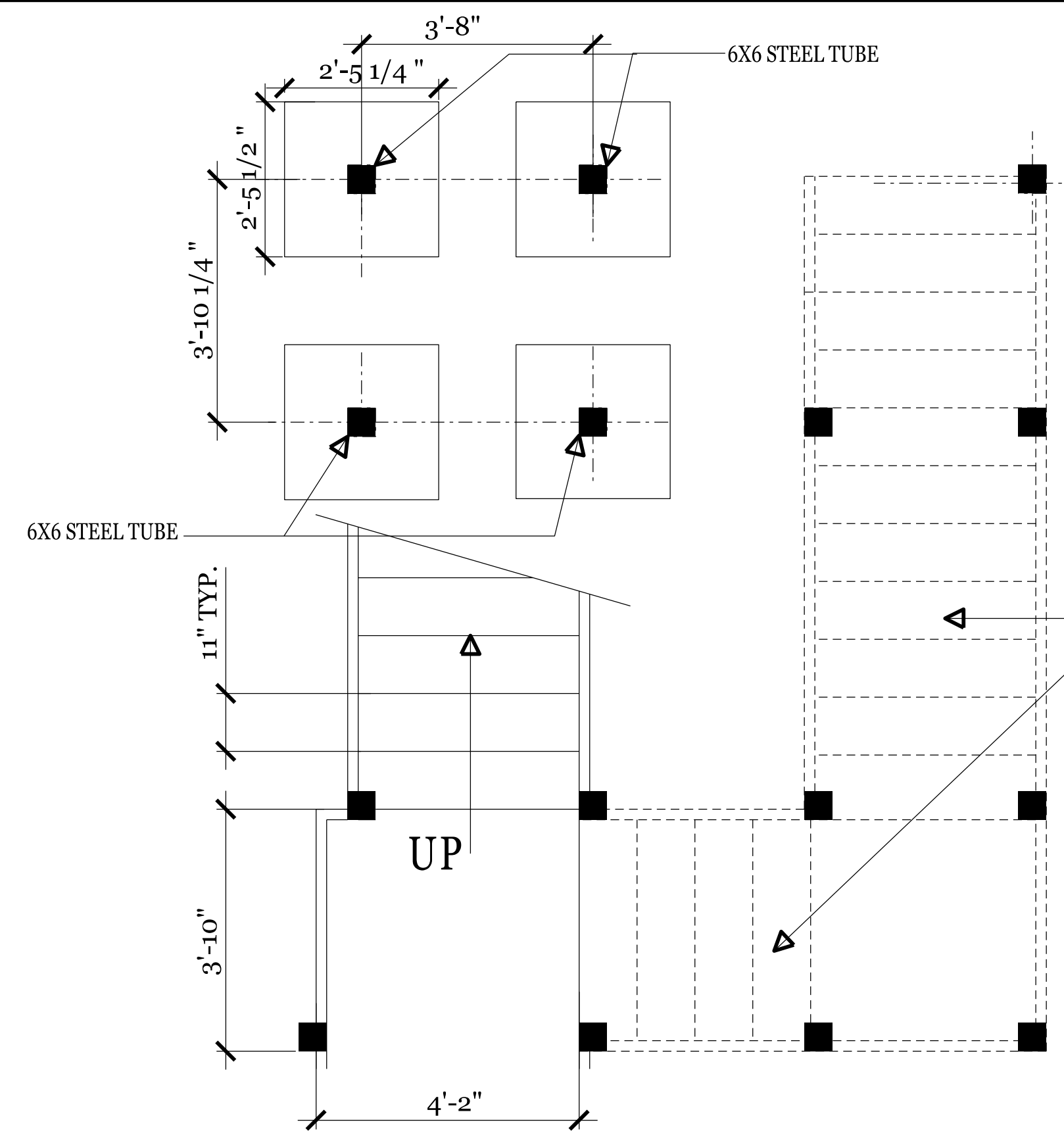




1 UPPER LEVEL STAIR PLAN  
 A-10 1/4"=1'-0"

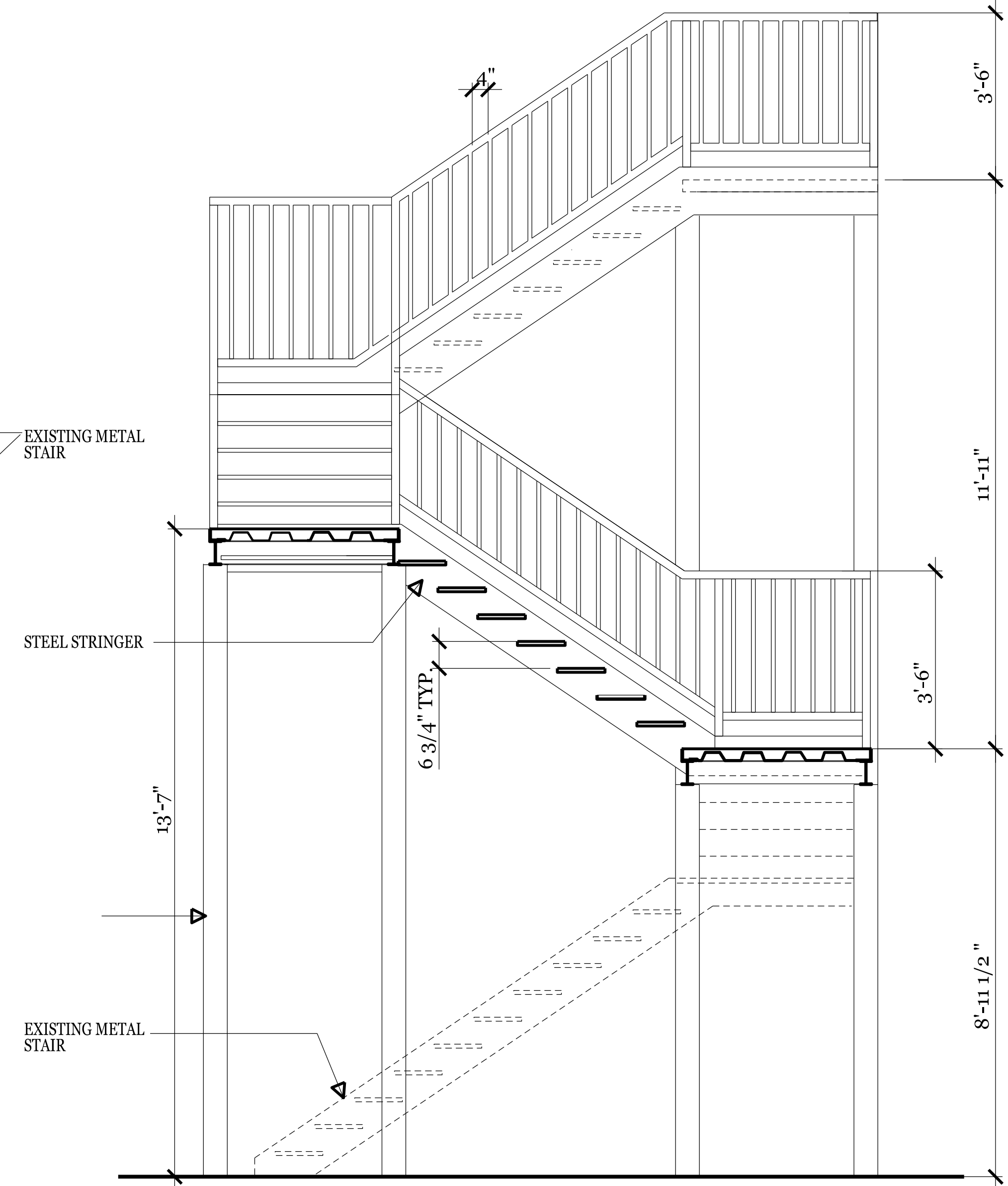


4 STEEL POST FOUNDATION  
 A-10 1/2"=1'-0"



2 LOWER LEVEL STAIR PLAN  
 A-10 1/4"=1'-0"

NOTES  
 CONTRACTOR TO FIELD VERIFY DIMENSIONS



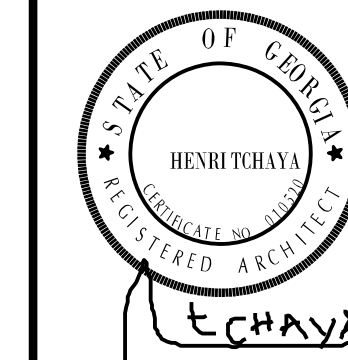
3 STAIR SECTION  
 A-10 1/4"=1'-0"

No.	REVISIONS/SUBMISSIONS	Date

Drawing Title <b>EXTERIOR STAIR</b>	
Project No.	Drawing No. <b>A-06</b>
Scale	

RELEASED FOR CONSTRUCTION





RELEASED FOR CONSTRUCTION

Project No. Drawing No.

A-08

Scale

ROOF FRAMING PLAN

1 A-13

1/4"=1'-0"

1

ROOF FRAMING PLAN

1/4"=1'-0"

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

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1

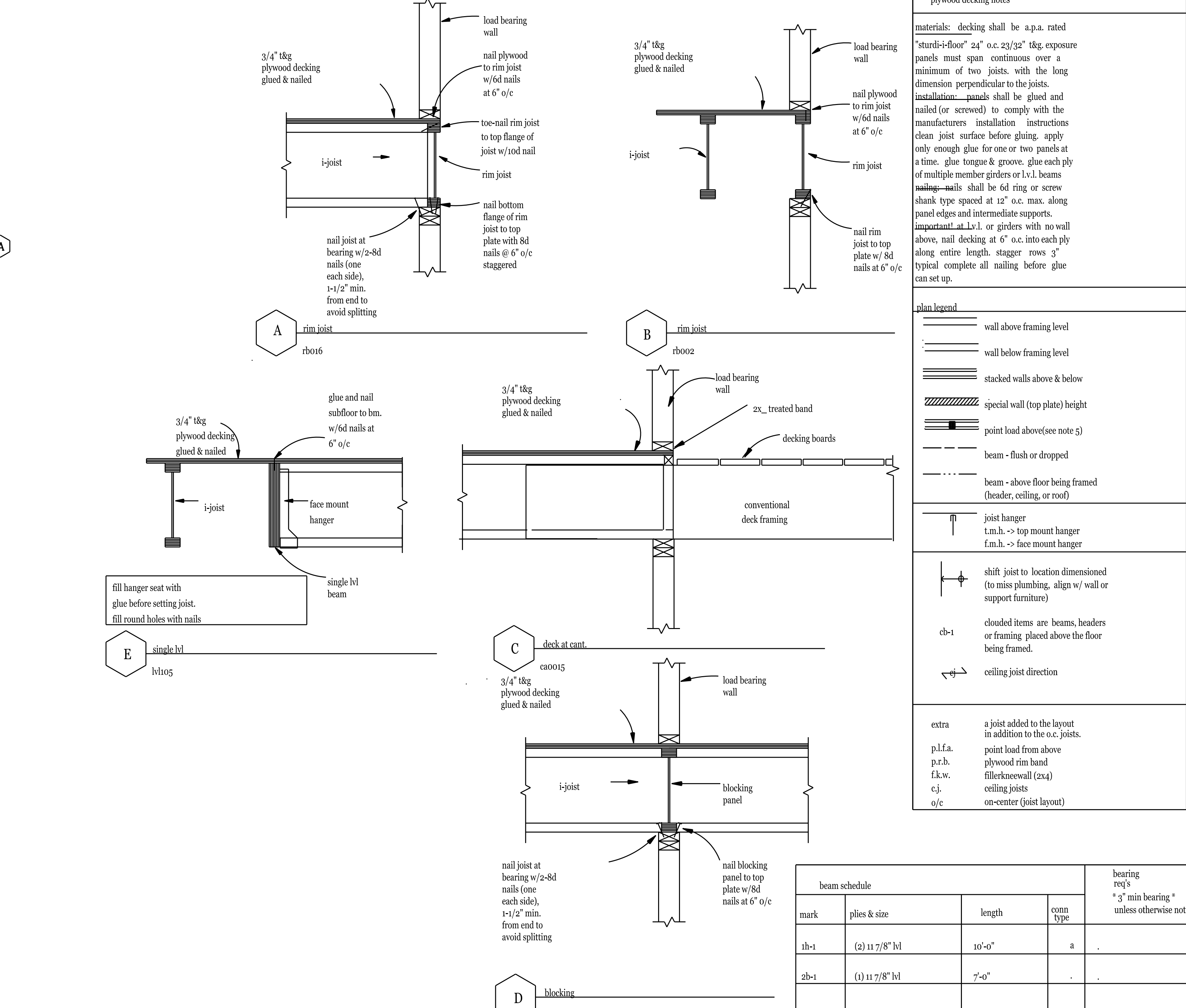
lvl connection types		nailing pattern		bolting pattern	
a	2" min typical 2 rows - 16d nails at 12" o/c typical	b	2" min typical 2 rows - 16d nails at 12" o/c typical	c	2" min typical 2 rows - 1/2" bolts at 24" o/c staggered typical
c	2" min typical 3 rows - 16d nails at 12" o/c nail center row from opposite face typ.	d	2" min typical 3 rows - 16d nails at 12" o/c nail center row from opposite face typ.	e	2" min typical 2 rows - 1/2" bolts at 24" o/c staggered typical
e	2" min typical 2 rows - 1/2" bolts at 24" o/c staggered typical	f	2" min typical 2 rows - 1/2" bolts at 24" o/c staggered typical		

lvl connection types		nailing pattern		bolting pattern	
1b1, 1b2,	=beam - 1st flr framing	1b1, 1b2,	=beam - 1st flr wall		
2b1, 2b2,	=beam - 2nd flr framing	1h, 1b2,	=header - basement wall		
cb1, cb2,	=beam - ceiling framing	1h1, 1h2,	=header - 1st flr wall		
rb1, rb2,	=beam - roof framing	2h1, 2h2,	=header - 2nd flr wall		

joist schedule					wall mounted light fixture		general notes:	
mark	depth	qty	length	comments				
#1	11 7/8"		14'-6"				1.) top chord of joists are painted red at numbered end. place painted end as noted on plan.	
#2	11 7/8"		15'-0"				2.) follow special spacing and location dimensions for extras or shifted joists as shown on plan.	
#2a	11 7/8"		28'-0"				3.) all interior wall top plates must be level with outside wall top plates.	
#2b	11 7/8"		17'-0"				4.) do not stack construction loads on un-braced joists.	
#2c	11 7/8"		7'-0"				5.) provide solid support below all beam and header bearing points in wall and joist spaces continuous down to the foundation.	
#2d	11 7/8"		4'-0"				6.) locate cripple studs in joist space directly below header jacks at all first floor exterior door locations.	
#3	11 7/8"		6'-6"				7.) install nails in all holes provided in joist hangers except at bottom chord seat. place a dab of glue in the hanger seat before setting joists.	
#1/b	11 7/8"		12'-0"	lpi-225.			8.) important note! no structural analysis of conventional headers has been conducted. they are considered to be adequate to support the applied loads.	



plywood decking notes

materials: decking shall be a.p.a. rated "sturdy-i-floor" 24" o.c. 23/32" t&g. exposure panels must span continuous over a minimum of two joists, with the long dimension perpendicular to the joists.

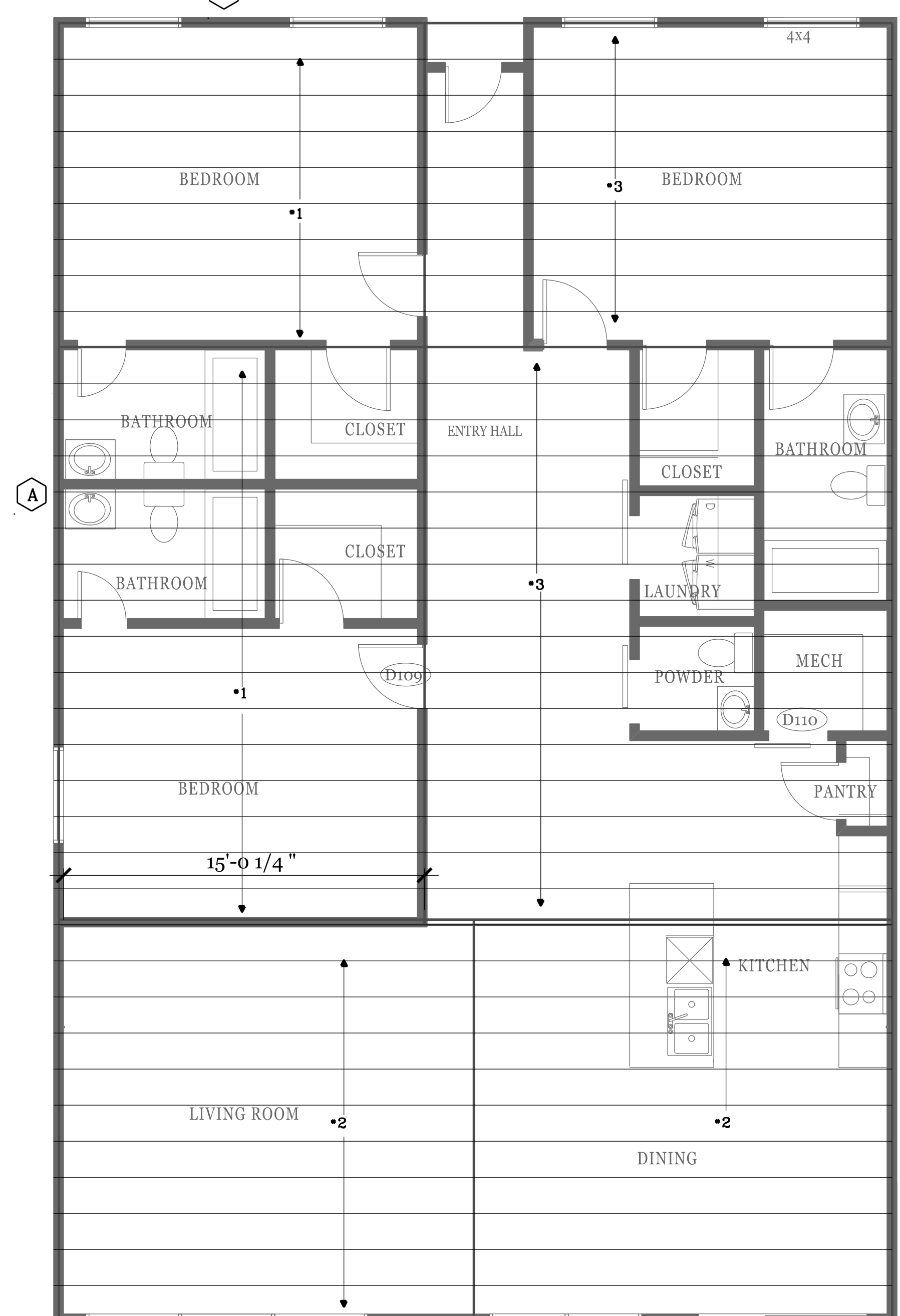
installation: panels shall be glued and nailed (or screwed) to comply with the manufacturers installation instructions clean joist surface before gluing, apply only enough glue for one or two panels at a time. glue tongue & groove. glue each ply of multiple member girders or l.v.l. beams **important!** nailing - nails shall be 6d ring or screw shank type spaced at 12" o.c. max. along panel edges and intermediate supports.

important! at l.v.l. or girders with no wall above, nail decking at 6" o.c. into each ply along entire length. stagger rows 3" typical complete all nailing before glue can set up.

plan legend

- wall above framing level
- wall below framing level
- ≡≡≡ stacked walls above & below
- ▨ special wall (top plate) height
- point load above (see note 5)
- - - beam - flush or dropped
- - - beam - above floor being framed (header, ceiling, or roof)
- ↑ joist hanger  
t.m.h. -> top mount hanger  
f.m.h. -> face mount hanger
- ⊕ shift joist to location dimensioned (to miss plumbing, align w/ wall or support furniture)
- cb-1 clouded items are beams, headers or framing placed above the floor being framed.
- ↔ ceiling joist direction
- extra a joist added to the layout in addition to the o.c. joists.
- p.l.f.a. point load from above
- p.r.b. plywood rim band
- f.k.w. filler/keewall (2x4)
- c.j. ceiling joists
- o/c on-center (joist layout)

beam schedule				bearing req's * 3" min bearing * unless otherwise noted	
mark	plies & size	length	conn type		
1b-1	(2) 11 7/8" lvl	10'-0"	a		
2b-1	(1) 11 7/8" lvl	7'-0"			



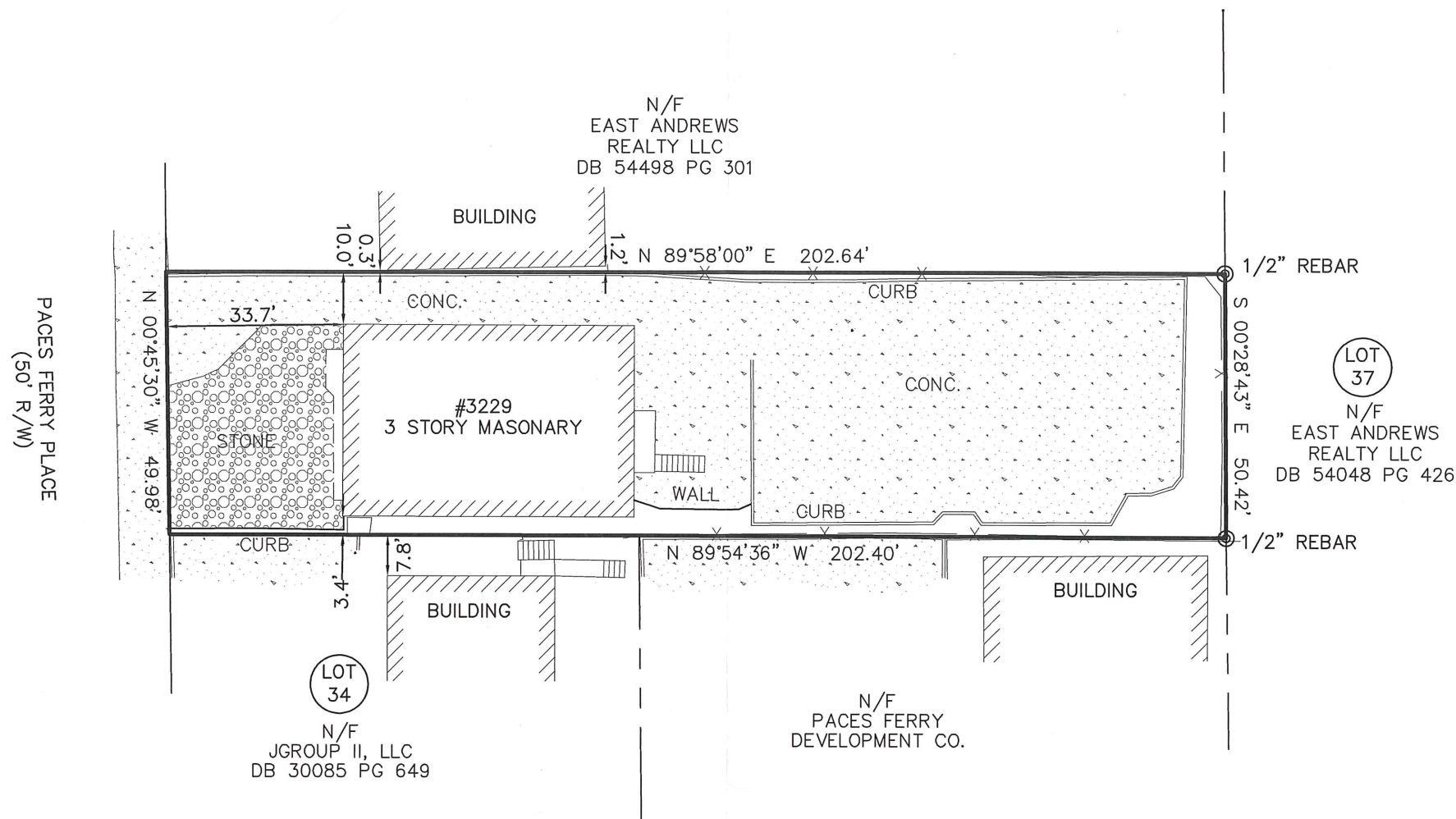
1 A-13 ROOF FRAMING PLAN  
1/4"=1'-0"


RELEASED FOR CONSTRUCTION



**LEGEND:**

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- ⦿ FIRE HYDRANT
- ⊞ WATER METER
- ⊞ WATER VALVE
- ⊞ POWER POLE
- ⊞ LIGHT POLE
- ⊞ POWER/LIGHT POLE
- └ GUY WIRE
- ⊞ POWER METER
- ⊞ POWER BOX
- ⊞ A/C UNIT
- ⊞ MANHOLE
- ⊞ CLEAN OUT
- ⊞ CATCH BASIN
- ⊞ JUNCTION BOX
- ⊞ OUTFLOW STRUCTURE
- DRAINAGE INLET
- ⊞ GAS METER
- ⊞ GAS VALVE
- ⊞ CABLE BOX
- ⊞ TELEPHONE BOX
- ⊞ SIGNAL CONTROL BOX
- ⊞ SIGN
- W- WATER LINE
- U- OVERHEAD UTILITY LINE
- S- SEWER LINE
- G- GAS LINE
- C- CABLE LINE
- T- TELEPHONE LINE
- X- FENCE LINE
- 920- CONTOUR LINE
- BSL BUILDING SETBACK LINE
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- L.L. LAND LOT
- N/F NOW OR FORMERLY
- P/L PROPERTY LINE
- R/W RIGHT-OF-WAY
- D.E. DRAINAGE EASEMENT
- O.H. OVERHANG
- CNT CANTILEVER
- DB DEED BOOK
- PB PLAT BOOK
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT



  
 MAGNETIC NORTH  
 PER  
 SCALE: 1"=30'

**BOUNDARY SURVEY**  
 PREPARED FOR: ALI AYDIN  
 LOT 33 & PART OF LOT 37, SECURITIES  
 HOLDING CO. PROPERTY,  
 LAND LOT 99, 17TH DISTRICT  
 FULTON COUNTY, GEORGIA - 01/23/17



1/23/17  
 FOR THE FIRM  
 BOUNDARY ZONE, INC.  
 LSF #839  
 NOT VALID WITHOUT  
 ORIGINAL SIGNATURE


THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL  
 STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN  
 CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF  
 REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND  
 SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A.  
 15-6-67.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE  
 COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH  
 BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON,  
 PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY  
 UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR  
 NAMING SAID PERSON.

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 SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY  
 WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

TOTAL AREA: 0.233 ACRES / 10,166 SQUARE FEET  
 BOUNDARY REFERENCE: DEED BOOK 53765, PAGE 395,  
 FIELDWORK PERFORMED ON 01/17/17  
 THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE  
 ACCURATE WITHIN ONE FOOT IN 267,567 FEET.  
 THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION.  
 THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A RELATIVE POSITIONAL  
 ACCURACY OF 0.03 FEET.



**BOUNDARY**  
**zone, inc.**  
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 LANDSCAPE ARCHITECTURE  
 LAND PLANNING  
 SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING  
 WWW.BOUNDARYZONE.COM (770) 271-5772 (919) 363-9226


**BUFORD**  
 4195 SOUTH LEE STREET, SUITE 1  
 BUFORD, GEORGIA 30518

**ATLANTA**  
 235 PEACHTREE STREET NE, SUITE 400  
 ATLANTA, GEORGIA 30303

**MARIETTA**  
 1870 THE EXCHANGE, SUITE 100  
 MARIETTA, GA 30039

**RALEIGH**  
 2205-C CANDUN DRIVE, APEX  
 NORTH CAROLINA 27523

GRAPHIC SCALE - IN FEET



PROJECT  
 1807201

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SHEET  
 1 OF 1