

# ATLANTA PLAZA REPOSITIONING

3/27/2017  
PW PROJECT #801491.000

PERKINS  
+ WILL

1315 Peachtree St NE  
Atlanta, GA 30309  
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1.404.882.5823  
www.perkinswill.com

**CONSULTANTS**

**STRUCTURAL**  
PALMER ENGINEERING COMPANY  
3881 HABERSHAM AT NORTHLAKE BLDG M  
TUCKER, GA

**MEP**  
BARRETT WOODYARD & ASSOCIATES  
3456 HOLCOMB BRIDGE RD.  
NORCROSS, GA

**LANDSCAPE**  
PERKINS-WILL  
1315 PEACHTREE ST. NE  
ATLANTA, GA

**CONSULTANT**  
ADDRESS  
CITY, STATE

**CONSULTANT**  
ADDRESS  
CITY, STATE  
OWNER

BANYAN STREET CAPITAL  
225 PEACHTREE ST. NE, SUITE 200  
ATLANTA, GA

ATLANTA PLAZA  
950 EAST PACES FERRY RD.  
ATLANTA, GA

**CONTRACTOR**  
CONTRACTOR NAME  
ADDRESS  
CITY, STATE

950 EAST PACES FERRY RD  
ATLANTA, GA

ISSUED FOR CONSTRUCTION

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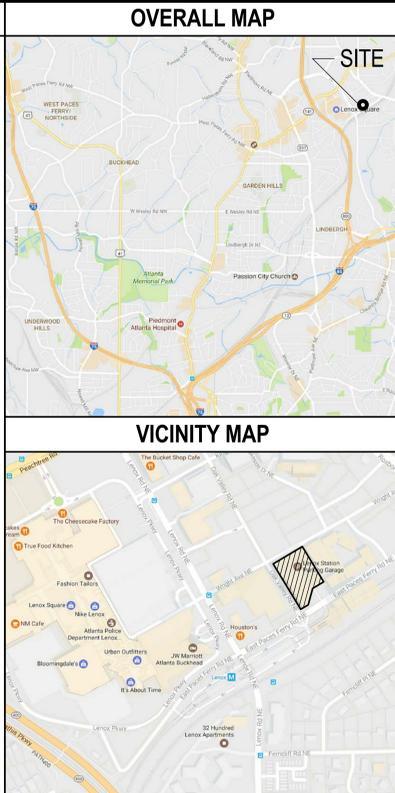
FACILITY	OWNER	ARCHITECT	INTERIOR DESIGN	STRUCTURAL	MEP	LIGHTING	LANDSCAPING	CONTRACTOR	CITY OF ATLANTA
ATLANTA PLAZA 950 EAST PACES FERRY RD. ATLANTA, GA	BANYAN STREET CAPITAL 225 PEACHTREE ST. NE, SUITE 200 ATLANTA, GA  CONTACT: DERIK KEEL DKEEL@BANYANSTREET.COM	PERKINS-WILL 1315 PEACHTREE ST. NE ATLANTA, GA  CONTACT: BRUCE MCEVOY BRUCE.MCEVOY@PERKINSWILL.COM	PERKINS-WILL 1315 PEACHTREE ST. NE ATLANTA, GA  CONTACT: BRUCE MCEVOY BRUCE.MCEVOY@PERKINSWILL.COM	PALMER ENGINEERING COMPANY 3581 HABERSHAM AT NORTHLAKE BUILDING M TUCKER, GA  CONTACT: ERIC HAGBERG ERIC.HAGBERG@PECGA.COM	BARRETT WOODYARD & ASSOCIATES 3456 HOLCOMB BRIDGE RD. NORCROSS, GA  CONTACT: GARRY M. JENKINS GJENKINS@BARRETTWOODYARD.COM	KAPLAN GEHRING MCCARROLL ARCHITECTURAL LIGHTING 270 CONAL CIRCLE, EL SEGUNDO, CA 90245 310.808.8752 (TEL)  CONTACT: PATRICK MCCOLLUGH PMCCOLLUGH@KGMILIGHTING.COM	PERKINS-WILL 1315 PEACHTREE ST. NE ATLANTA, GA  CONTACT: ERIC BISHOP ERIC.BISHOP@PERKINSWILL.COM		

**PROJECT DATA**

- PROJECT INFORMATION:**
  - RENOVATION WORK: APPLICATION OF NEW FINISHES FOR INTERIOR SCOPE AT LOBBY & MARTA PORTAL. MINIMAL APPLICATION OF EXTERIOR FINISHES AT ENTRY LEVEL.
  - LOBBY SF OF WORK +/- SF MARTA 1M
  - NEW ADDITION HORIZONTAL: THERE IS NO HORIZONTAL ADDITION SCOPE.
  - NEW ADDITION VERTICAL: THERE IS NO VERTICAL ADDITION SCOPE.
  - FUTURE FLOORS: THERE IS NO FUTURE FLOOR(S) SCOPE.
  - SITE WORK: THERE IS NO SITE WORK SCOPE.
- CODES/ LAWS:**
  - STATE OF GEORGIA:
    - International Building Code, 2012 Edition, with Georgia Amendments (2014)(2015)
    - International Residential Code, 2012 Edition, with Georgia Amendments (2014)(2015)
    - International Fire Code, 2012 Edition, with Georgia Amendments (2014)
    - International Mechanical Code, 2012 Edition, with Georgia Amendments (2014)(2015)
    - International Plumbing Code, 2012 Edition, with Georgia Amendments (2015)
    - International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014)(2015)
    - National Electrical Code, 2014 Edition, with no Georgia Amendments
    - International Energy Code, 2009 Edition, with Georgia Supplements and Amendments (2011)(2012)
    - 2012 NFPA 101 - Life Safety Code with State Amendments (2013)
  - FEDERAL:
    - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- OCCUPANCY CLASSIFICATION:**
  - 2012 IBC GROUP B - BUSINESS PER SECTION 304
- PRINCIPAL OCCUPANCY TYPE:** BUSINESS
- CONSTRUCTION TYPE:**
  - EXISTING: IBC - TYPE I A, UNRESTRAINED, FULLY SPRINKLERED
- ALLOWABLE HEIGHT AND BUILD AREAS:** PER IBC TABLE 503

EXISTING	MAX # OF STORES:	UNL.	STORIES PROVIDED (unchanged):
	MAX ALLOWABLE HEIGHT:	UNL.	HEIGHT PROVIDED (unchanged):
	MAX FLOOR AREA:	UNL.	TOTAL AREA PROVIDED (unchanged):
- FIRE RESISTANCE:** (FOR TYPE I A CONSTRUCTION PER TABLE 601 (U.L. ASSEMBLY PER U.L. FIRE RESISTANCE DIRECTORY))

BUILDING ELEMENT	FIRE RATING	U.L. ASSEMBLY
STRUCTURAL FRAME (INCLUDING COLUMNS & GRIDDERS)	2-HR	
SUPPORTING ROOF ONLY		
SUPPORTING ONE OR MORE FLOORS	3-HR	
BEARING WALLS		
EXTERIOR	3-HR	NA
INTERIOR (SUPPORTING ROOF ONLY)	2-HR	NA
NON-BEARING WALLS		
EXTERIOR	0-HR	NA
INTERIOR (SUPPORTING ROOF ONLY)	0-HR	NA
FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS (SECONDARY MEMBERS))	2-HR	
ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS (SECONDARY MEMBERS))	1 1/2-HR	
- NOTES:**
  - ALL FIRE RESISTIVE DESIGN TO BE CONSIDERED THERMALLY RESTRAINED.
  - ALL BEAM AND COLUMN FIRE PROOFING TO BE ADJUSTED USING W/D RATIO.



PROJECT

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ATLANTA, GA

BANYAN STREET  
CAPITAL  
225 PEACHTREE ST. NE,  
SUITE 200, ATLANTA, GA  
KEY PLAN

ISSUED FOR CONSTRUCTION 3/27/2017

ISSUE CHART

NO.	ADDENDUM	DATE
1	ADDENDUM 1	4/14/17
2	ADDENDUM 2	5/15/17

Job Number 801491.000  
Drawn Author  
Checked Checker  
Approved Approver  
TITLE

COVER SHEET

SHEET NUMBER

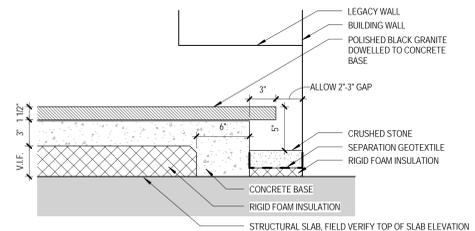
G00-00

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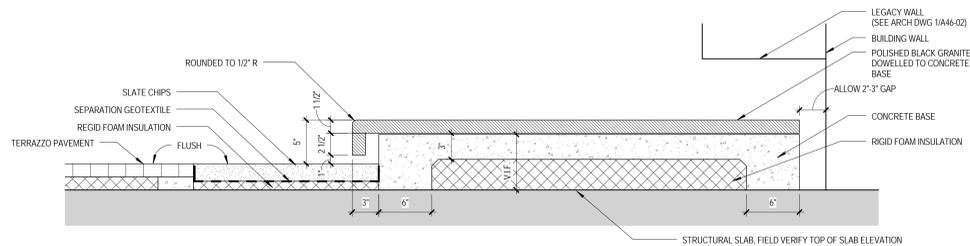




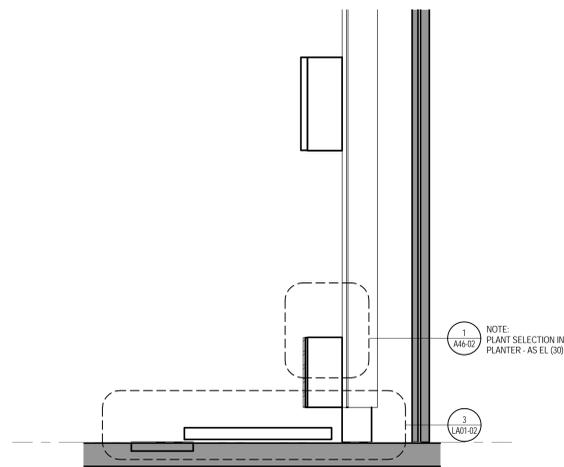
ISSUE	DATE
Job Number	801491.000
Drawn	XV
Checked	EM
Approved	EM



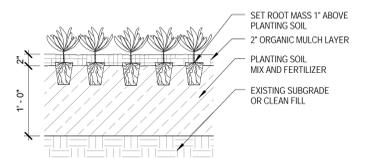
**4 SITE FEATURE DETAIL - SIDE**  
1/2" = 1'-0"



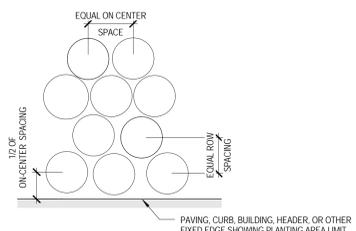
**3 SITE FEATURE DETAIL**  
1/2" = 1'-0"



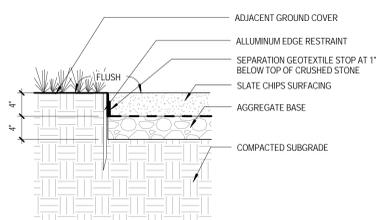
**2 SITE FEATURE SECTION**  
1/2" = 1'-0"



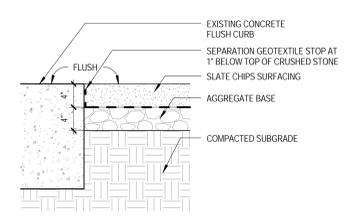
**11 TYPICAL GROUNDCOVER PLANTING**  
1" = 1'-0"



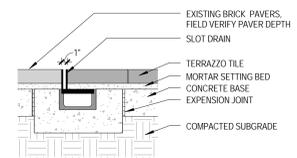
**10 GROUND COVER SPACING**  
3/8" = 1'-0"



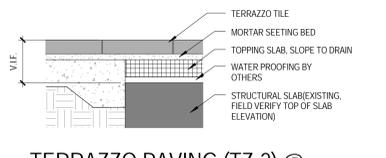
**9 SLATE CHIPS AT PLANTING**  
1" = 1'-0"



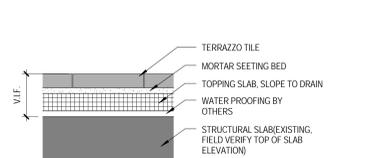
**8 SLATE CHIPS AT FLUSH CURB**  
1" = 1'-0"



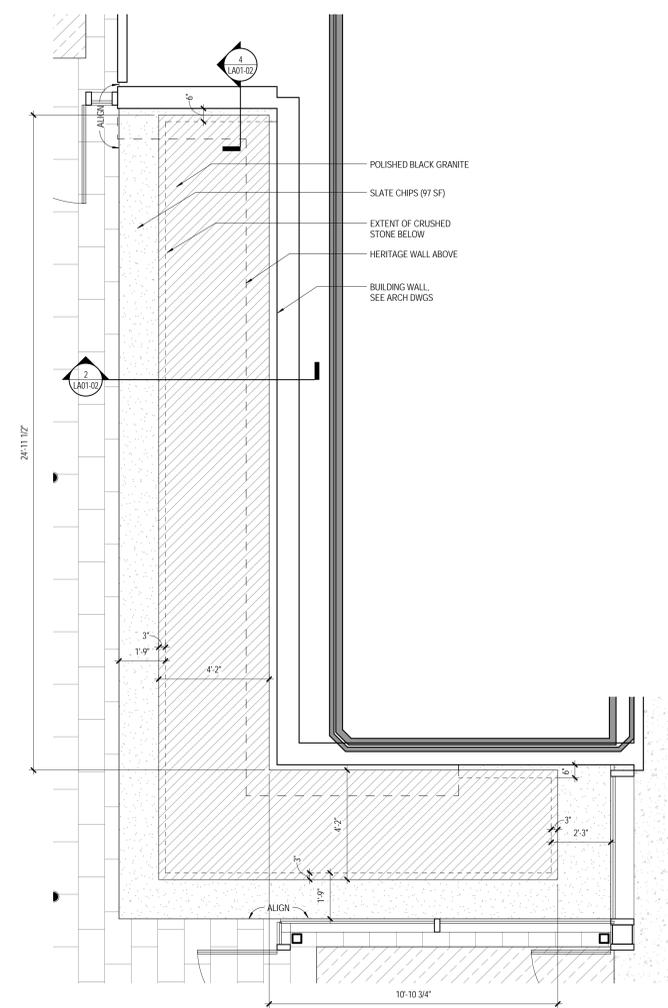
**7 SLOT DRAIN**  
1" = 1'-0"



**6 TERRAZZO PAVING (TZ-2) @  
STRUCTURAL TRANSITION**  
1" = 1'-0"



**5 TERRAZZO PAVING (TZ-2)**  
1" = 1'-0"



**1 SITE FEATURE ENLARGEMENT PLAN**  
3/8" = 1'-0"

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KEYPLAN

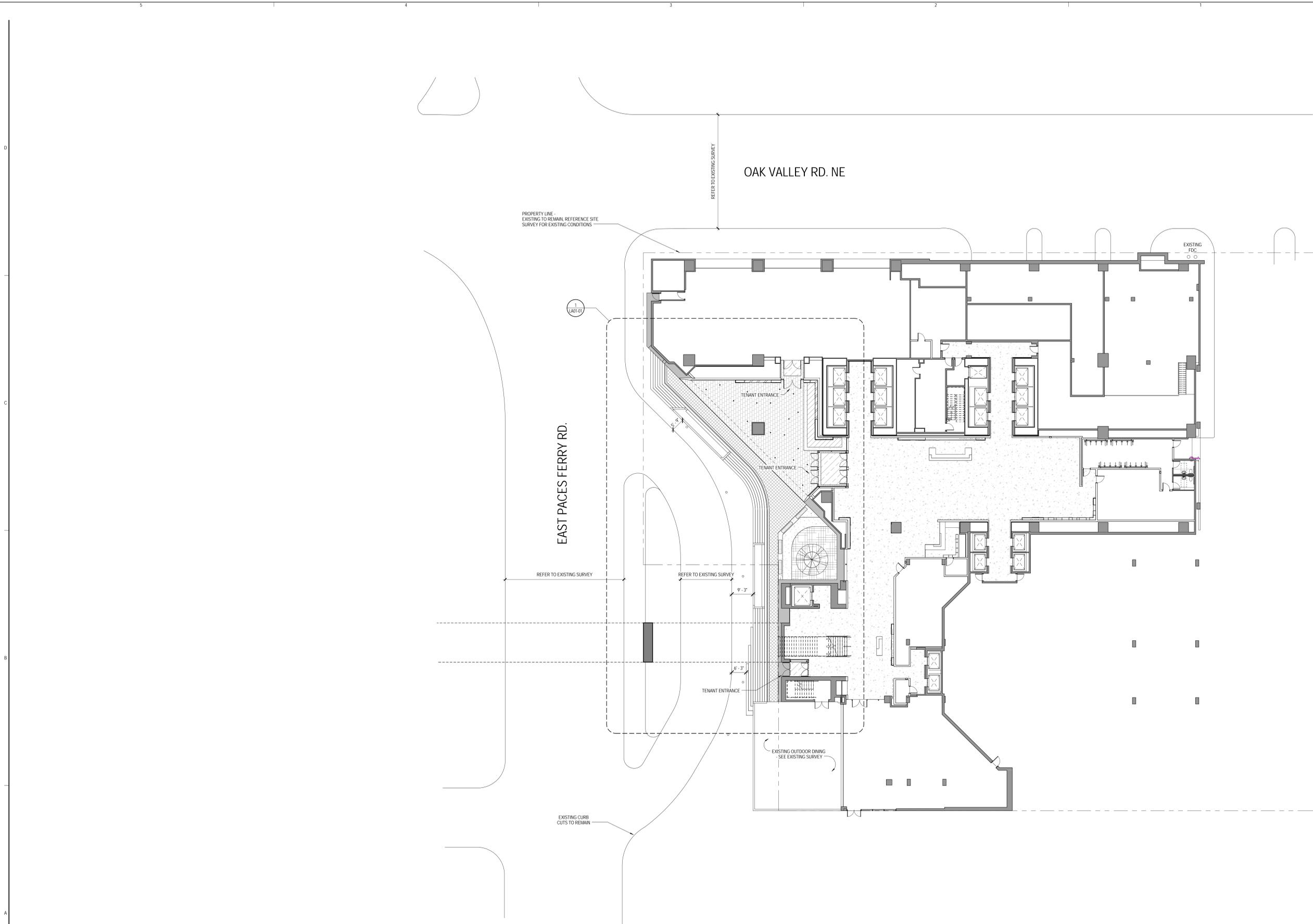
ISSUE CHART

ISSUED	ISSUE	DATE
Job Number	801491.000	
Drawn	Author	
Checked	Checker	
Approved	Approver	
	TITLE	

**ARCHITECTURAL SITE  
PLAN**

SHEET NUMBER

**A01-01**



**1** ARCHITECTURAL SITE PLAN  
1/16" = 1'-0"



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KEYPLAN

ISSUE CHART

**PARTITION PLAN NOTES**

- REFER TO PARTITION TYPES A41 SERIES FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS AND LOCATION OF SOUND ATTENUATION BLANKETS.
- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- CONTRACTOR TO MAINTAIN ALL FIRE RATINGS FOR ALL EXISTING WALLS, SHAFTS AND DOORS TYP.
- ALL PARTITIONS TO BE A-XX UNO. REFER TO PARTITION TYPES FOR HEIGHTS, THICKNESS, AND STC REQUIREMENTS.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE AN CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE AN ONE HOUR PARTITION IS SHOWN AS A CONTINUATION OF A TWO-HOUR PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE GYPSUM BOARD SHALL BE ALIGNED WITH NO VISIBLE SEAMS OR JOINTS.
- SEE A43 SEARIES FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILETS ACCESSORIES.
- PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A CLOSER. PROVIDE MINIMUM 1'-6" CLEAR AT PULL SIDE OF EVERY DOOR, UNO.
- PROVIDE A 1'-4" WIDE CHASE BEHIND SINGLE SIDED TOILETS, AND A 18" WIDE CHASE BETWEEN BACK TO BACK TOILETS. FOR WALL HUNG FIXTURES. FOR FLOOR MOUNTED FIXTURES PROVIDE 6" STUD, MINIMUM.
- ALL LAVATORIES AND SINKS SHALL BE MOUNTED MINIMUM OF 1'-3" FROM THE CENTERLINE OF THE FIXTURE TO THE FINISH FACE OF THE ADJACENT PARTITION.
- DOOR OPENINGS IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMB SHALL BE SPACED 4" FROM ADJACENT WALL.
- CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WALLS FOR ALL WALL MOUNTED MILLWORK, CABINTRY, COUNTERS, SHELVING-FIXTURES AND AV EQUIPMENT AS REQUIRED, UNO.

**PARTITION PLAN LEGEND**

- DENOTES AREA 'NOT IN CONTRACT'
- DENOTES EXISTING

**PARTITION PLAN KEYNOTES**

- CONCEAL EXISTING FINISHES WITH 1/2" GYPSUM BOARD, PLASTER FINISH, LAMINATED WITH CONSTRUCTION ADHESIVE.
- BSR-1 (BIKE RACK STORAGE)
- INSTALL ONE DIRECTIONAL PANIC HARDWARE
- EXPOSED LOW VOLTAGE WIRING BELOW TO BE SECURED AND PROTECTED FROM ELEMENTS
- PRICE AS AN ALTERNATE.

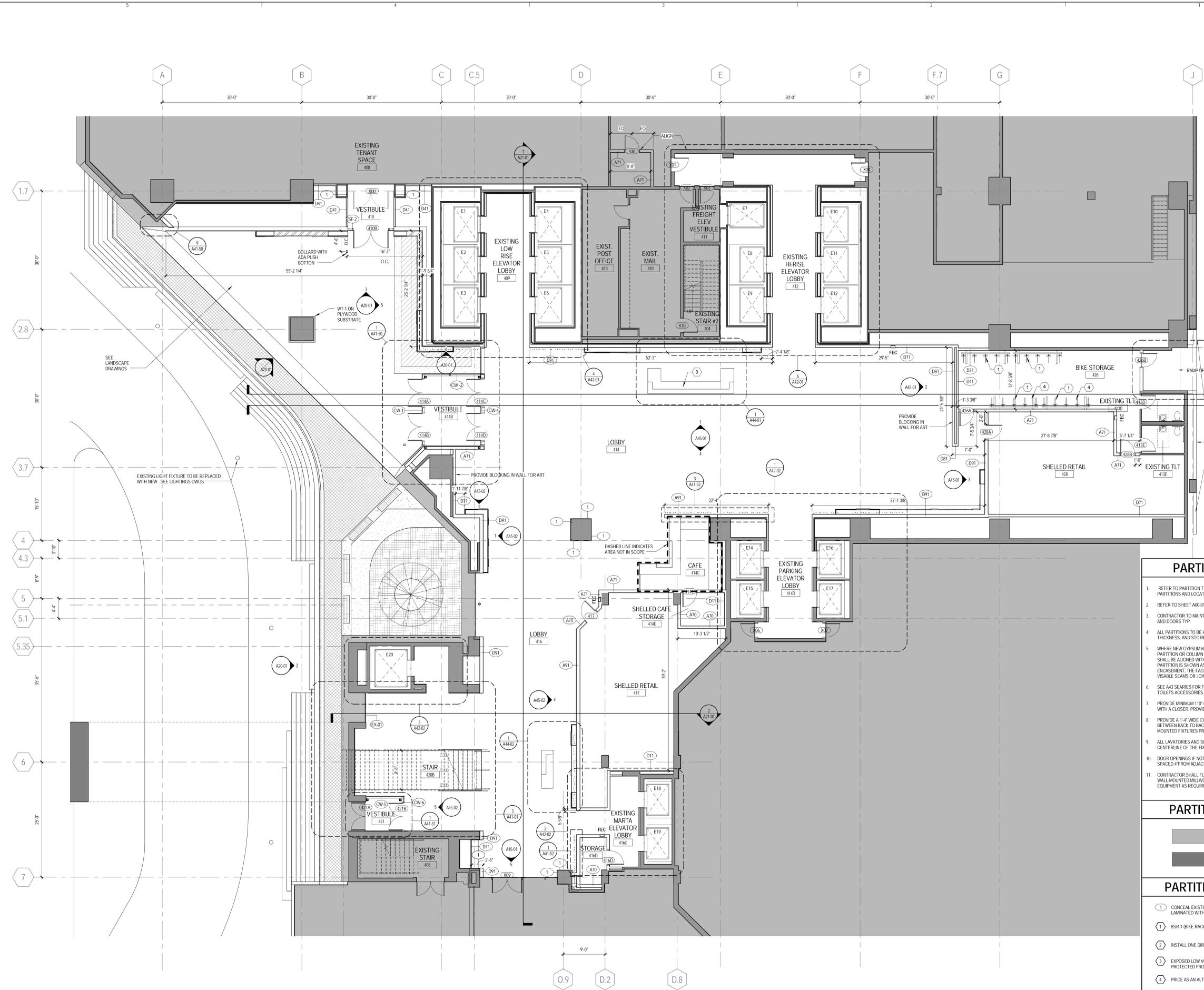
NO.	ADDENDUM / ISSUE	DATE
1	ADDENDUM 1	4.14.17
2	ISSUE	

Job Number: 801491.000  
 Drawn: \_\_\_\_\_ Author  
 Checked: \_\_\_\_\_ Checker  
 Approved: \_\_\_\_\_ Approver  
 TITLE

FLOOR PLAN LEVEL 01

SHEET NUMBER

**A11-01**

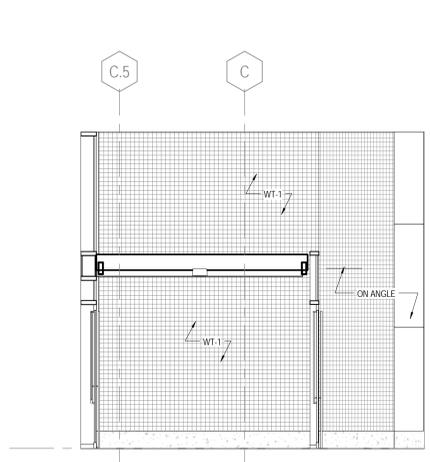


**1 LEVEL 01 FLOOR PLAN**  
1/8" = 1'-0"

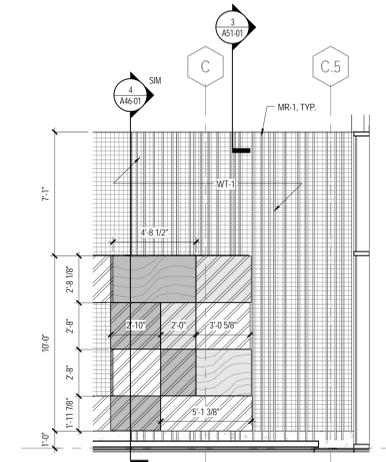
GLAZING TYPES	
	MONOLITHIC TEMPERED GLASS
	CLEAN LAMINATED SAFETY GLAZING
	INSULATED GLAZING

LEGACY WALL LEGEND			
	WD-1 FINISH FACE = 2" FROM SUBSTRATE NATURAL WOOD FINISH		MTL-1A FINISH FACE = 2" FROM SUBSTRATE
	WD-2 FINISH FACE = 1 1/2" FROM SUBSTRATE SEMI-GLOSS FINISH		MTL-1B FINISH FACE = 1 1/2" FROM SUBSTRATE
	WD-3 FINISH FACE = 1" FROM SUBSTRATE GLOSSY FINISH		MTL-1C FINISH FACE = 1" FROM SUBSTRATE

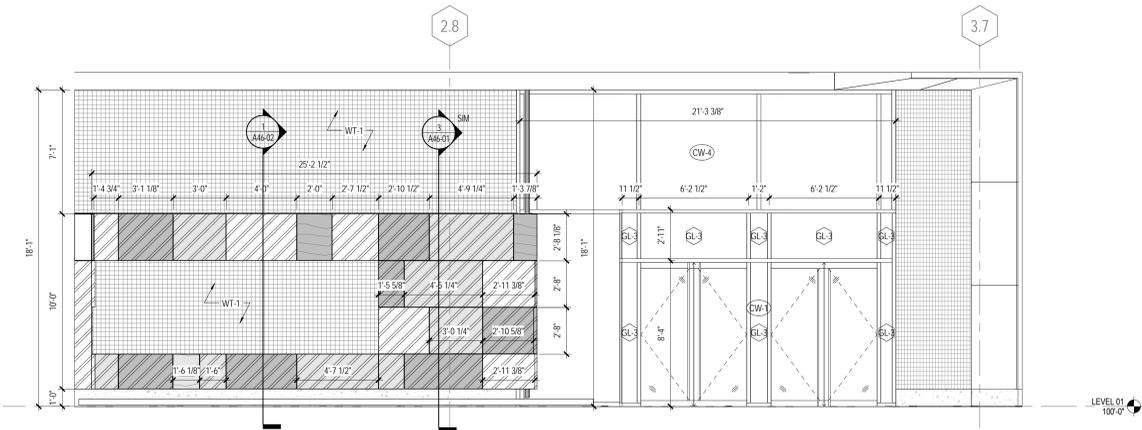
GLAZING LEGEND	
	CURTAIN WALL VISION GLASS
	STOREFRONT VISION GLASS
	MATCH EXISTING GLAZING SYSTEM VISION GLASS



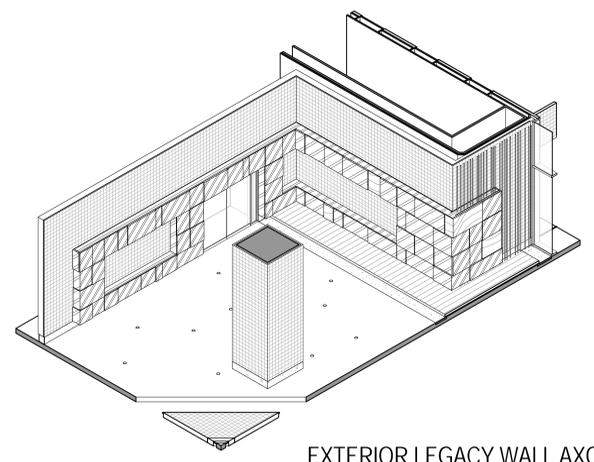
7 VESTIBULE ELEVATION - EAST  
1/4" = 1'-0"



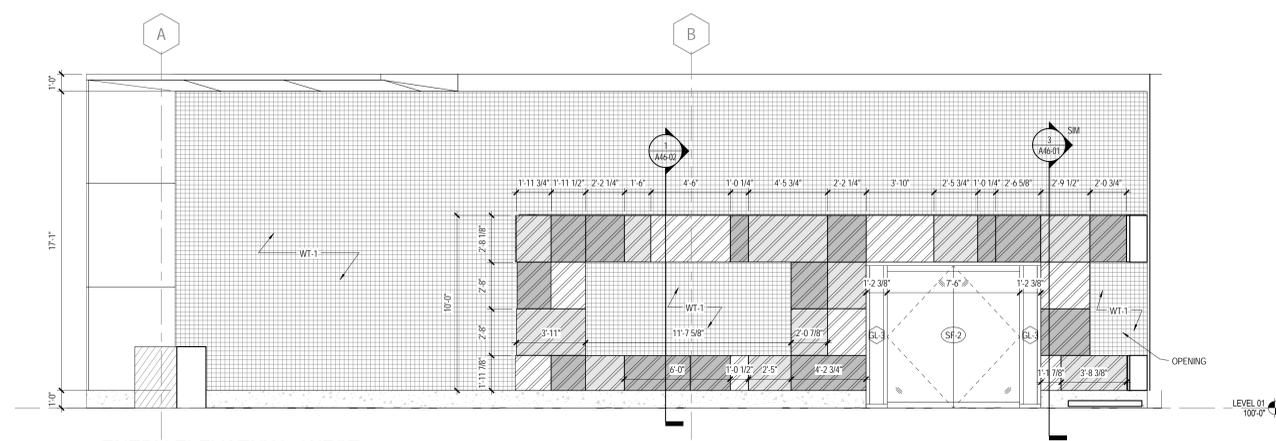
6 ELEVATION - WEST  
1/4" = 1'-0"



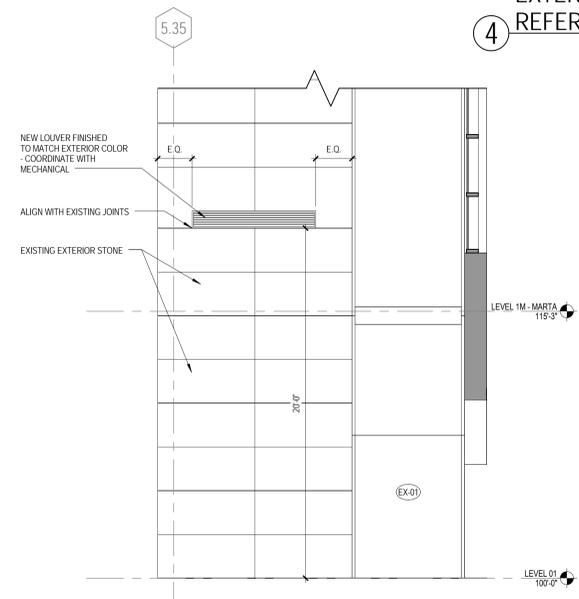
5 ENTRY ELEVATION - NORTH  
1/4" = 1'-0"



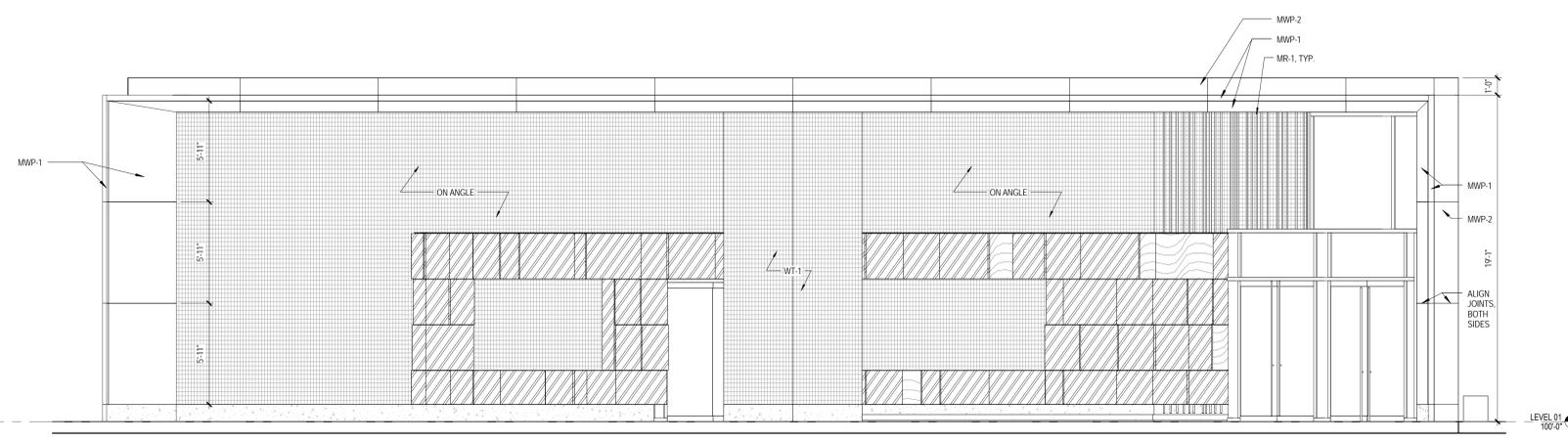
4 EXTERIOR LEGACY WALL AXON - FOR REFERENCE ONLY



3 ENTRY ELEVATION - WEST  
1/4" = 1'-0"



2 EXTERIOR LOUVER ELEVATION  
1/4" = 1'-0"



1 ENTRY ELEVATION - ANGLED VIEW - FOR REFERENCE ONLY  
1/4" = 1'-0"

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ISSUE CHART

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Approved		

TITLE  
EXTERIOR  
ELEVATIONS

SHEET NUMBER

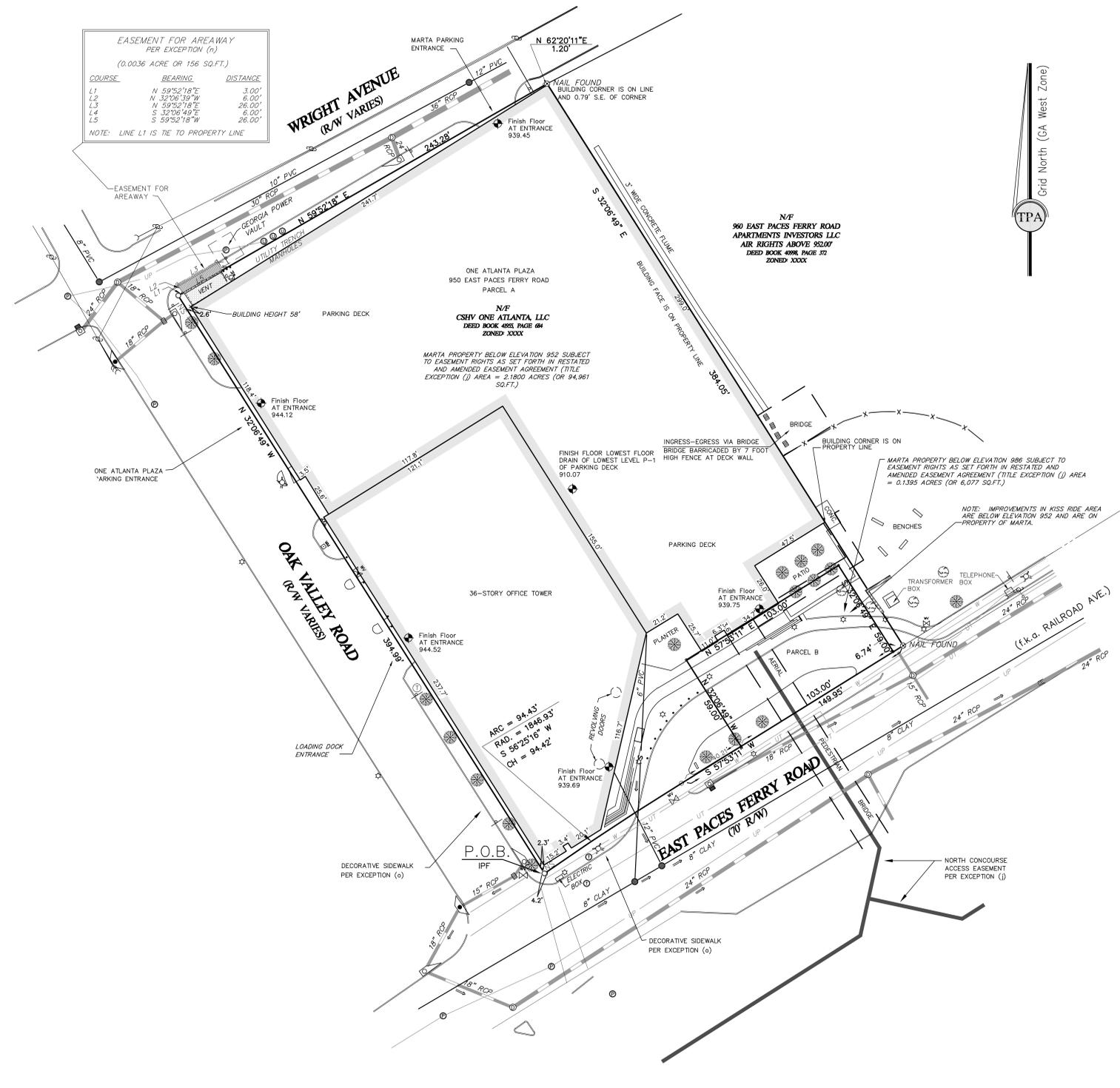
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LEGEND:

- UT UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE
UNDERGROUND GAS LINE
WATER LINE
CHAIN LINK FENCE
SANITARY SEWER MANHOLE
STORM DRAIN MANHOLE
DROP INLET
DOUBLE-WING CATCH BASIN
SINGLE-WING CATCH BASIN
POWER MANHOLE
TELEPHONE MANHOLE
UTILITY POLE
GUY WIRE
LAMP STANDARD
SIGN
FIRE HYDRANT
WATER METER
WATER VALVE
TREE
P.O.B. POINT OF BEGINNING
DHS DRILL HOLE SET
IPS IRON PIN SET (5/8" REINFORCING BAR)



EASEMENT FOR AREAWAY PER EXCEPTION (n) (0.0036 ACRE OR 156 SQ.FT.)
COURSE BEARING DISTANCE
L1 N 89°52'18"E 3.00'
L2 N 89°52'18"E 6.00'
L3 N 89°52'18"E 26.00'
L4 S 33°08'49"E 6.00'
L5 S 89°52'18"W 26.00'



SITE ADDRESS:
950 East Paces Ferry Rd. NE #1675
Atlanta, GA 30326

SITE AREA TRACT 1:
Parcel A = 2.04 or 88,881 square feet
Parcel B = 0.14 or 6,077 square feet
Total = 2.18 acres

PARKING SUMMARY:
Atlanta Plaza Parking Usage:
Total: 1361 H/C 23
Marta Parking Usage:
Total: 375 H/C 11
Combined: 1756 H/C 34

- NOTES:
1. This survey is a retracement survey of an existing tract or combination of existing tracts. This survey is not intended to create new tracts of land or change existing tracts of land.
2. This plot was prepared for the exclusive use of the person, persons, or entity named in the title block.
3. Unless otherwise specified, all distances as shown are horizontal ground distances in U.S. survey feet (39.37 inches = 1 meter).
4. Basis of grid bearing is Georgia State Plane Coordinate System, West Zone, 1927 North American Datum (NAD '23), and is based on Vertical Datum is 1929 North American Vertical Datum (NAVD '29) and is also based on MARTA Monument "N-47".
5. Spot elevations shown at curb lines are at top of curb. Elevations shown with benchmark symbol (B) were run by differential elevations to finish floor ("FF") as shown.
6. No portion of this property lies within a designated wetlands area.
7. The subject property has access to and from Oak Valley Road, a duly dedicated and accepted public street or highway.
8. There are no party walls or visible encroachments on the subject property by streets, alleys, or buildings, structure or other improvements which encroach upon the property, except as shown on the Survey.
Title Exceptions:
9. This survey relied upon information contained within a title commitment number 2-34000 prepared by First American Title Insurance Company, with an effective date of April 11, 2016 at 5:00 p.m., with respect to the property surveyed described in "Exhibit A", and the exceptions listed in "Schedule B, Section II".
Flood Hazard Note:
10. By graphic plotting only, this property does not lie within a 100 year flood hazard zone and is depicted as unshaded zone X or zone D as defined by the F.E.M.A Flood Insurance Rate Map of Fulton County, Georgia, incorporated area map number 13121C0251F, effective date September 18, 2013.

TITLE EXCEPTIONS:

- (j) Agreement by and between the City of Atlanta, a municipal corporation of the State of Georgia and Vantage Properties, Inc., a Texas corporation, dated as of April 13, 1984, filed for record April 23, 1984 at 10:56 a.m., recorded in Deed Book 8941, Page 431, aforesaid Records.
Comment: Allows for construction onto city right-of-way of East Paces Ferry, Oak Valley Road and Wright Avenue the necessary anchor systems and retaining wall systems pertinent to the development of the subject property.
(k) Restated Development Agreement by and between Metropolitan Atlanta Rapid Transit Authority, a public body corporate created under the laws of the State of Georgia and Vantage Properties, Inc., a Texas corporation, dated as of December 15, 1984, filed for record June 13, 1985 at 1:25 p.m., recorded in Deed Book 8563, Page 1, aforesaid Records; as affected by that certain Assignment of Agreements by and between DVPI, Inc., a Texas corporation formerly known as Vantage Properties, Inc., and The Travelers Insurance Company, a Connecticut corporation, dated effective as of November 2, 1988, filed for record November 4, 1988 at 12:33 p.m., recorded in Deed Book 12021, Page 293, aforesaid Records.
Comment: Affects subject property, does not contain a plottable description.
(l) Quitclaim and Release of Repurchase Rights from Vantage Properties, Inc. to Metropolitan Atlanta Rapid Transit Authority, a public body corporate created under the laws of the State of Georgia, dated December 15, 1984, filed for record June 13, 1985 at 1:25 p.m., recorded in Deed Book 8563, Page 217, aforesaid Records.
Comment: Quitclaims rights to lands within those portions of East Paces Ferry Road and Oak Valley Road as relocated per MARTA project c490 plans cited in reference no. 6.
(m) Restated and Amended Easement Agreement for Pedestrian Bridge and Access Through North Concourse by and between Metropolitan Atlanta Rapid Transit Authority, a public body corporate created under the laws of the State of Georgia and Vantage Properties, Inc., a Texas corporation, dated as of December 15, 1984, filed for record June 13, 1985 at 1:25 p.m., recorded in Deed Book 8563, Page 251, aforesaid Records; as affected by that certain Assignment of Agreements by and between DVPI, Inc., a Texas corporation formerly known as Vantage Properties, Inc., and The Travelers Insurance Company, a Connecticut corporation, dated effective as of November 2, 1988, filed for record November 4, 1988 at 12:33 p.m., recorded in Deed Book 12021, Page 293, aforesaid Records.
Comment: Affects subject property, as shown herein.
(n) Restated and Amended Easement Agreement for Abandoned Wolfe Avenue by and between Metropolitan Atlanta Rapid Transit Authority, a public body corporate created under the laws of the State of Georgia and Vantage Properties, Inc., a Texas corporation, dated as of December 15, 1984, filed for record June 13, 1985 at 1:25 p.m., recorded in Deed Book 8563, Page 275, aforesaid Records; as affected by that certain Assignment of Agreements by and between DVPI, Inc., a Texas corporation formerly known as Vantage Properties, Inc., and The Travelers Insurance Company, a Connecticut corporation, dated effective as of November 2, 1988, filed for record November 4, 1988 at 12:33 p.m., recorded in Deed Book 12021, Page 293, aforesaid Records.
Comment: Wolfe Avenue formerly occupied a location near the northeast edge of subject property - MARTA retains rights therein of those portions below elevation 952 and below elevation 956 of those portions of the 0.1395 acre tract shown herein.
(o) Restated and Amended Easement Agreement for Johnsonstown North Site by and between Metropolitan Atlanta Rapid Transit Authority, a public body corporate created under the laws of the State of Georgia and Vantage Properties, Inc., a Texas corporation, dated as of December 15, 1984, filed for record June 13, 1985 at 1:25 p.m., recorded in Deed Book 8563, Page 275, aforesaid Records; as affected by that certain Assignment of Agreements by and between DVPI, Inc., a Texas corporation formerly known as Vantage Properties, Inc., and The Travelers Insurance Company, a Connecticut corporation, dated effective as of November 2, 1988, filed for record November 4, 1988 at 12:33 p.m., recorded in Deed Book 12021, Page 293, aforesaid Records.
Comment: Affects subject property, does not contain a plottable description.
(p) Reciprocal Easement and Operating Agreement by and between One Atlanta Plaza Associates, a Georgia limited partnership, whose sole general partners are One Atlanta Plaza Investors, Ltd. and Vantage Properties, Inc., and Vantage Properties, Inc., a Texas corporation, dated December 16, 1985, filed for record December 17, 1985 at 8:31 a.m., recorded in Deed Book 8867, Page 159, aforesaid Records; as amended by that certain First Amendment to Reciprocal Easement and Operating Agreement by and between One Atlanta Plaza Associates, a Georgia limited partnership, whose sole general partners are One Atlanta Plaza Investors, Ltd. and Vantage Properties, Inc., a Texas corporation and Marriott Corporation, a Delaware corporation, dated as of December 29, 1987, filed for record December 30, 1987 at 12:48 p.m., recorded in Deed Book 11247, Page 84, aforesaid Records; as affected by that certain Assignment of Agreements by and between DVPI, Inc., a Texas corporation formerly known as Vantage Properties, Inc., and The Travelers Insurance Company, a Connecticut corporation, dated effective as of November 2, 1988, filed for record November 4, 1988 at 12:33 p.m., recorded in Deed Book 12021, Page 293, aforesaid Records.
Comment: Affects subject property, does not contain a plottable description.
(q) Agreement by and between the City of Atlanta, a municipal corporation of the State of Georgia and Vantage Properties, Inc., a Texas corporation, dated as of December 20, 1985, filed for record December 23, 1985 at 11:11 a.m., recorded in Deed Book 8882, Page 4, 11, aforesaid Records.
Comment: Affects subject property, as shown herein.
(r) Sidewalk Agreement by and between the City of Atlanta, a municipal corporation of the State of Georgia and One Atlanta Plaza Associates, a Georgia limited partnership, undated, filed for record October 21, 1986 at 3:41 p.m., recorded in Deed Book 10397, Page 473, aforesaid Records.
Comment: Provides for decorative sidewalk on northeast side of Oak Valley Road and northwest side of East Paces Ferry road, as noted.
NOTE: The above document as filed contains no Exhibit "A".

- (p) Agreement Regarding Development, Parking and Leasing by and between One Atlanta Plaza Associates, a Georgia limited partnership having as its sole general partners DVPI, Inc. ( 1/4/3 Vantage Properties, Inc.), a Texas corporation and One Atlanta Plaza Investors, LTD, a Texas limited partnership having as its sole general partner The Prospect Company, a Georgia corporation and DVPI, Inc., a Texas corporation, dated September 27, 1988, filed for record October 15, 1988 at 3:38 p.m., recorded in Deed Book 11939, Page 66, aforesaid Records, as affected by that certain Assignment of Agreements by and between DVPI, Inc., a Texas corporation formerly known as Vantage Properties, Inc., and The Travelers Insurance Company, a Connecticut corporation, dated effective as of November 2, 1988, filed for record November 4, 1988 at 12:33 p.m., recorded in Deed Book 12021, Page 293, aforesaid Records; as further assigned by that certain Assignment and Assumption Agreement by and between One Atlanta Plaza Associates, L.P., a Georgia limited partnership (formerly known as One Atlanta Plaza Associates) and One Atlanta Plaza Company, LLC, a Georgia limited liability company, dated January 2, 1997, filed for record January 2, 1997 at 4:21 p.m., recorded in Deed Book 21980, Page 326, aforesaid Records.
Comment: Affects subject property, does not contain a plottable description.
(q) Reciprocal Easement and Operating Agreement by and between Buckhead Atlanta Plaza, Inc., a Florida corporation and TRC/TIC Lenox, LLC, a Georgia limited liability company, dated October 9, 2002, filed for record October 11, 2002 at 2:24 p.m., recorded in Deed Book 33293, Page 110, aforesaid Records; as amended by that certain First Amendment to Reciprocal Easement and Operating Agreement by and between Buckhead Atlanta Plaza, Inc., a Florida corporation and TRC/TIC Lenox, LLC, a Georgia limited liability company, dated September 15, 2003, filed for record September 19, 2003 at 10:00 a.m., recorded in Deed Book 36013, Page 693, aforesaid Records.
Comment: Affects subject property, does not contain a plottable description.
(r) All matters as disclosed by that certain ALTA/ACSM Land Title Survey of One Atlanta Plaza by Buckhead Atlanta Plaza, Inc., California State Teachers Retirement Systems (CalSTRS), and Commonwealth Title Insurance Company, dated January 19, 2006, last revised on February 7, 2006 prepared by HDR Engineering, Inc., certified by Phillip S. Curry, GA RLS No. 2242.

CERTIFICATION:
This is to certify that this survey was made under my supervision and is a true representation of the land surveyed. The field data upon which this survey is based has a closure precision of one foot in 91,235 feet, and an angular error of 2" per angle point, and was adjusted using the least squares method. Angular and linear measurements were made using a TOPCON GT-303 Total Station.
This map or plat has been calculated for closure and is found to be accurate within one foot in 128,070 feet.
To Banyan Street Capital, LLC, a Delaware Limited Liability Company, First American Title Insurance Company, Stearns Weaver Miller Weissler Alhadeff & Sitterson, P.A., and each of their respective successors and assigns.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a)(1)(c), 8, 9, 13, 16, 17, 18, 19, 20(\$5,000,000) of Table A thereof. The fieldwork was completed on May 5, 2016.
PRELIMINARY 06/01/16
Jaime F. Higgins Date
Georgia Reg. Land Surveyor No. 2602
For the Firm Travis Pruitt & Associates, Inc.

ZONING: RG-4-C
Front Yard: None specified per Buckhead/Lenox stations special public interest district.
Side/Rear Yard: Transitional side/rear: 20 ft. per Buckhead/Lenox stations special public interest district.
Building Height: No portion of any structure shall protrude through a height limiting plane beginning at 35 ft. above the buildable area boundary nearest lot he common district boundary and extending inward over this district at an angle of 45 degrees (1:1) per Buckhead/Lenox stations special public interest district.
Floor Space Area: None specified, approximately 629,701 square feet.
Parking Requirements: 2.5 spaces for each 1,000 square foot of floor area.
This information is set forth in a Planning & Zoning Report for Atlanta Plaza 950 East Paces Ferry Road Northeast Atlanta, Georgia, prepared by the Planning & Zoning Resource Company. Draft date May 23, 2016, PZR Site Number: 93552-1. It is not the intent of the surveyor to interpret or make conclusions regarding the zoning designation shown herein.

- REFERENCE PLATS:
1. COMPOSITE BOUNDARY PLAT OF ATLANTA PLAZA - PHASE I AND II FOR SUMITOMO LIFE REALTY (N.Y.), INC. AND CHICAGO TITLE INSURANCE COMPANY, PREPARED BY W.L. JORDEN & CO., INC., DATED 9/22/88, REVISED 9/23/88, FILE NO. 88-1810-B.
2. COMPOSITE BOUNDARY PLAT OF ATLANTA PLAZA - PHASE I AND II FOR VANTAGE SOUTHEAST, PREPARED BY W.L. JORDEN & CO., INC., DATED 5/10/88, LAST REVISED 10/10/88, FILE NO. 88-1020-B.
3. SURVEY FOR ONE ATLANTA PLAZA ASSOCIATES, VANTAGE PROPERTIES, INC., ONE ATLANTA PLAZA INVESTORS, LTD., THE TRAVELERS INSURANCE COMPANY AND PHILADELPHIA SAVINGS FUND SOCIETY, PREPARED BY W.L. JORDEN & CO., INC., DATED 11/14/85, LAST REVISED 12/16/85, FILE NO. 85-8140-3.
4. SURVEY FOR VANTAGE SOUTHEAST PROPERTIES COMPANY, PREPARED BY W.L. JORDEN & CO., INC., DATED 4/16/85, LAST REVISED 5/10/85, FILE NO. 84-0087-3.
5. BOUNDARY SURVEY FOR VANTAGE SOUTHEAST PROPERTY CO., PREPARED BY W.L. JORDEN & COMPANY, INC., DATED 3/01/84, LAST REVISED 4/09/85, FILE NO. 84-0087-3.
6. RIGHT-OF-WAY MAPPING FOR METROPOLITAN ATLANTA RAPID TRANSIT AUTHORITY (MARTA), ENTITLED "NORTH LINE PROPERTY CERTIFICATION MAP" PROJECT C0U 1490, DRAWING NUMBER RW29, DATED 2/17/81, LAST REVISED 12/17/81.
7. LEASE CONTRACT BETWEEN THE METROPOLITAN ATLANTA RAPID TRANSIT AUTHORITY (MARTA) (LEASEE) AND CNM MANAGEMENT ASSOCIATES (LESSOR) DATED 08/28/97, ON FILE WITH MARTA IN ASSOCIATION WITH MARTA PARCEL D3095 - PARKING LENOX STATION.
8. ALTA/ACSM LAND TITLE SURVEY OF ONE ATLANTA PLAZA FOR CSHV ONE ATLANTA PLAZA, LLC, CB RICHARD ELLIS INVESTORS AND COMMONWEALTH TITLE INSURANCE COMPANY, PREPARED BY HDR ENGINEERING, INC. DATED JANUARY 19, 2006, LAST REVISED FEBRUARY 7, 2006.

REVISIONS table with columns for NO., DATE, DESCRIPTION, and BY.

4317 Park Drive, Suite 400
Norcross, Georgia 30092
Phone: (770) 441-6211
Fax: (770) 441-6279
www.travispruitt.com
Travis Pruitt & Associates, Inc.
LAND SURVEYING & ENGINEERING
CERTIFICATE OF AUTHORIZATION NUMBER 613

ALTA/NSPS LAND TITLE SURVEY
Banyan Street Capital, LLC, a Delaware limited liability company,
First American Title Insurance Company &
Stearns Weaver Miller Weissler Alhadeff & Sitterson, P.A., and each of their respective successors and assigns
AUTHORIZED BY LOIRI DUNNE REPRESENTING BANYAN STREET CAPITAL.
LAND LOT 9 - 17th DISTRICT - CITY OF ATLANTA, FULTON COUNTY, GEORGIA

SCALE: 1" = 60' IN FEET
GRAPHIC SCALE: 0 15 30 45 60 75 90 120

UTILITY STATEMENT:
1. Information regarding the reputed presence, size, character and location of existing underground utilities and structures is shown herein. There is no certainty of the accuracy of this information and it shall be considered that any utility shown on this drawing, the location and arrangement of underground utilities and structures shown herein may be inaccurate and utilities and structure not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information.

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THESE DRAWINGS AND THEIR REPRODUCTIONS ARE THE PROPERTY OF TRAVIS PRUITT & ASSOCIATES, INC. AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.
FOR THE FIRM
Travis Pruitt & Associates, Inc.
This survey was prepared in conformity with The Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.
PLAT DATE: May 11, 2016
FIELD DATE: May 5, 2016
SCALE: 1"=60'
LSV: BT
NO: 116-0208-000
PN: 211-E-150
Sheet No. 1 of 2



May 5, 2017

City of Atlanta  
Office of Planning  
404.330.6145

**Re: Atlanta Plaza Repositioning Application for Special Administrative Permit (SAP)**

Dear Reviewer,

The Atlanta Plaza Repositioning project is comprised of interior renovation of the existing lobby space with alterations to the main entrance façade. The Southeast main tenant entry removes the existing curtain wall and revolving doors to transform part of the existing interior space into an exterior porch with new vestibule entries into the main building lobby and a tenant suite.

To accommodate the new main entry design, new exterior pavers are planned in the porch area and a rework of the existing exterior paving and drainage is reworked to accept the new entry design. The existing monument signage is removed to provide a clearer path physically and visually the building entry. New lower landscape covered walls are provided to mitigate grading issues, insert greenery into the existing exterior plaza and provide a new place for building signage to be integrated. The landscape at the entry to the building is refreshed with new plantings around the existing tree.

The secondary building entrance on the Southeast façade will be modified to provide for a new interior entry vestibule at one set of existing doors. The other set of existing doors are to be removed and replaced with curtain wall. Adjacent to this, a new mechanical louver will be placed above street level in this façade to accommodate new interior mechanical work.

All of these modifications to the Southeast façade and entry site can be seen in the plans and elevations submitted. No additional work to the other building facades, entrances, or surrounding site are included in this project.

Sincerely,

E. Bruce McEvoy  
Design Principal