



HARRY'S PIZZA
PHIPPS PLAZA SPACE # 1096B
3500 PEACHTREE ROAD
ATLANTA, GA 30305

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**MECHANICAL/ ELECTRICAL/ PLUMBING /
FIRE PROTECTION ENGINEERS**
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GENERAL CONTRACTOR
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GENERAL NOTES

1.1. THE WORK DESCRIBED HEREIN INVOLVES DESIGNING TENANT SPACE NUMBER 1096B OF PHIPPS PLAZA INTO A NEW RESTAURANT SPACE...

1.2. THE CONTRACTOR AGREES THAT HE, HIS MANAGEMENT TEAM (ESTIMATOR, PROJECT MANAGER, PROJECT ENGINEERS, SUPERINTENDENTS, AND SUBCONTRACTORS AND PRINCIPAL SUPERVISORY PERSONNEL, ETC.) HAS VISITED THE SITE, EXAMINED THE SITE AND THE LOCATION OF THE PROPOSED WORK...

1.3. PLANS AND DETAILS ARE COMPLEMENTARY AND MUTUALLY EXPLANATORY AND WHAT IS REQUIRED BY ONE, SHALL BE AS BINDING AS IF REQUIRED BY ALL, AND ARE NOT INTENDED TO BE USED AS SHOP DRAWINGS...

1.4. CONTRACTOR SHALL PREPARE A CONSTRUCTION SCHEDULE SUBJECT TO REVIEW AND APPROVAL BY OWNER

1.5. THE CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPLICABLE CODES AND STANDARDS RELEVANT TO THIS PROJECT ON SITE AT ALL TIMES, AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE CURRENT FLORIDA BUILDING CODE...

1.6. THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND CURRENT SET OF PERMIT DRAWINGS ON-SITE AT ALL TIMES ALONG WITH ALL REVISIONS TO THE PERMIT, INCLUDING PERMITTED SHOP DRAWINGS AND CALCULATIONS...

1.7. THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, PERMIT DOCUMENTS, DIMENSIONS, JOB-SITE CONDITIONS, AND COORDINATE WITH FIELD DIMENSIONS, AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION SPACE...

1.8. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE DRAWINGS, NO "CHANGE ORDERS" FOR MISSED ITEMS IN OTHER SECTIONS OF THE WORK WILL BE PERMITTED...

1.9. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FIRST CLASS WORKMANSHIP LIKE MANNER.

1.10. THE ARCHITECT, OWNER AND OR ENGINEER(S) SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OR CHARGE OVER THE CONSTRUCTION MEANS, METHODS, SEQUENCES, OR PROCEDURES OR FOR THE SAFETY PRECAUTION PROGRAMS...

1.11. NO UTILITIES, DATA OR COMMUNICATION CABLES, POWER OR BUILDING OPERATIONS SHALL BE INTERRUPTED PRIOR APPROVAL OF OWNER'S REPRESENTATIVE...

1.12. PROTECT ADJACENT AREAS FROM DAMAGE AND BE RESPONSIBLE FOR DAMAGES THEY CAUSE. PROVIDE BARRICADES AND BARRIERS AS REQ'D TO PROTECT ADJACENT AREAS AND PERSONNEL...

1.13. AS-BUILT CONDITIONS MAY NOT COINCIDE WITH THOSE INDICATED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION, BUT NOT LIMITED TO, ALL THE ITEMS LISTED FOR DEMOLITION...

2. LICENSING :

2.1. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED BY THE STATE OF GEORGIA. LICENSES AND CLEARANCES SHALL CONFORM TO ALL BUILDING SECURITY POLICIES AND REGULATIONS.

3. ORDINANCES :

3.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING THE REQUIREMENTS OF AND ADHERING TO ALL NOISE ORDINANCES OR OTHER ORDINANCES THAT MAY RESTRICT THE ACTIVITIES OF THE WORK ON THIS JOB...

4. PERMITS :

4.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF WORK, THE REQUESTING AND COORDINATION OF ALL INSPECTIONS AND APPROVAL OF ALL ASPECTS OF HIS WORK...

5. DEBRIS AND DISPOSAL :

5.1. THE CONTRACTOR SHALL REMOVE FROM THE SITE AND LEGALLY DISCARD IN A TIMELY MANNER ALL CONSTRUCTION DEBRIS THAT WILL NOT BE REUSED OR RELOCATED ELSEWHERE IN THE PROJECT.

6. HAZARDOUS MATERIALS :

6.1. IF ANY HAZARDOUS MATERIALS, INCLUDING ASBESTOS, ARE ENCOUNTERED DURING DEMOLITION WORK, THEY SHALL BE REMOVED IN ACCORDANCE WITH CODES, LAWS AND ORDINANCES

7. MATERIALS AND EQUIPMENT :

7.1. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, EQUIPMENT, AND APPLIANCES THAT ARE TO BE USED. THE CONTRACTOR SHALL PROVIDE PROTECTION FROM VANDALISM, THEFT, WEATHER, DUST, NOISE, AND ANY OTHER SOURCE OF DAMAGE OR LOSS.

8. HURRICANE / WINDSTORM PLAN :

8.1. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A HURRICANE PREPAREDNESS PLAN. THE CONTRACTOR SHALL MAINTAIN SAID PLAN IN A LOCATION THAT IS READILY ACCESSIBLE FOR REVIEW BY THE OWNER AND OR ARCHITECT.

8.1.1. THE HURRICANE PLAN SHALL INCLUDE A LIST OF CONTACTS IN THE EVENT THAT A HURRICANE WATCH IS POSTED AND WILL ALSO ADDRESS WHAT MEASURES ARE TO BE TAKEN TO SECURE THE CONSTRUCTION SITE...

8.1.2. THE HURRICANE PLAN SHALL ADDRESS HOW THE CONTRACTOR WILL MOBILIZE THE PROJECT FOLLOWING A WIND OR HURRICANE EVENT AND DOCUMENTATION OF DAMAGES AND HOW REPAIRS WILL BE HANDLED IN THE EVENT OF A LOSS.

9. DAMAGES :

9.1. IN THE EVENT OF DAMAGES TO THE BUILDING WHICH REQUIRE ASSESSMENT FOR AN INSURANCE CLAIM, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER OF THE CIRCUMSTANCES SURROUNDING THE LOSS, DOCUMENT DAMAGES, DETERMINE AND PRICE REPAIRS, DETERMINE IMPACT TO THE PROJECT SCHEDULE...

10. COORDINATION :

10.1. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AT THE TIME THE WORK IS

11. SCHEDULING OF WORK :

11.1. THE CONTRACTOR SHALL WORK AND RETAIN COOPERATION WITH THE OWNER AND TENANT(S) IF ANY BY SCHEDULING THEIR WORK IN ORDER TO CAUSE THE LEAST INCONVENIENCE TO PERSONNEL AND PROPERTY.

12. TESTS :

12.1. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTS. PAYMENT OF ALL TEST SHALL BE AS INDICATED IN THE AGREEMENT BETWEEN THE OWNER/CONTRACTOR OR GENERAL CONDITIONS... IF NOT SPECIFICALLY DEFINED, THESE COSTS SHALL BE BORNE BY THE CONTRACTOR.

13. TYPICAL DETAILS :

13.1. CONTRACTOR SHALL RESOLVE QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS WITH THE ARCHITECT/ENGINEER. DETAILS LABELED AS "TYPICAL DETAILS, OR (TYP.) ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR EXISTING AT THE SITE...

14. CLEANING :

14.1. PROVIDE CLEANING AS INDICATED IN THE CONTRACT FOR CONSTRUCTION BETWEEN THE OWNER/CONTRACTOR, THOROUGHLY CLEAN THE PREMISES TO MAKE READY FOR OPENING. CLEAN ALL SURFACES INTERIOR AND EXTERIOR, FREE OF ALL DIRT AND REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES INCLUDING:

- A. POLISHING ALL HARDWARE
B. THOROUGHLY CLEANING ALL FINISHES AREAS INSIDE AND OUT.
C. CLEANING SHELVES INSIDE AND OUT.
D. ALL MIRRORS, GLASS STOREFRONTS, TERRACES, WINDOWS AND METAL FRAMING TO BE CLEANED INSIDE AND OUT, WHERE POSSIBLE.
E. BROOM CLEAN ALL FLOOR SLABS.
F. CLEAN OR TOUCH UP ALL PAINTED SURFACES WHICH ARE SOILED.
CONTRACTOR IS TO DELIVER TO THE OWNER A CLEAN BUILDING PRIOR TO OPENING FINAL INSPECTION.

15. USE OF DRAWINGS :

15.1. THESE DRAWINGS ARE BEING PREPARED FOR THE PURPOSE OF PERMITTING. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON THESE DRAWINGS DUE TO CHANGE ORDERS, ALTERATIONS BY OTHERS, FIELD CONDITIONS, ETC.

15.2. THESE DRAWINGS AND RELATED DOCUMENTS DETAIL WORK FOR THIS SPECIFIC PROJECT INDICATED BY THE PROJECT NUMBER AND LISTED LOCATION. THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF ARCHITECT COMPANY, AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT, ARCHITECT COMPANY.

15.3. DO NOT REPRODUCE THE DRAWINGS FOR USE AS SHOP DRAWINGS.

15.4. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE.

16. WALL DIMENSIONS :

16.1. AT INTERIOR WALL DIMENSIONS ARE CENTER OF WALL TO CENTER OF WALL. ALL EXTERIOR WALL DIMENSIONS ARE TO FACES OF BLOCK WALLS OR CONCRETE (WHERE APPLICABLE).

17. TENANT FURNISHED MATERIALS

17.1. ALL OWNER-FURNISHED MATERIAL, IF ANY, ARE TO BE FURNISHED VIA TAILGATE DELIVERY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE UNLOADING, EXAMINATION, AND TRANSPORTATION OF OWNER FURNISHED MATERIALS FROM THE POINT OF UNLOADING TO THE JOB-SITE OR STORAGE AREA AS APPLICABLE. MATERIALS WILL BE DELIVERED TO THE CLOSEST AVAILABLE TRUCK DOCK OR ALTERNATE LOCATION AS DIRECTED BY THE OWNER.

18.1. SUBSTITUTION OF MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED SHALL BE PERMITTED UPON WRITTEN AUTHORIZATION FROM THE ARCHITECT AND OWNER.
18.2. THE CONTRACTOR SHALL BEAR THE BURDEN OF PROOF THAT SUCH SUBSTITUTION IS EQUAL TO SPECIFIED ITEM AND CAN BE OBTAINED IN A TIMELY MANNER.

18.3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBSTITUTE ITEMS WITH ALL ASSOCIATED IMPACTED TRADES.
18.4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN COSTS ASSOCIATED WITH A SUBSTITUTION.

19. PERMANENT FIRE EXTINGUISHERS :

19.1. FIRE EXTINGUISHERS OF THE TYPE AND QUANTITY APPROVED BY THE LOCAL FIRE OFFICIAL AND THE OWNERS CASUALTY INSURER ARE TO BE PROVIDED IN SURFACE MOUNTED CABINETS.
19.2. ALL FIRE EXTINGUISHER CABINETS LOCATED IN A FIRE RATED WALL ASSEMBLY SHALL BE PROVIDED AS A FIRE RATED CABINET.

19.3. THE CONTRACTOR SHALL PROVIDE SUFFICIENT ALLOWANCE TO INSTALL ALL REQUIRED FIRE EXTINGUISHERS & CABINETS.
19.4. THE CONTRACTOR MAY NOT ALLOCATE ANY TEMPORARY CONSTRUCTION USE FIRE EXTINGUISHERS AS PERMANENT FIRE EXTINGUISHERS.

19.5. ALL FIRE EXTINGUISHERS AND CABINETS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND HANDICAP ACCESSIBILITY REQUIREMENTS.

20. FLAME SPREAD RATING :

20.1. ALL MATERIAL USED IN THE INTERIOR OF THE PROJECT MUST MEET THE FLAME SPREAD RATINGS PER THE GOVERNMENT CODE. PROOF OF THESE FLAME SPREAD RATINGS MUST BE INCLUDED AS A PART OF A FINAL INSPECTION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

21. FRAMING :

21.1. ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED (F.R.T.) LUMBER. NO F.R.T. MATERIAL MAY BE USED IN THE CEILING'S PLENUM OR ABOVE SPRINKLER COVERAGE, OR AS REQUIRED / RESTRICTED BY LOCAL GOVERNING CODES. INSTALL ALL WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS.

22. COMPLETENESS OF WORK :

22.1. ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST.
22.2. ALL WORK STARTED BY THE CONTRACTOR SHALL BE COMPLETED IN ITS ENTIRETY TO ITS FINAL COMPLETED STATE WHETHER COMPLETELY DEFINED IN THE DRAWINGS OR NOT.

22.3. THE WORK SHALL INCLUDE THE PROVISIONS OF ALL MATERIALS, CUTTING, EXTENSIONS, CONNECTIONS, PATCHING, PAINTING, REPAIRING, ADAPTING AND OTHER WORK INCIDENTAL THERE TO, TOGETHER WITH SUCH TEMPORARY CONNECTIONS AS MAY BE REQUIRED. PROVIDE ALL NECESSARY SEALING OF PENETRATIONS LEFT FROM REMOVED EQUIPMENT OR PRODUCED BY THIS WORK. UNLESS OTHERWISE NOTED ALL WORK AND MATERIALS SHALL BE NEW AND PROVIDED BY THIS CONTRACTOR. THE WORK SHALL ALSO INCLUDE THE REMOVAL AND DISPOSAL OF MATERIALS FROM THE SITE.

22.4. WHERE PRESENT WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE REPAIRED OR CLOSED UP TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK AND FIRE RATING, UNLESS OTHERWISE CALLED FOR, WHERE DAMAGE IS NOT REPAIRABLE, NEW ITEMS OR EQUIPMENT SHALL BE PROVIDED AT CONTRACTOR'S EXPENSE.

23. FINISHED FLOORING :

23.1. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE BY SUB-CONTRACTORS.

23.2. THE CONTRACTOR SHALL EXAMINE THE FLOOR SLAB CONDITION TO DETERMINE TO WHAT EXTENT FLOOR PREPARATION, LEVELING, CHIP HAMMERING, ETC. WILL BE NECESSARY TO FURNISH A SMOOTH, LEVEL, SUBSTRATE FOR THE PROPER INSTALLATION OF ALL FLOORING

24. DELEGATE ENGINEERS :

24.1. AS A MINIMUM, THE FOLLOWING SYSTEMS AND COMPONENTS REQUIRE FABRICATION AND ERECTION DRAWINGS DESIGN, DETAILED AND SEALED BY A DELEGATED ENGINEER REGISTERED IN FLORIDA.

- A. GLAZED EXTERIOR WALL SYSTEMS
B. ROOFTOP EQUIPMENT SCREENS.

25. STRUCTURAL ALUMINUM :

25.1. THE DESIGN, FABRICATION, AND ASSEMBLY OF STRUCTURAL ALUMINUM FOR BUILDINGS OR STRUCTURES SHALL CONFORM TO SPECIFICATIONS FOR ALUMINUM STRUCTURES, ALUMINUM CONSTRUCTION MANUAL, SECTION 1, OF ALUMINUM ASSOCIATION.

26. SHOP DRAWINGS :

26.1. REFER TO SPECIFICATIONS FOR SHOP DRAWINGS PROCEDURE.

27. PENETRATIONS AND CUTTING :

27.1. CUTTING OR DRILLING OF ANY STRUCTURAL MEMBER IS NOT PERMITTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT. THE ARCHITECT SHOULD BE GIVEN ADVANCE NOTICE TO ALLOW ADEQUATE TIME TO REVIEW AND EVALUATE EACH OF THE CONTRACTOR'S PROPOSALS.

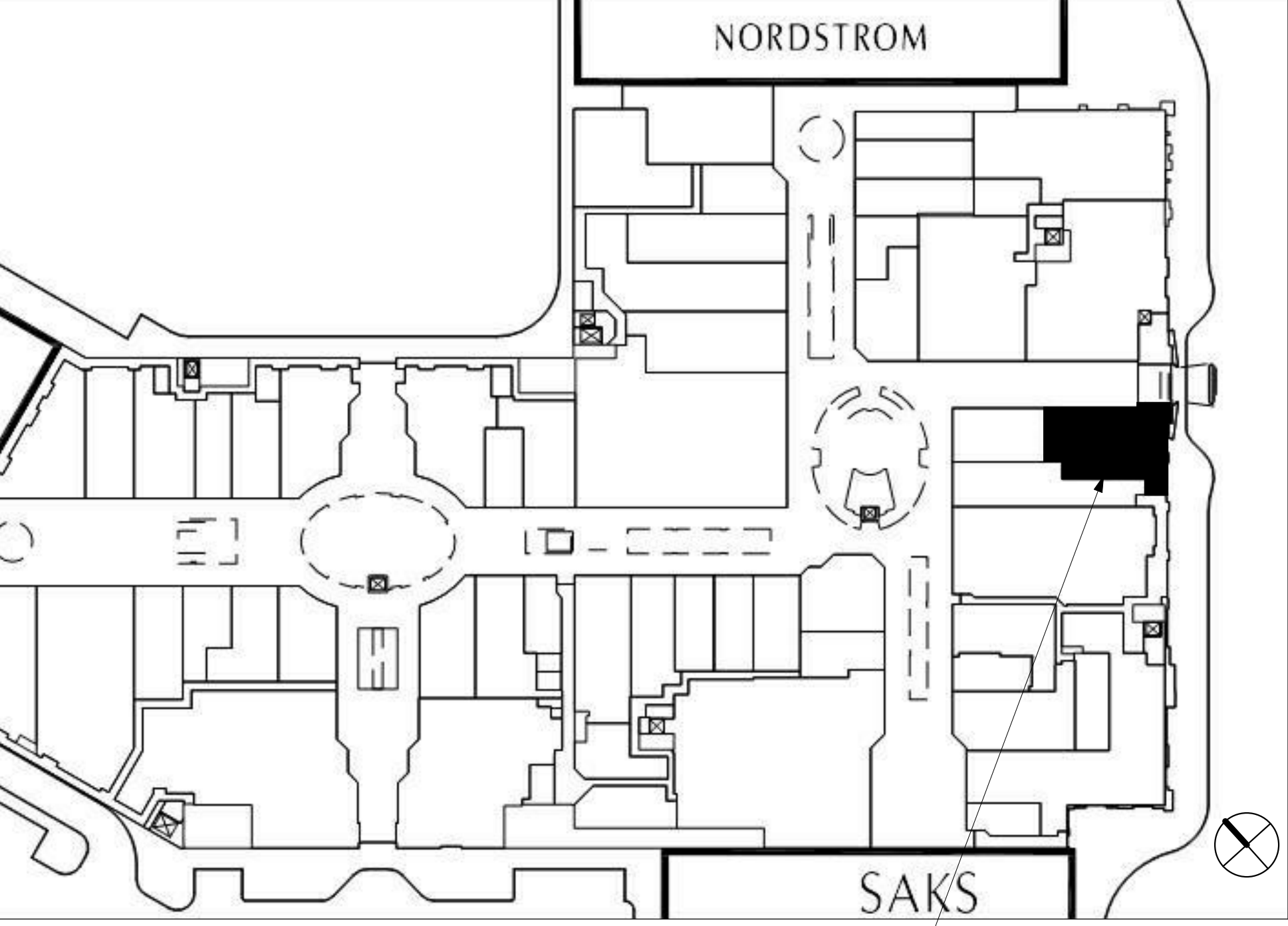
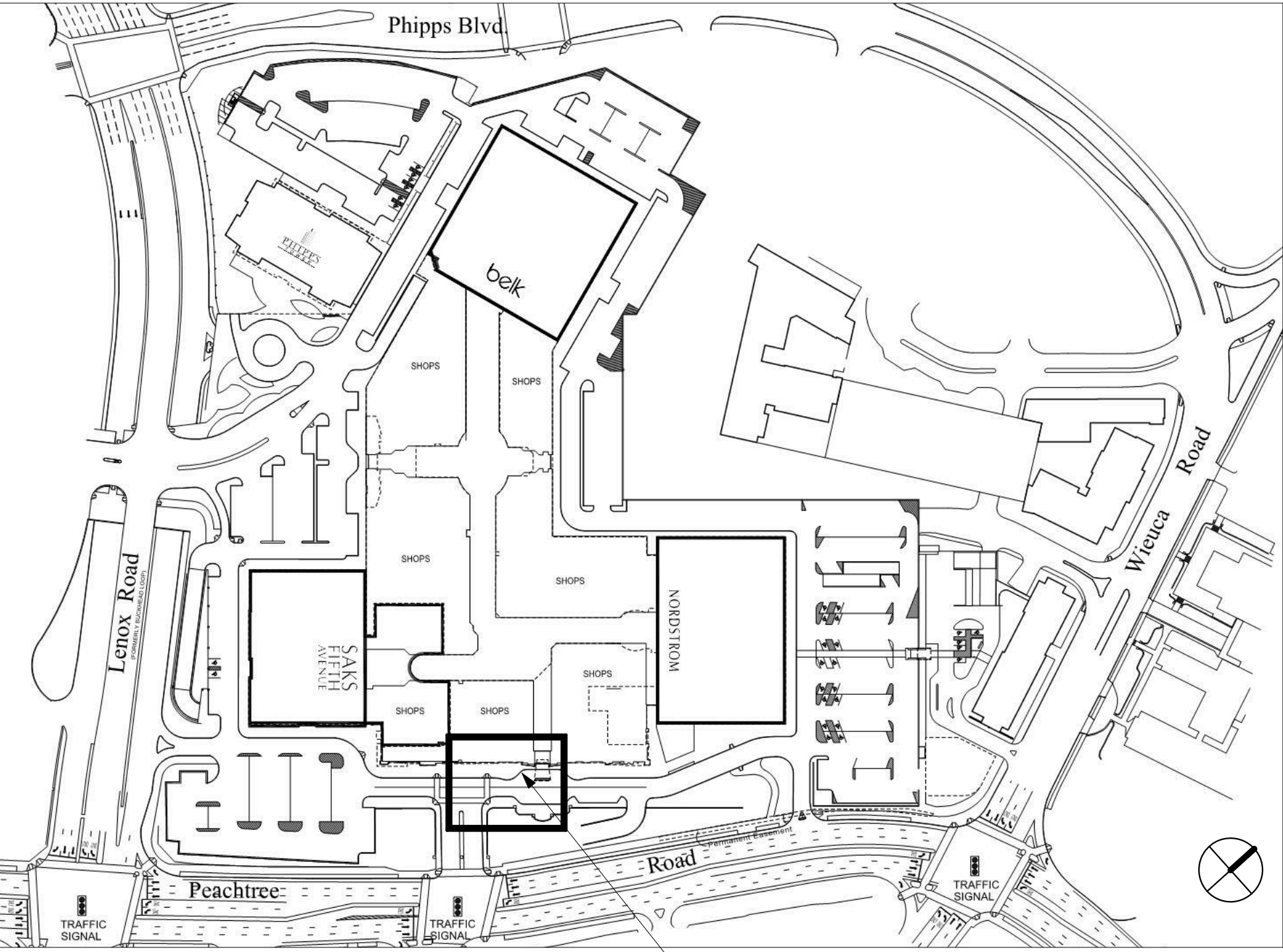
29. SAFETY OSHA AND LABOR LAWS :

29.1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, TEMPORARY BRACING, ETC. THAT MAY BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.

29.2. THE STRUCTURAL ENGINEER/ARCHITECT OF RECORD DOES NOT POSSES, NOR PRESUMES TO POSSESS ANY KNOWLEDGE OR EXPERTISE IN MATTERS TO JOB SITE EMPLOYEE SAFETY, OSHA OR LABOR LAW REQUIREMENTS FOR A CONSTRUCTION PROJECT. SAFETY AND COMPLIANCE WITH OSHA AND LABOR LAWS ARE THE ABSOLUTE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THOSE CONSULTANTS HE/SHE HIRES TO ADDRESS THESE MATTERS. THE STRUCTURAL ENGINEER/ARCHITECT OF RECORD SPECIALIZES IN STRUCTURAL DESIGN/ARCHITECTURE ONLY, AND THE BOARD OF PROFESSIONAL REGULATION FORBIDS HIM/HER FROM ASSUMING RESPONSIBILITY OUTSIDE HIS/HER AREA OF EXPERTISE

INDEX OF DRAWINGS

Table with 2 columns: SHEET NO. and SHEET NAME. Lists drawings under categories: GENERAL, DEMOLITION, LIFE SAFETY, ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING.



CODE INFORMATION: AUTHORITY HAVING JURISDICTION: CITY OF ATLANTA. BUILDING CODE, ACCESSIBILITY CODE, ENERGY CODE, MECHANICAL CODE, PLUMBING CODE, ELECTRICAL CODE, FIRE CODE.

SCOPE OF WORK: TENANT IMPROVEMENT FOR 2,531 SF. GROUND LEVEL FOR NEW RESTAURANT. SCOPE OF WORK INCLUDES ADDING NEW PARTITIONS, INSTALLING FINISH FLOOR THROUGHOUT, ADDING NEW BATHROOMS, NEW LIGHTING, KITCHEN EQUIPMENT, AND EXTERIOR DINING AREA (719 SF).

SYMBOLS LEGEND: FINISH INDICATOR, ROOM, SECTION INDICATOR, ELEVATION INDICATOR, CALLOUT INDICATOR, DOOR, WINDOW, GRID INDICATOR, TENANT LEASE LINE.

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MCKENZIE DESIGN - BUILD - CRAFT
HARRY'S PIZZERIA ATLANTA
3500 PEACHTREE ROAD
ATLANTA, GA 30305 - SPACE # 1096B

PROFESSIONAL LICENSE



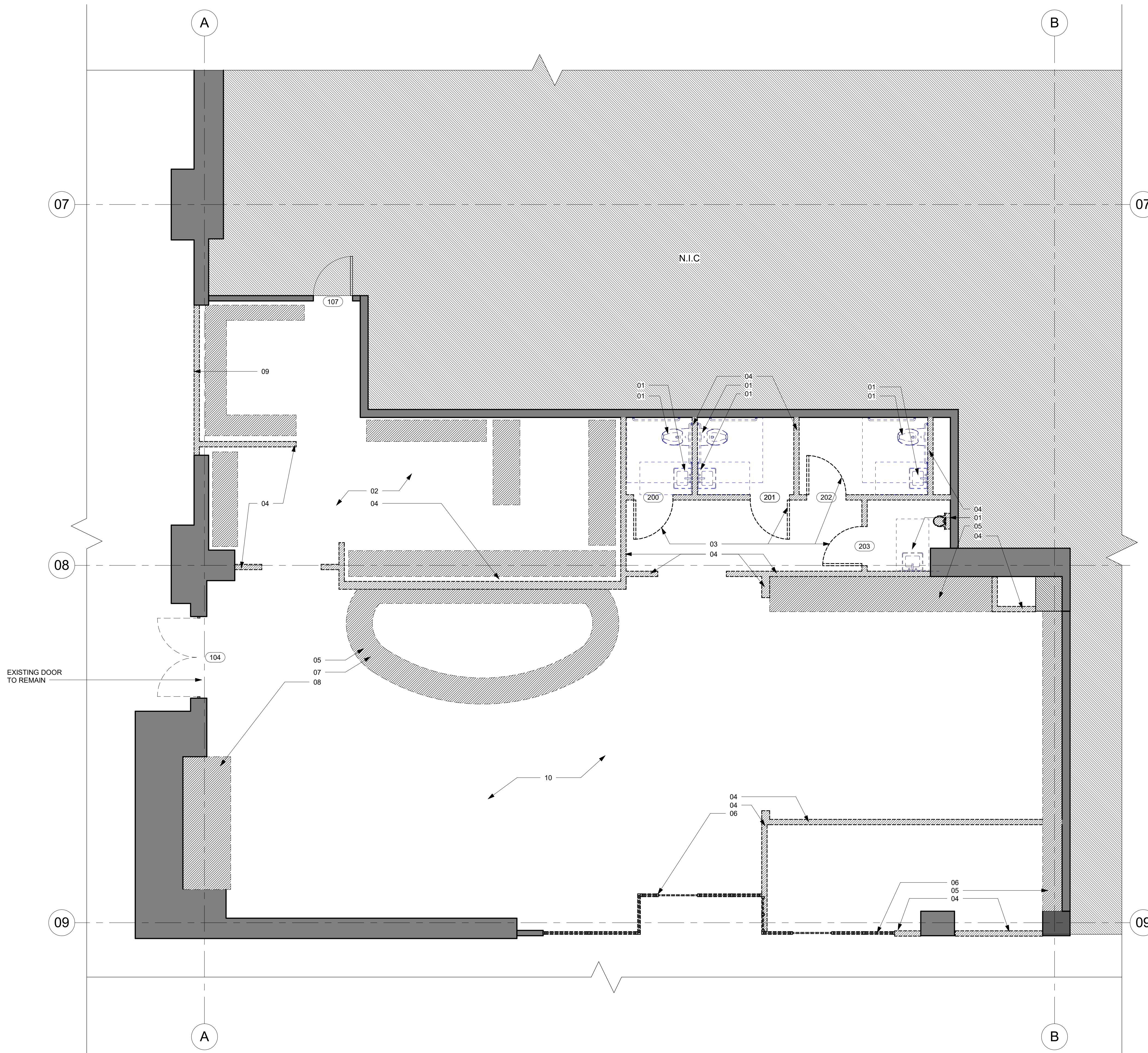
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PROJECT PROJECT NO. 13_016

DRAWING TITLE GENERAL NOTES

SCALE: As indicated DRAWING NO.

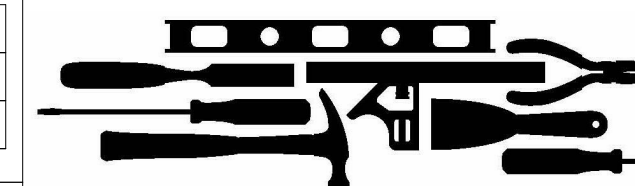
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DEMOLITION WALL	
	EXISTING TO
	DEMOLITION OF

DEMOLITION KEY

- 01. REMOVE EXISTING PLUMBING FIXTURES
- 02. REMOVE EXISTING KITCHEN EQUIPMENT
- 03. REMOVE EXISTING DOOR
- 04. REMOVE EXISTING PARTITION
- 05. REMOVE EXISTING MILLWORK
- 06. REMOVE EXISTING STOREFRONT
- 07. REMOVE EXISTING BAR AND CAP ALL UTILITIES
- 08. REMOVE BOOTH
- 09. REMOVE EXISTING EXTERIOR WALL UP TO THE STRUCTURE FOR NEW GARAGE DOOR. COORDINATE OPENING WITH DOOR SCHEDULE.
- 10. REMOVE FLOOR FINISH UP TO CONCRETE SLAB



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ARCHITECTURE LICENSE REGISTRATION NUMBER
 GILBERT ATICK GA CERTIFICATE #RA014890

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McKENZIE
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HARRY'S PIZZERIA ATLANTA

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ISSUE NO.	DESCRIPTION	ISSUE DATE
00	PERMIT	05/25/17

PROJECT	PROJECT NO.	13_016

DRAWING TITLE
DEMOLITION PLAN

SCALE: As indicated DRAWING NO.

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DEMOLITION NOTES

A. THE DEMOLITION PLAN IS GENERAL IN NATURE AND INDICATES APPROXIMATE CONDITIONS AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FIELD SURVEY IN REGARDS TO QUANTITIES, DIMENSIONS, AND CONFORMANCE TO CODE.

B. GENERAL CONTRACTOR SHALL REMOVE ALL ITEMS INDICATED BY DASHED LINES AND DIAGONAL HATCH. CONTRACTOR SHALL CAREFULLY EXECUTE ALL WORK IN SUCH A MANNER TO AVOID ANY UNNECESSARY ADDITIONAL DAMAGE AND SHALL CARRY OUT ALL DEMOLITION WORK REQUIRED TO MEET THE INTENT OF THE DRAWINGS. ANY DAMAGE DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AT DIRECTION OF ARCHITECT/ENGINEER, BY THE CONTRACTOR, AT NO EXTRA COST TO THE OWNER.

C. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.

D. CONTRACTOR SHALL EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED.

E. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D. BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS. (UNDER SEPARATE PERMIT)

F. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION. (UNDER SEPARATE PERMIT)

G. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARING THIS WORK.

H. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS. (UNDER SEPARATE PERMIT)

I. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.

J. UTILITY SERVICES TO THE EXISTING BUILDING SHALL NOT BE DISRUPTED IN ANY WAY WITHOUT NOTIFYING/COORDINATING WITH THE OWNER AND RECEIVING WRITTEN AUTHORIZATION TO DO SO.

K. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.

L. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D., AT NO COST TO THE OWNER.

M. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.

N. REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE OF IN A CONDITION ACCEPTABLE TO THE ARCHITECT.

O. TREES ARE TO REMAIN AND BE PROTECTED DURING DEMOLITION.

P. SPACE SHALL NOT BE OCCUPIED DURING DEMOLITION.

Q. PARTITION DEMOLITION INCLUDES ANY KIND OF SECONDARY PIPES, CONDUITS, WIRING, ETC. CONTAINED WITHIN THE PARTITION.

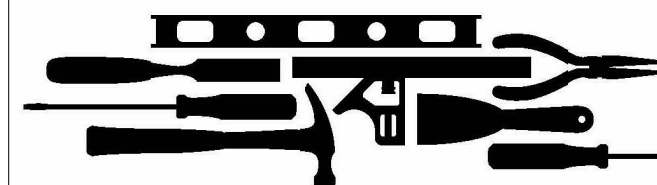
R. WHEN REMOVING ANY KIND OF FLOORING, LEAVE SUBSTRATE FREE OF DEBRIS, RESIDUE AND IN A CONDITION TO RECEIVE NEW FLOORING.

S. PRIOR TO DEMOLITION CONTRACTOR TO CONTACT SUNSHINE FOR UNDERGROUND UTILITY LOCATIONS.

T. ALL LIFE SAFETY SYSTEMS SHALL REMAIN ACTIVE DURING DEMOLITION.

1 DEMOLITION PLAN
 1/4" = 1'-0"





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***RELEASED FOR CONSTRUCTION**

McKENZIE
 DESIGN · BUILD · CRAFT

HARRY'S PIZZERIA ATLANTA

3500 PEACHTREE ROAD
 ATLANTA, GA 30305 - SPACE # 1096B

PROFESSIONAL LICENSE



ISSUE NO.	DESCRIPTION	ISSUE DATE
00	PERMIT	05/25/17

PROJECT PROJECT NO. 13_016

DRAWING TITLE
LIFE SAFETY

SCALE: As indicated DRAWING NO.

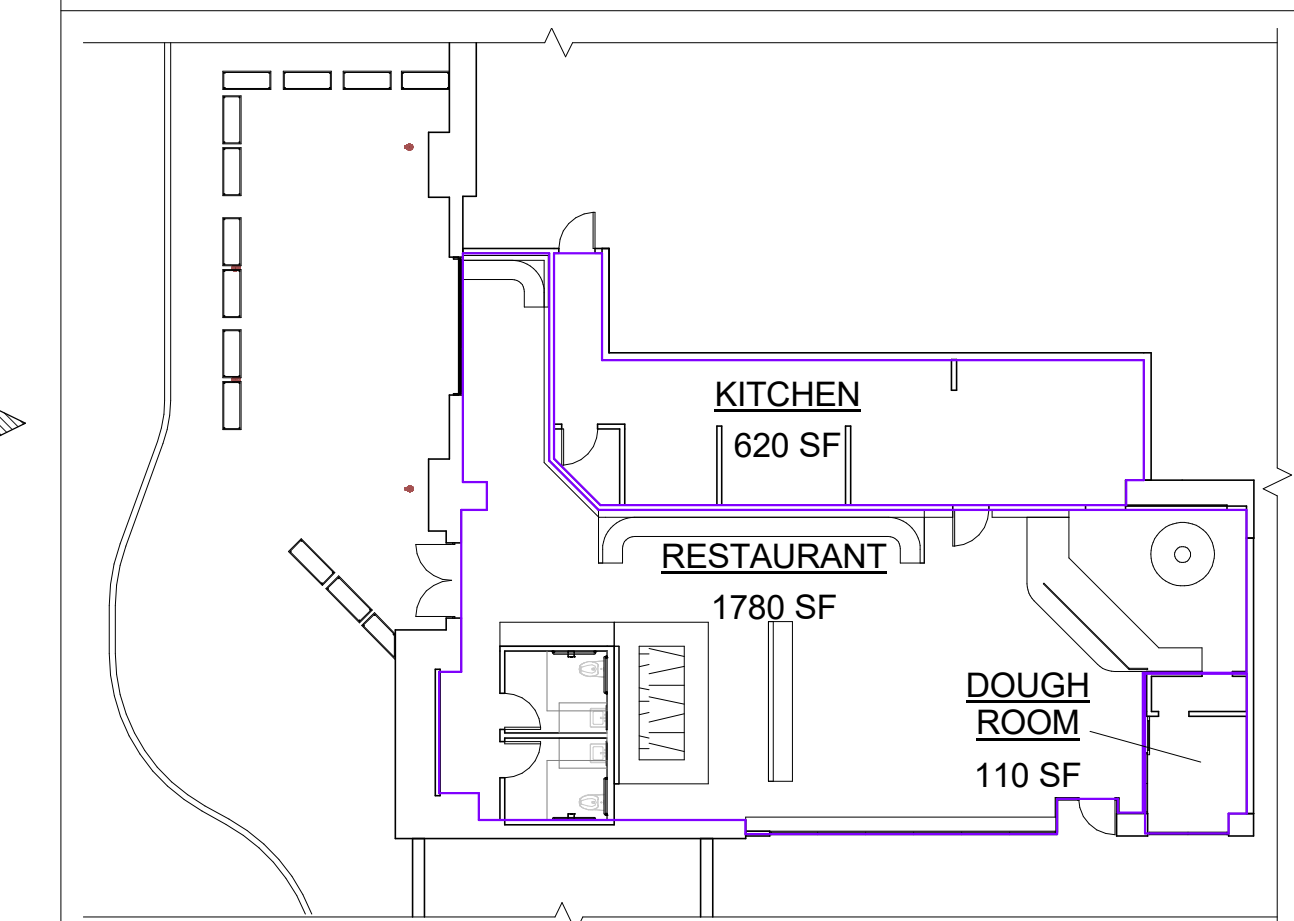
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LIFE SAFETY NOTES

- COMMON PATH OF TRAVEL SHALL NOT EXCEED 75' IN A NON-SPRINKLERED SYSTEM.
 - 3 OR MORE EXITS OR EXIT ACCESS DOORWAYS SHALL BE PROVIDED FROM ANY SPACE WITH AN OCCUPANT LOAD OF 501-1,000 PEOPLE.
 - EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200' WITH A NON-SPRINKLERED SYSTEM
 - MEANS OF EGRESS CAPACITY FACTORS BASED ON INTERNATIONAL FIRE CODE 2012 IN SECTION 1005.3.1; WHERE STAIRS REQUIRE 0.3 INCHES PER OCCUPANT AT STAIRWAYS AND 0.2 INCHES AT LEVEL COMPONENTS AND RAMPS.
 - 1/2" MAXIMUM DIFFERENCE IN ELEVATION AT ALL TRANSITIONS.
- ALL EMERGENCY LIGHTS AND EXIT SIGNS WILL BE ON BATTERY BACK UP FOR 90 MINS.

LIFE SAFETY PLAN LEGEND

	ACTUAL NUMBER OF OCCUPANTS ALLOCATED TO THIS EXIT
	ARROW HEAD INDICATED DIRECTION OF REQUIRED EGRESS
	MAXIMUM EXIT CAPACITY OF THIS MEANS OF EGRESS COMPONENT
	TRAVEL DISTANCE TO EXIT
	1 HR FIRE RATED WALL
	2 HR FIRE RATED WALL
	3 HR FIRE RATED WALL
	FIRE EXIT DEVICE OR PANIC HARDWARE
	20 MINUTE 'C' LABEL DOOR IN 1 HR. FIRE RATED WALL
	45 MINUTE 'C' LABEL DOOR IN 1 1/2HR. FIRE RATED WALL
	60 MINUTE 'C' LABEL DOOR IN 1 1/2HR. FIRE RATED WALL
	90 MINUTE 'B' LABEL DOOR IN 2HR. FIRE RATED WALL
	3-A; 10-B; C 5-LBS MULTIPURPOSE SEMI-RECESSED ADA-COMPLIANT FIRE EXTINGUISHER CABINET. MOUNT TOP AT 50" AFF.
	EXIT
	EMERGENCY LIGHT
	COMBINATION AUDIBLE / VISUAL NOTIFICATION DEVICE
	MANUAL PULL STATION
	SMOKE DETECTOR
	STROBE
	HORN
	PULL STATION



2 AREA PLAN
 1/16" = 1'-0"

LIFE SAFETY OCCUPANT LOAD ANALYSIS

NUMBER	NAME	AREA	FUNCTION	OCCUPANCY FACTOR	ALLOWED OCCUPANCY (PERSONS)
19	RESTAURANT	1780 SF	ASSEMBLY W/OUT FIXED SEATS UNCONCENTRATED	15	119
20	DOUGH ROOM	110 SF	KITCHEN	100	2
21	KITCHEN	620 SF	KITCHEN	100	7
					127

SEATING CHART

LEVEL	NUMBER OF SEATING	5% ACCESSIBLE SEATING
RESTAURANT	66	
PIZZA	7	
COUNTER	6	
INDOOR TOTAL	79	3.9 = 4 ACCESSIBLE SEATS
OUTDOOR	36	1.8 = 2 ACCESSIBLE SEATS
TOTAL	113	6 ACCESSIBLE SEATS

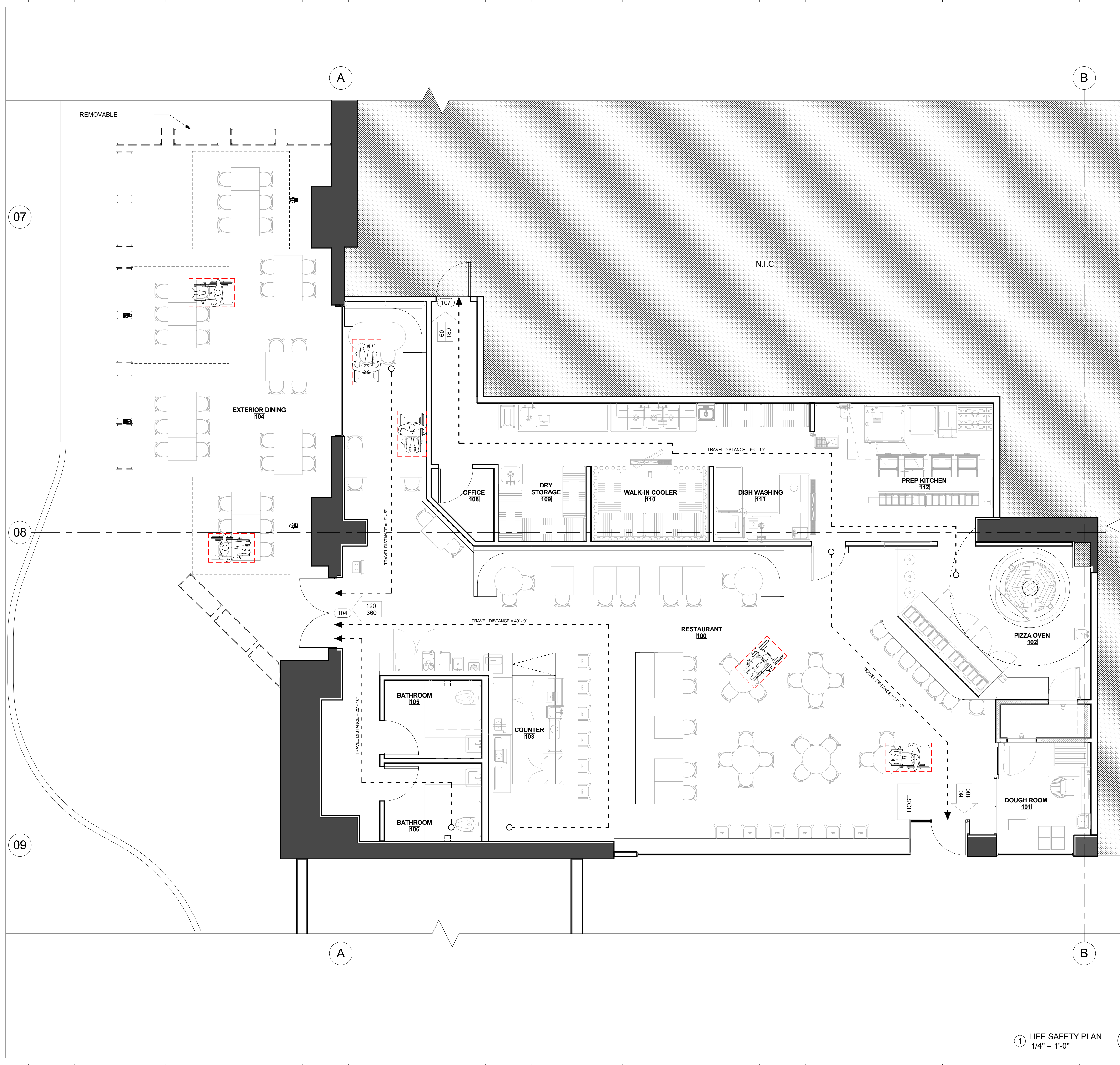
PROJECT TOTAL AREA

INDOOR	2,543 SF
OUTDOOR	719 SF
TOTAL	3,262 SF

EXIT CAPACITY

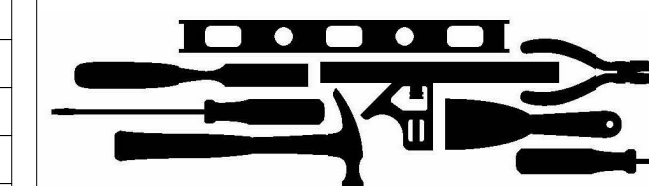
EXIT NUMBER	DOOR WIDTH (IN)	DOOR CAPACITY	LIMITING CAPACITY	ACTUAL USE
100	3' - 0"	180	180	60
104	6' - 0"	360	360	120
107	3' - 0"	180	180	60
TOTAL EXIT CAPACITY		720	720	240

*EGRESS CAPACITY OF DOORS HAS BEEN BASED ON THE CLEAR WIDTH OF THE DOORS AS REQUIRED BY SECTION 7.3.2.1 OF THE FIFPC AND SECTION 1005.1 OF THE IBC.



1 LIFE SAFETY PLAN
 1/4" = 1'-0"

WALL	
	NEW
	EXISTING
	CAST IN PLACE
	CM
	EXISTING



McKENZIE CONSTRUCTION, LLC
 2247 NW 17 AVENUE
 MIAMI, FL 33142
 P. 786.412.7341

ARCHITECTURE LICENSE REGISTRATION NUMBER
 GILBERT ATICK GA CERTIFICATE #RA014890
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 HARRY'S PIZZERIA ATLANTA
 3500 PEACHTREE ROAD
 ATLANTA, GA 30305 - SPACE # 1096B

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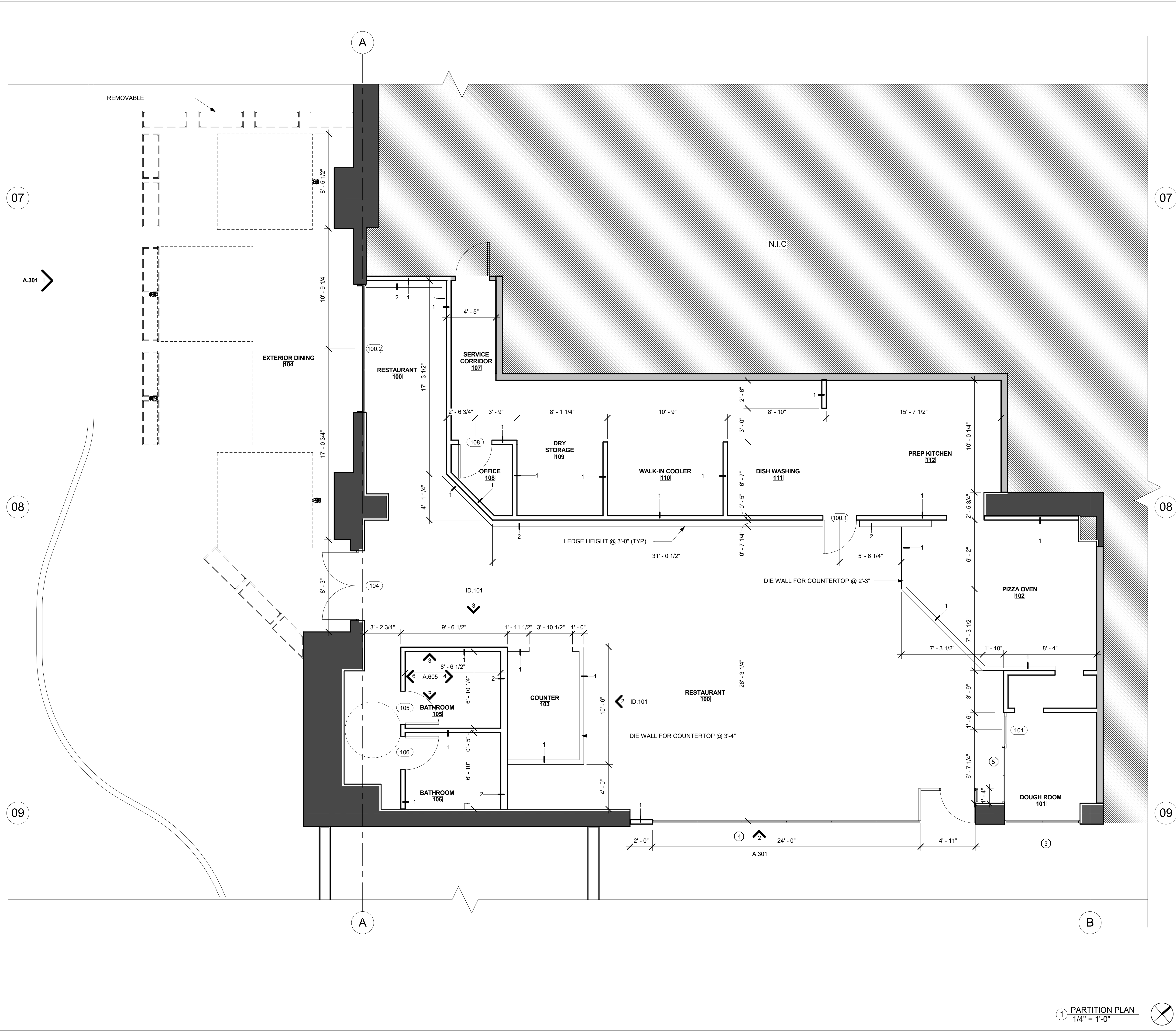
ISSUE NO.	DESCRIPTION	ISSUE DATE
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PROJECT PROJECT NO. 13_016

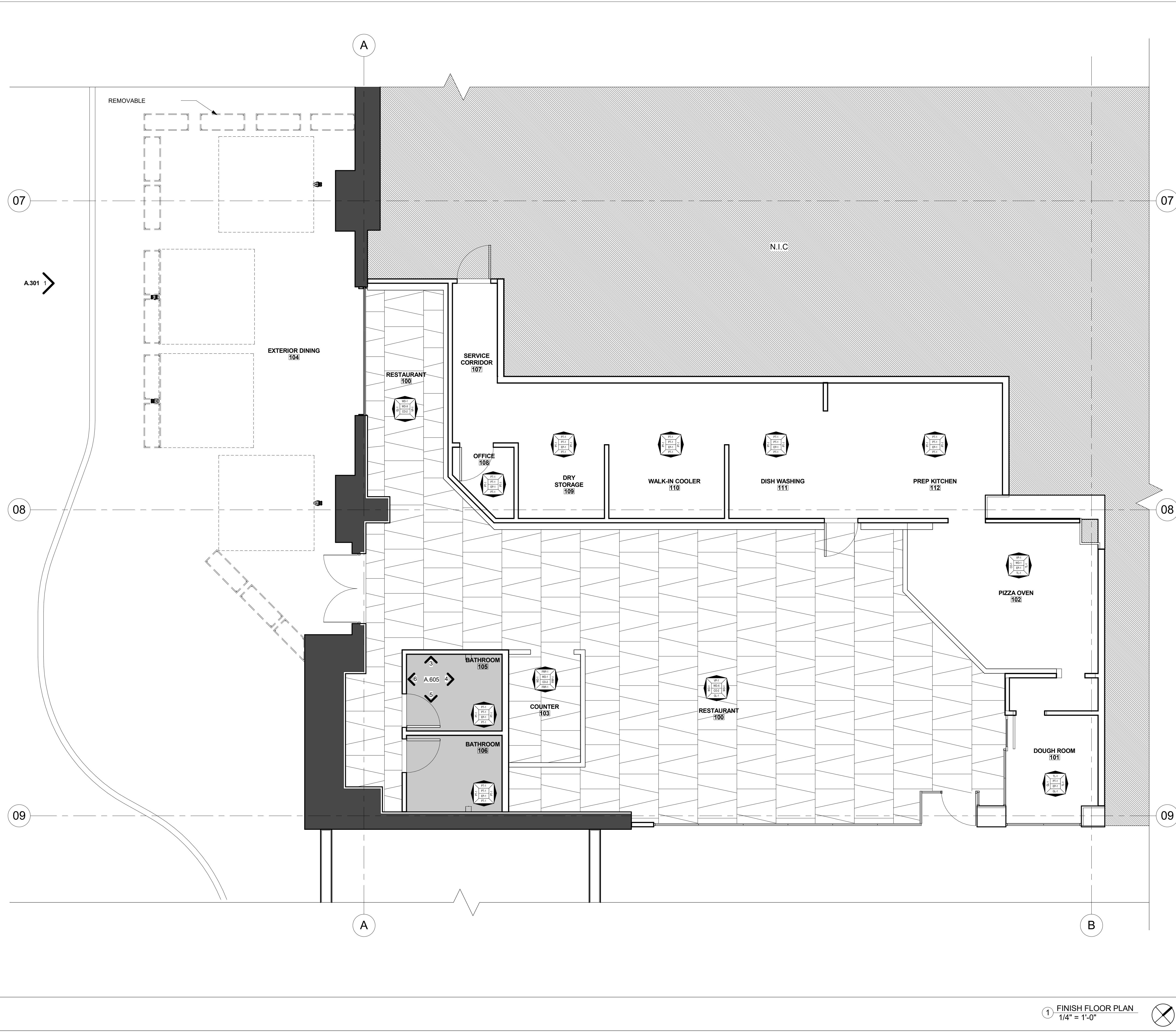
DRAWING TITLE
PARTITION FLOOR PLAN

SCALE: As indicated DRAWING NO.

A.102



1 PARTITION PLAN
 1/4" = 1'-0"



FINISH SCHEDULE			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
WD-1	WOOD	TL-1	WHITE SUBWAY TILE
WD-2	BUTCHER BLOCK	TL-2	YELLOW PENNY TILE - BLACK GROUT
WV-1	WOOD	VP-1	MICRO CEMENT
CO-1	CONCRETE	PB-1	PEGBOARD
CO-2	SCORED	MB-1	MARBLE
ST-1	BLACKENED STEEL	PT-1	WHITE PAINT
ST-2	STAINLESS STEEL	GP-1	GYPSUM BOARD
GL-1	GLASS	FRP-1	FIBRE REINFORCED PLASTIC
LE-1	LEATHER	ACT-1	ACOUSTIC CEILING TILE (BLACK)
EP-1	EPOXY FLOOR		

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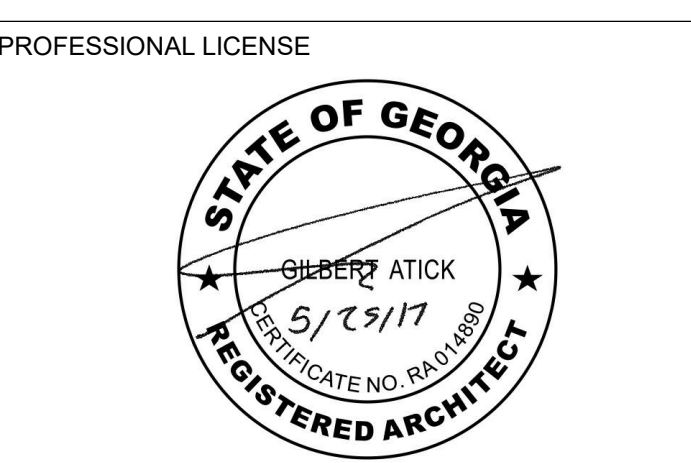
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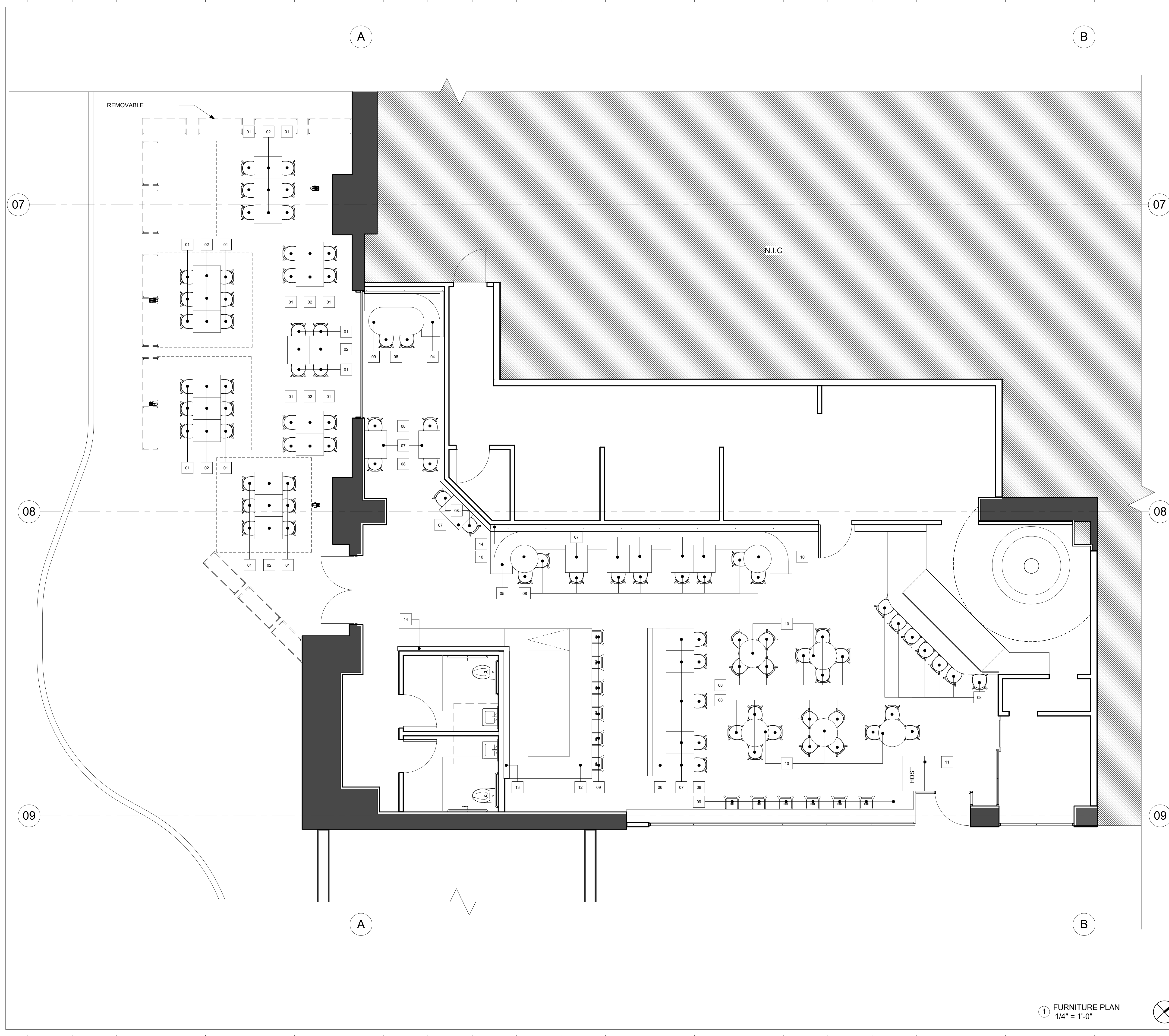
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00	PERMIT	05/25/17

PROJECT PROJECT NO. 13_016

DRAWING TITLE
FINISH FLOOR PLAN

SCALE: 1/4" = 1'-0" DRAWING NO.
A.103

1 FINISH FLOOR PLAN
 1/4" = 1'-0"



FINISH SCHEDULE			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
WD-1	WOOD	TL-1	WHITE SUBWAY TILE
WD-2	BUTCHER BLOCK	TL-2	YELLOW PENNY TILE - BLACK GROUT
WW-1	WOOD	VP-1	MICRO CEMENT
CO-1	CONCRETE	PB-1	PEGBOARD
CO-2	SCORED	MB-1	MARBLE
ST-1	BLACKENED STEEL	PT-1	WHITE PAINT
ST-2	STAINLESS STEEL	GP-1	GYPSUM BOARD
GL-1	GLASS	FRP-1	FIBRE REINFORCED PLASTIC
LE-1	LEATHER	ACT-1	ACOUSTIC CEILING TILE (BLACK)
EP-1	EPOXY FLOOR		

FURNITURE			
TAG	#	DESCRIPTION	MODEL / MATERIAL / COLOR / REMARKS
01	43	CHAIR	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: OUTDOOR USE
02	21	TABLE	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: OUTDOOR USE, RECTANGULAR
03	2	TABLE	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: EXTERIOR, ROUND
04	1	BOOTH	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOORS
05	1	BOOTH	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOORS
06	1	BOOTH	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOORS
07	13	TABLE	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOORS, RECTANGLE
08	49	CHAIR	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOORS
09	13	STOOL	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INTERIOR
10	7	TABLE	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOORS, ROUND
11	1	HOST STATION	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOOR, RECTANGLE
12	1	COUNTER	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS:
13	1	MENU DISPLAY	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS: INDOORS
14	2	SHELVES	MODEL: TBD MATERIAL: TBD COLOR: TBD REMARKS:

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ARCHITECTURE LICENSE REGISTRATION NUMBER
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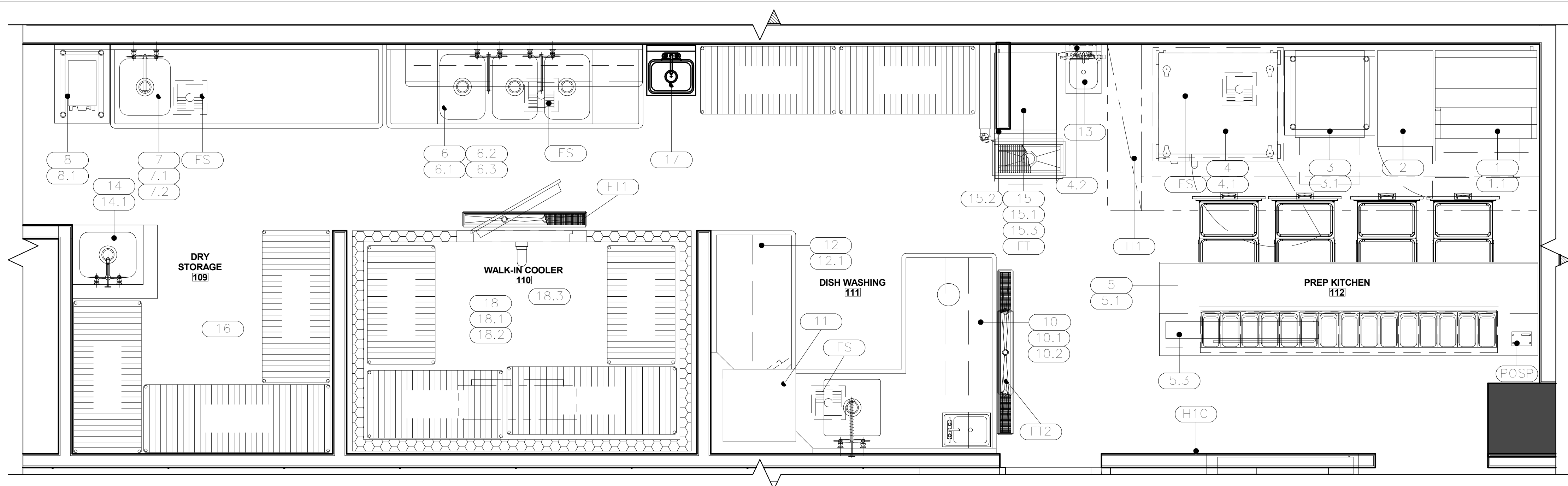
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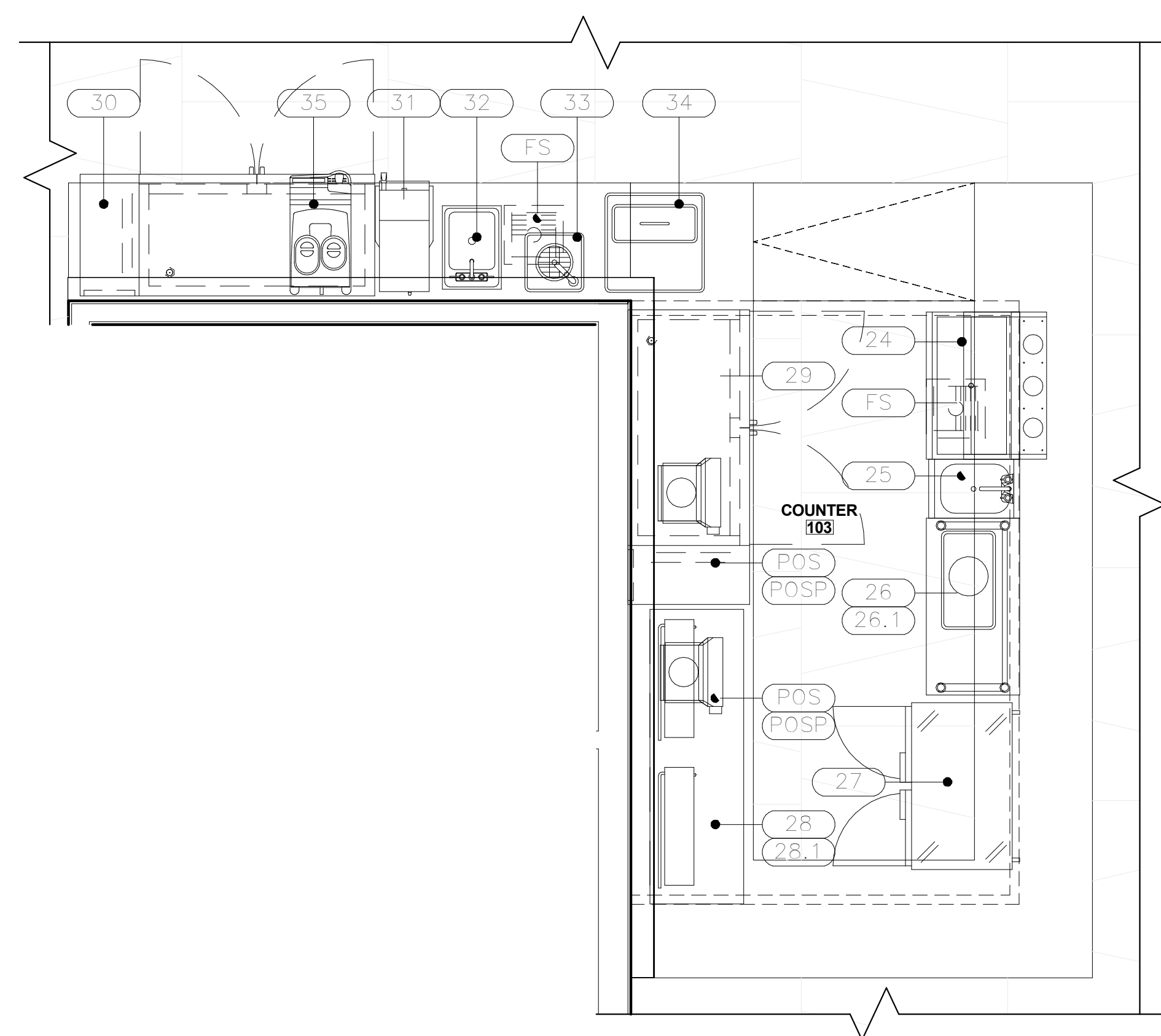
DRAWING TITLE
FURNITURE FLOOR PLAN

SCALE: 1/4" = 1'-0" DRAWING NO.

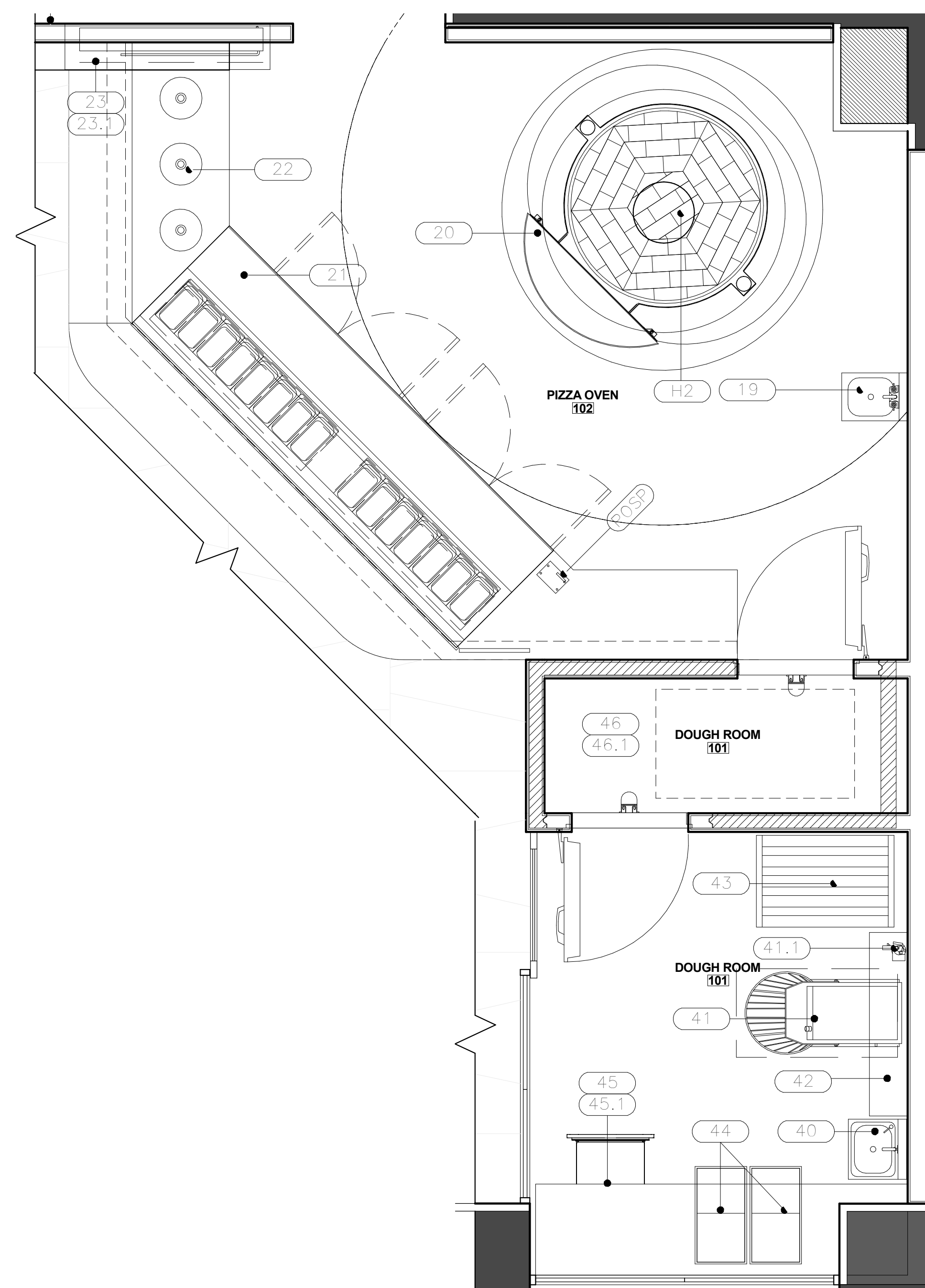
1 FURNITURE PLAN
1/4" = 1'-0"



1 ENLARGED KITCHEN EQUIPMENT PLAN
1/2" = 1'-0"



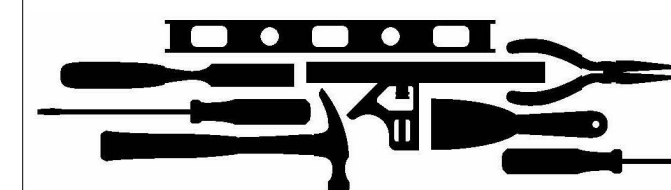
3 ENLARGED COUNTER EQUIPMENT PLAN
1/2" = 1'-0"



2 ENLARGED DOUGH ROOM / PIZZA EQUIPMENT PLAN
1/2" = 1'-0"

EQUIPMENT					
ITEM NO.	QT	EQUIPMENT	MANUFACTURE	MODEL	EQUIPMENT
1	1	Range, Restaurant, Gas	Imperial Range	IR-6	-
1.1	1	Chesemelter, GasChesemelter, Gas	Imperial Range	ICMA-36	-
2	1	Fryer, Deep Fat, Gas	Pfco	SG18	-
3	1	Warmer, Drawer Type	Winston Industries	HB8502	-
3.1	1	Spread table	Custom Stainless	Custom	w/ provision for #3
4	1	Oven-Steamer, Combination, Gas	RATIONAL USA	SCCV6E Q2	2 additional racks - right hinge
-	-	-	-	-	-
4.1	1	Oven-Steamer, Combination, Accessory	RATIONAL USA	Stand UG II Mobile 62/102	-
4.2	1	Filter System, Fountain Beverage	Hoshizaki America	H-9320-S2	-
5	1	Refrigerator, Salad Prep w/ Hand Sink	La Rosa	Custom	Remote Refrigeration
5.1	1	Double Over Shelf	La Rosa	Custom	-
5.2	1	Condensing unit for above	Copeland	FJAMA100-CPVTC	-
6	1	Sink, NSF, 3 comp, 16 gauge	Custom Stainless	Custom	-
6.1	1	Pot Rack Shelf, Wall Mount	Custom Stainless	Custom	-
6.2	1	Wall Shelf	Custom Stainless	Custom	-
6.3	2	Faucet, Wall Mount	Krowne Metal	14-812L	-
7	1	Work Table with sink	Custom Stainless	Custom	With Sink Stainless Cover
7.1	1	Wall Shelf, Double	Custom Stainless	Custom	-
7.2	1	Faucet, Wall Mount	Krowne Metal	14-812L	-
8	1	Power Drive, for Grinder or Slicer	Univex	PM91G	Only Grater Attachment needed
8.1	1	Work Table with Casters	Custom Stainless	Custom	-
10	1	Solied Dishtable, L Shape	Custom Stainless	Custom	With Hand Sink
10.1	1	Dishtable, Sorting Shelf	Custom Stainless	Custom	-
10.2	1	Pre-Rinse Faucet, Wall Mount	Krowne Metal	17-108WL	-
11	1	Warewasher, Door Type, Low Temp	CMA Dishmachines	C	-
12	1	Clean Dish Table	Custom Stainless	Custom	-
12.1	2	Shelf, Wall Mount	Advance Tabco	WS-12-36	-
13	1	Sink, Hand, Wall Mount	Krowne Metal	HS-9L	-
14	1	Sink, Mop	Advance Tabco	9-OP-40	-
14.1	1	Faucet, Service Sink	Krowne Metal	16-127	-
15	1	Ice Maker w/ Bin	Hoshizaki America	KM-515MAH	-
15.1	1	Bin, Ice	Hoshizaki America	B-300PF	-
15.2	1	Filter System, Fountain Beverage	Hoshizaki America	9320-11	-
15.3	1	Floor Trough	Advanced Tabco	FFTG-1224	-
16	LOT	Varies	Storloc	Shelving Units	-
18	1	Walk in Cooler	Arctic	Custom	Verify with Cooler Fabricator
18.1	1	Evaporator for Above	Russel	AA26-87BAE	Verify with Cooler Fabricator
18.2	1	Condensing Unit for Above	Russel	RFH100E44-D	Verify with Cooler Fabricator
18.3	LOT	Varies	Storloc	Shelving Units	5 Shelves - 84" Post
19	1	Sink, Hand, Wall Mount	Krowne Metal	HS-9L	-
20	1	Oven, Stone Hearth, Gas-Fired	Morra Forni	R150G	-
21	1	Refrigerator, Salad Prep	La Rosa	L131120	-
22	3	Heat Lamp, Decorative	Itatco	DL-750-RL	-
23	1	Double Pass Shelve	Custom Stainless	Custom	-
23.1	1	Warmer, Food Overhead	Itatco	GRAH-46	-
24	1	Underbar Ice Chest	Krowne Metal	KR18-30DP	-
25	1	Underbar HandSink	Krowne Metal	18-1C	-
26	1	Worktable w/ Cutout	Custom Stainless	Custom	-
26.1	1	Trash Can	Custom	Custom	-
27	1	Refrigerator, Undercounter, Compact	Beverage-Air	UCR34Y	-
28	1	Cabinet w/ Sliding Doors	Custom Stainless	Custom Heated Cabinet	Open on Server Side Only
28.1	2	Warmer, Food in Cabinet	Itatco	GRAH-24	-
29	1	Back Bar Equipment	Perlick	BB560"-L	-
30	1	Back Bar Equipment	Perlick	BB560"-R	-
31	1	Coffee / Tea Maker	Bun-O-Matic	35700.0001	-
32	1	Sink, Drop-In	Glastender	DI-HS12	-
33	1	Drop-in, Water Station	Defield	307	-
34	1	Drop-in, Ice Station	Defield	203	-
35	1	Espresso Machines, Super Automatic	Bun-O-Matic	46400.0036	-
40	1	Sink, Hand, Pedestal Base	Krowne Metal	HS-14	-
41	1	Mixer, Spiral	Doyon	AEF035	-
41.1	1	Water Meter	Water	Meter	-
42	2	Wall Shelf	Custom Stainless	Custom	-
43	1	Rack, Dunnage	Channel Manufacturing	HD2436	-
44	2	Bin, Ingredient Stainless	GSW USA	DN-FB100	-
45	1	Work Table w/ 18" Drawer	Custom Stainless	Custom	-
45.1	1	Table Top Wood	John Boos	RTM-2496	-
46	1	Walk in Cooler	Arctic	-	-
46.1	1	Condensing / Evaporator	Russel	XN078MA44D	-
FS	6	Floor Drain	Advance Tabco	FDR-1212	-
FT	1	Floor Trough	Advance Tabco	FFTG-1224	-
FT1	1	Floor Trough	Zum	Z886	-
FT2	1	Floor Trough	Zum	Z886	-
H1	1	Exhaust Hood System	Captive Air	5424 ND-2-PSP-F	-
H1.1	1	Exhaust Fan	Captive Air	USB11BDHP-RM	-
H1.2	1	Supply Fan	Captive Air	A1-G10	-
H1C	1	Control Panel Exhaust Hood System	Captive Air	Custom	-
H2	1	Exhaust Hood System	Captive Air	Custom	-
H2.1	1	Exhaust Fan	Captive Air	USB11BDHP-RM	-
POS	3	POS Terminal	-	-	-
POSP	3	POS Terminal	-	-	-
POSP	2	POS Printer	TBA	TBA	-

4 KITCHEN EQUIPMENT SCHEDULE
1/4" = 1'-0"



McKENZIE CONSTRUCTION, LLC
2247 NW 17 AVENUE
MIAMI, FL 33142
P. 786.412.7341

ARCHITECTURE LICENSE REGISTRATION NUMBER
GILBERT ATICK GA CERTIFICATE #RA014890

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HARRY'S PIZZERIA ATLANTA

3500 PEACHTREE ROAD
ATLANTA, GA 30305 - SPACE # 1096B

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ISSUE NO. DESCRIPTION ISSUE DATE

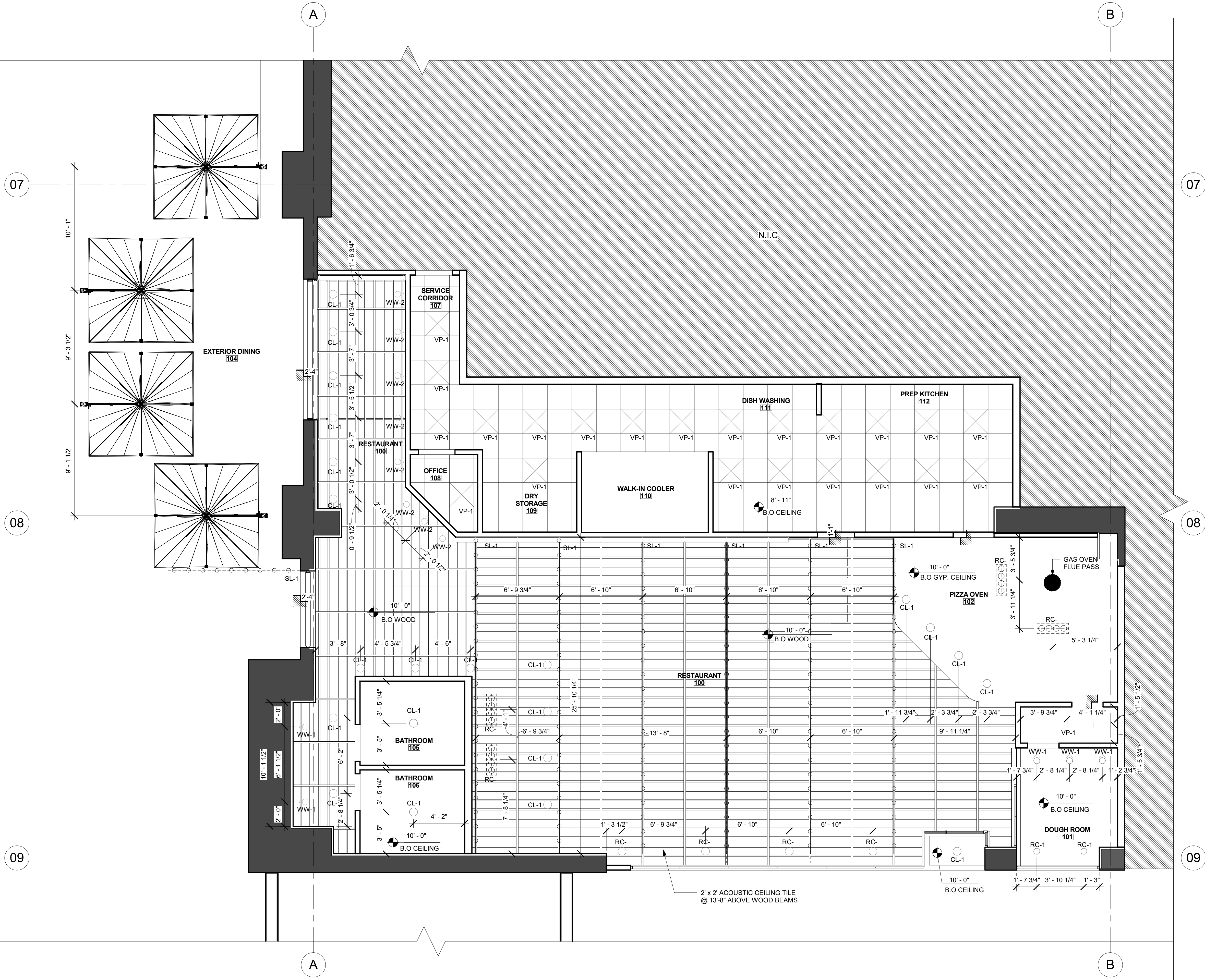
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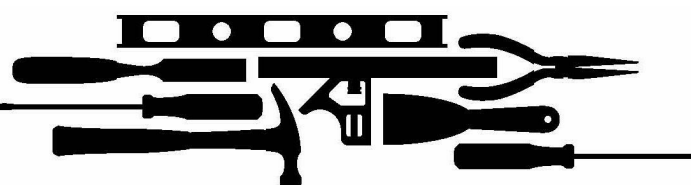
DRAWING TITLE
ENLARGED EQUIPMENT PLANS

SCALE: As indicated DRAWING NO.

A.105



LIGHTING SCHEDULE	
ITEM	DESCRIPTION
CL-01	800 TO 5500 LUMEN 6" LED CYLINDER TYPE: HYPERBOLIC/PARABOLIC/WALLWASH OPEN APERTURE LC6X SERIES
RC-01	800 TO 9000 LUMEN 6" LED SILENT CEILING DOWNLIGHT TYPE: HYPERBOLIC OPEN APERTURE L6 SERIES
RC-02	800 TO 9000 LUMEN 8" LED SILENT CEILING DOWNLIGHT TYPE: HYPERBOLIC OPEN APERTURE L8 SERIES
RC-03	
WW-01	800 TO 2800 LUMEN 4" LED CYLINDER TYPE: HYPERBOLIC/PARABOLIC/WALLWASH OPEN APERTURE LC4X SERIES
WW-02	800 TO 2800 LUMEN 4" LED CYLINDER TYPE: HYPERBOLIC/PARABOLIC/WALLWASH OPEN APERTURE LC4X SERIES
VP-01	LOW-PROFILE ENCLOSED AND GASKETED INDUSTRIAL FEM LED TYPE: CEILING/ SUSPENDED MOUNT
SL-01	2-WIRE COMMERCIAL GRADE LIGHT STRING TYPE: 120V AC, 60Hz



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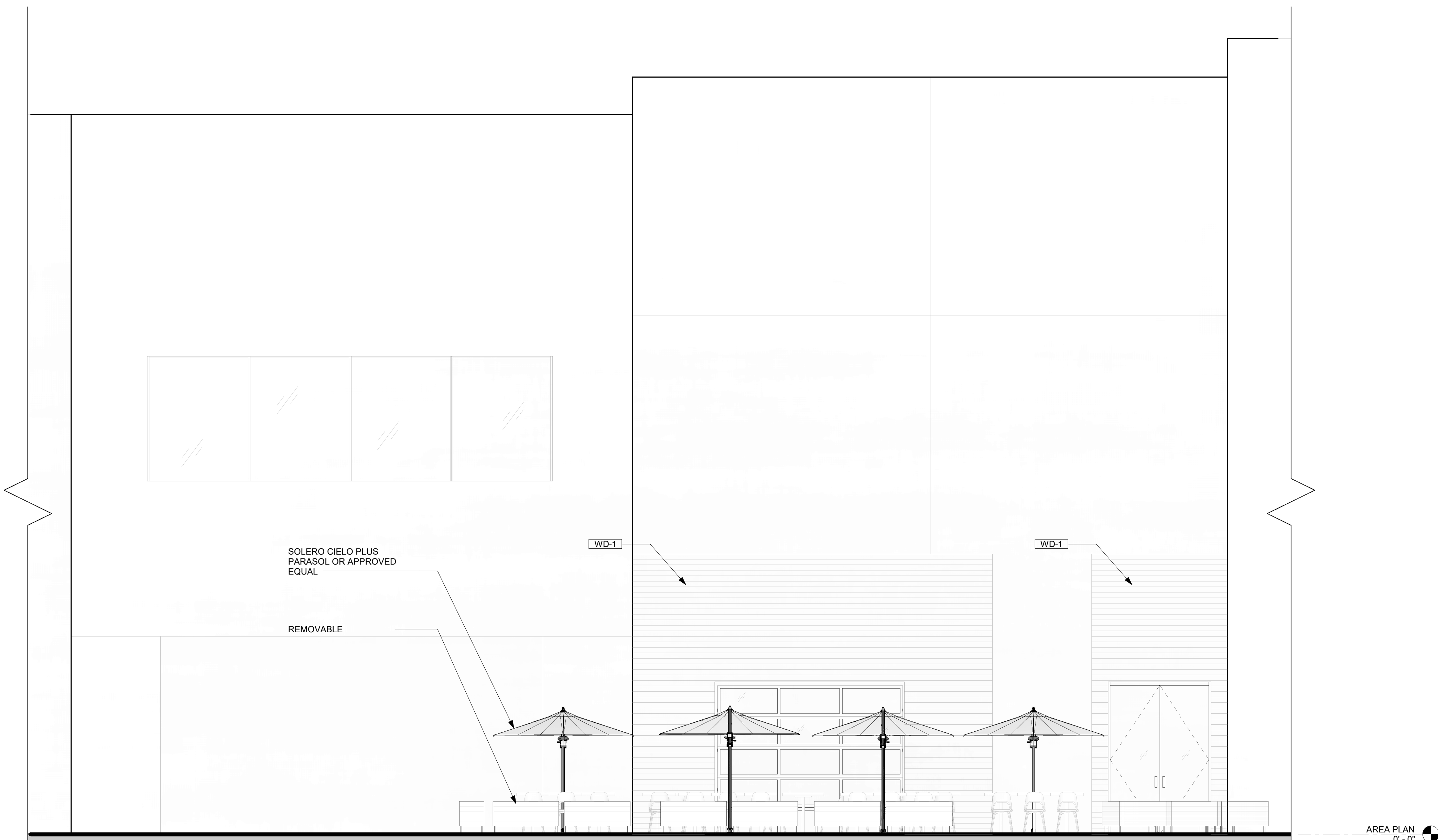
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DRAWING TITLE
**REFLECTED
 CEILING PLAN**

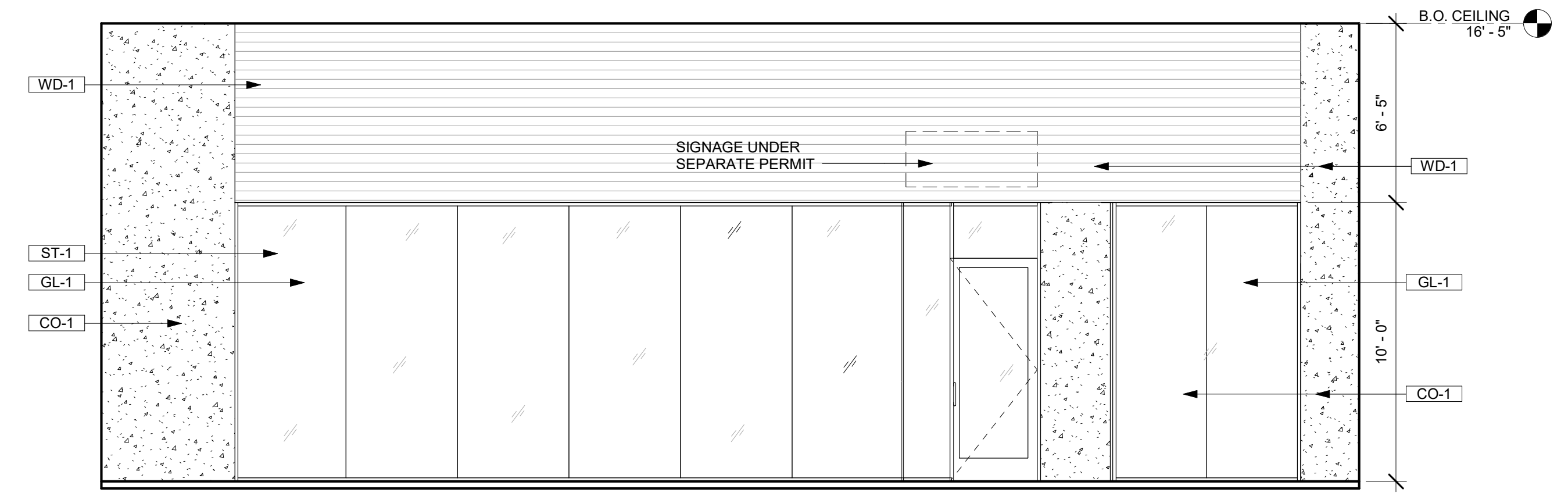
SCALE: As indicated DRAWING NO.

A.201

1 REFLECTED CEILING PLAN
 1/4" = 1'-0"

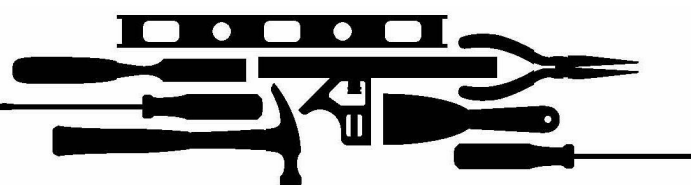


1 EXTERIOR ELEVATION
1/4" = 1'-0"



2 INTERIOR MALL ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
WD-1	WOOD	TL-1	WHITE SUBWAY TILE
WD-2	BUTCHER BLOCK	TL-2	YELLOW PENNY TILE - BLACK GROUT
WD-V-1	WOOD	VP-1	MICRO CEMENT
CO-1	CONCRETE	PB-1	PEGBOARD
CO-2	SCORED	MB-1	MARBLE
ST-1	BLACKENED STEEL	PT-1	WHITE PAINT
ST-2	STAINLESS STEEL	GP-1	GYPSUM BOARD
GL-1	GLASS	FRP-1	FIBRE REINFORCED PLASTIC
LE-1	LEATHER	ACT-1	ACOUSTIC CEILING TILE (BLACK)
EP-1	EPOXY FLOOR		



McKENZIE CONSTRUCTION, LLC
2247 NW 17 AVENUE
MIAMI, FL 33142
P. 786.412.7341

ARCHITECTURE LICENSE REGISTRATION NUMBER
GILBERT ATICK GA CERTIFICATE #RA014890

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MEPF
WESTSIDE ENGINEERING LLC
5525 INTERSTATE NORTH PARKWAY SUITE 200.
ATLANTA, GA 30328
P. 404.965.1287

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HARRY'S PIZZERIA ATLANTA

3500 PEACHTREE ROAD
ATLANTA, GA 30305 - SPACE # 1098B

PROFESSIONAL LICENSE



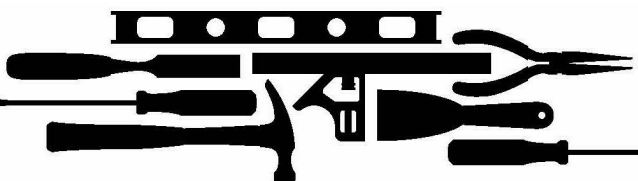
ISSUE NO.	DESCRIPTION	ISSUE DATE
00	PERMIT	05/25/17

PROJECT PROJECT NO. 13_016

DRAWING TITLE
EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0" DRAWING NO.

A.301



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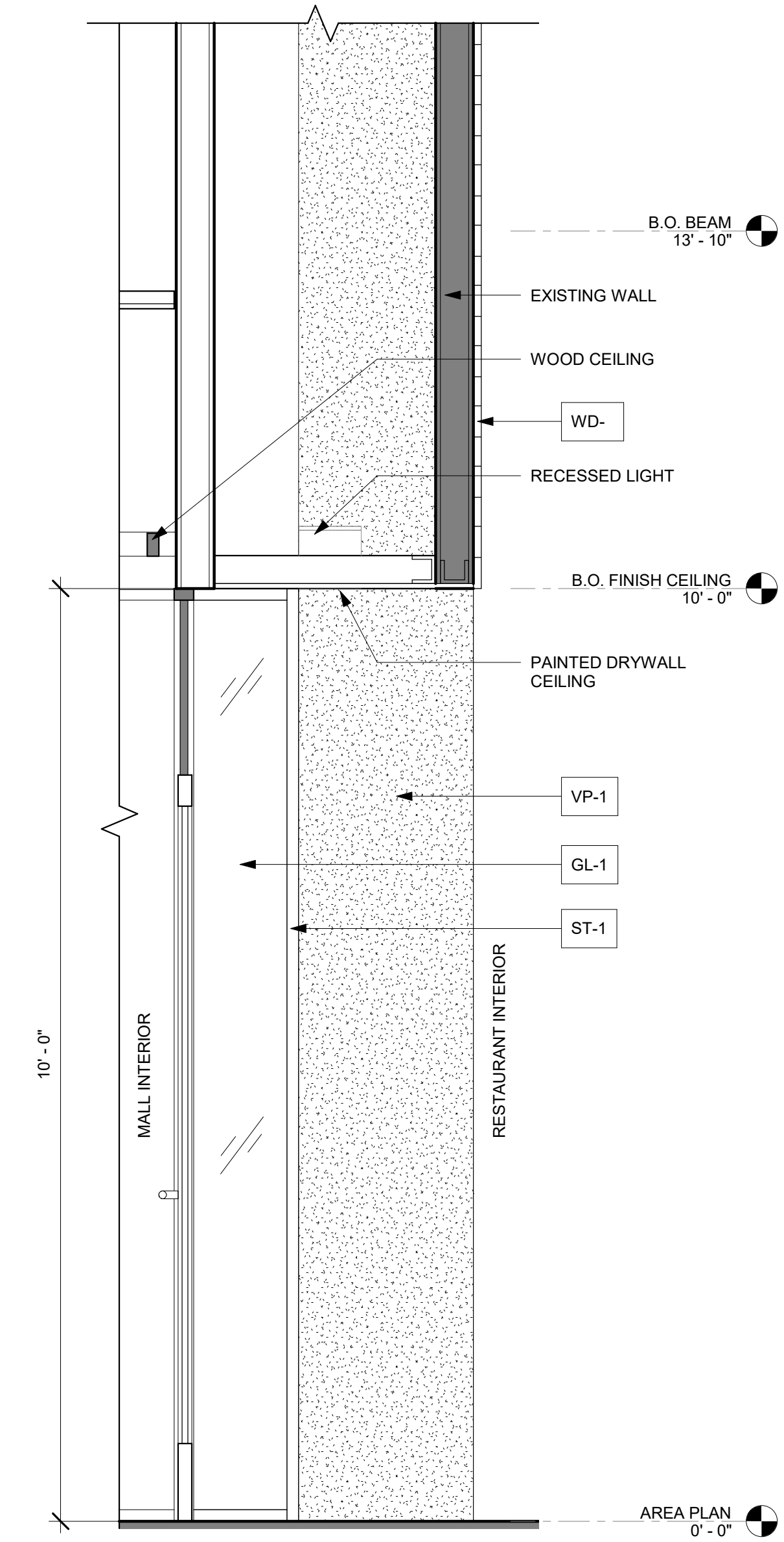
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① ENTRANCE BLOW UP DETAIL
 3/4" = 1'-0"

PROFESSIONAL LICENSE



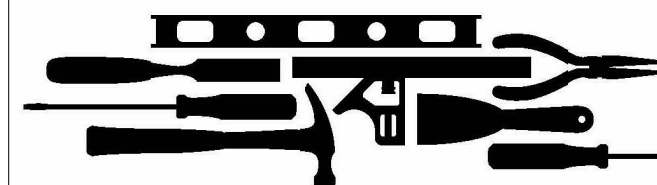
ISSUE NO.	DESCRIPTION	ISSUE DATE
00	PERMIT	05/25/17

PROJECT PROJECT NO. 13_016

DRAWING TITLE
WALL SECTIONS

SCALE: 3/4" = 1'-0" DRAWING NO.

A.501



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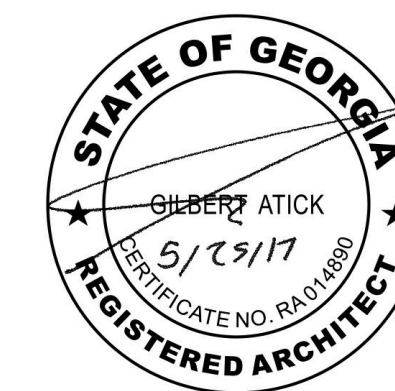
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ISSUE NO. DESCRIPTION ISSUE DATE

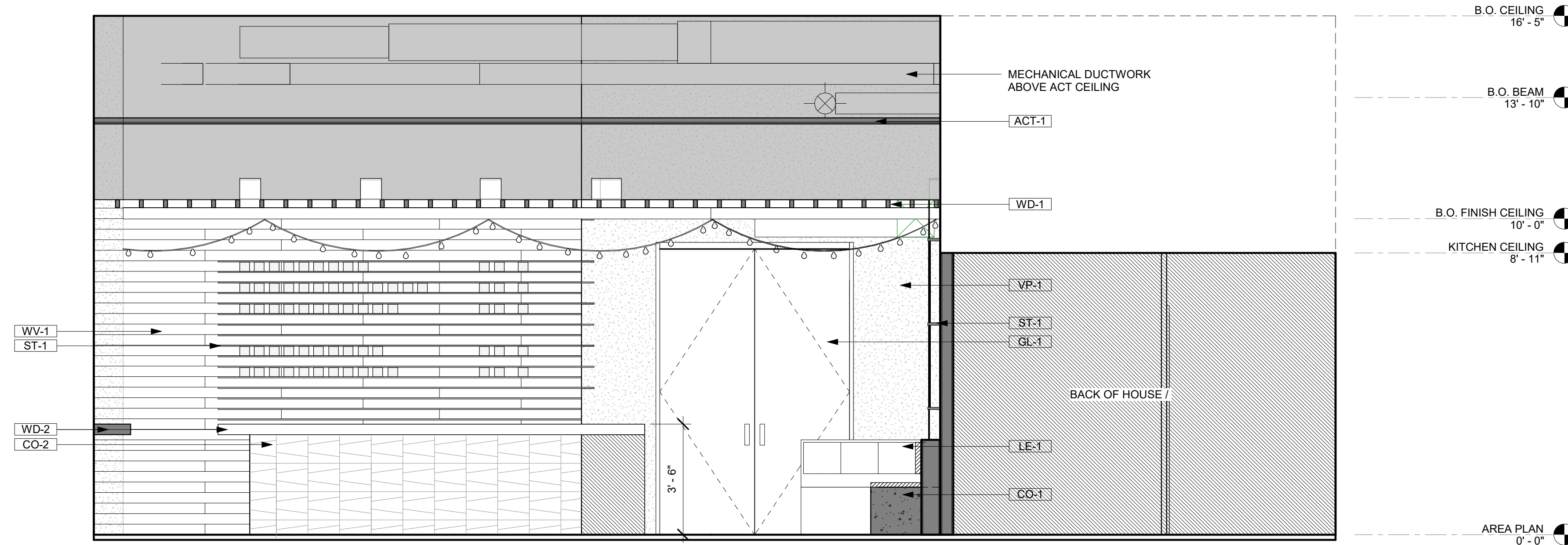
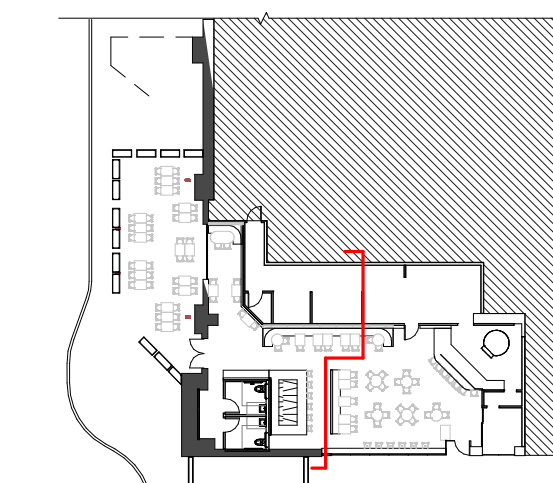
ISSUE NO.	DESCRIPTION	ISSUE DATE
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PROJECT PROJECT NO. 13_016

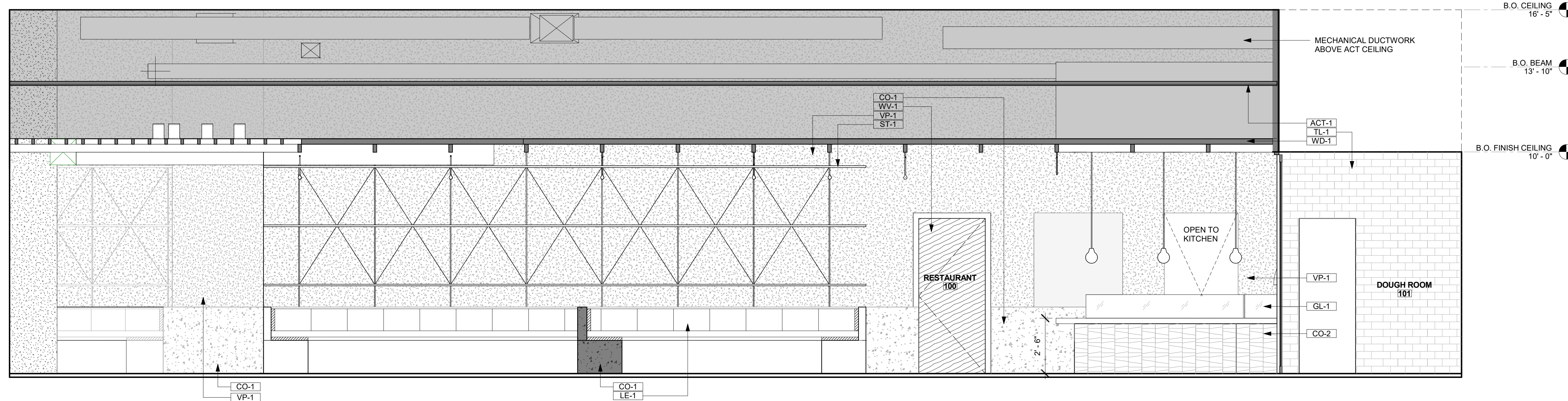
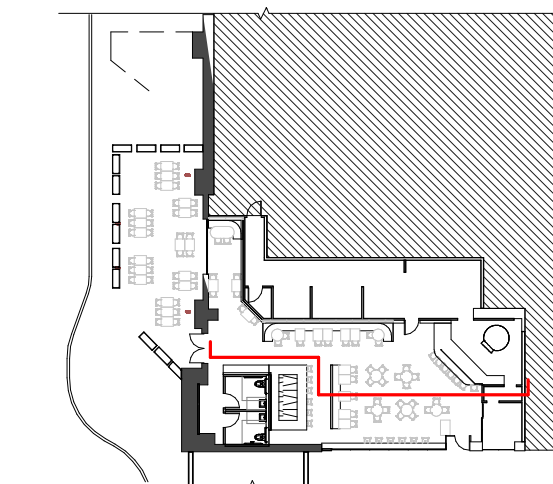
DRAWING TITLE
INTERIOR ELEVATIONS

SCALE: As indicated DRAWING NO.

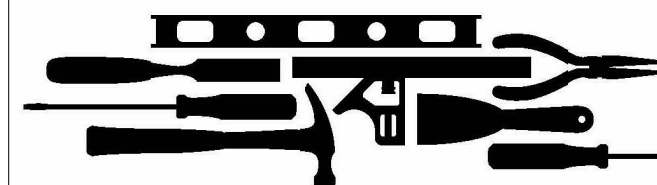
A.601



① INTERIOR ELEVATION 4
 3/8" = 1'-0"



③ INTERIOR ELEVATION 1
 3/8" = 1'-0"



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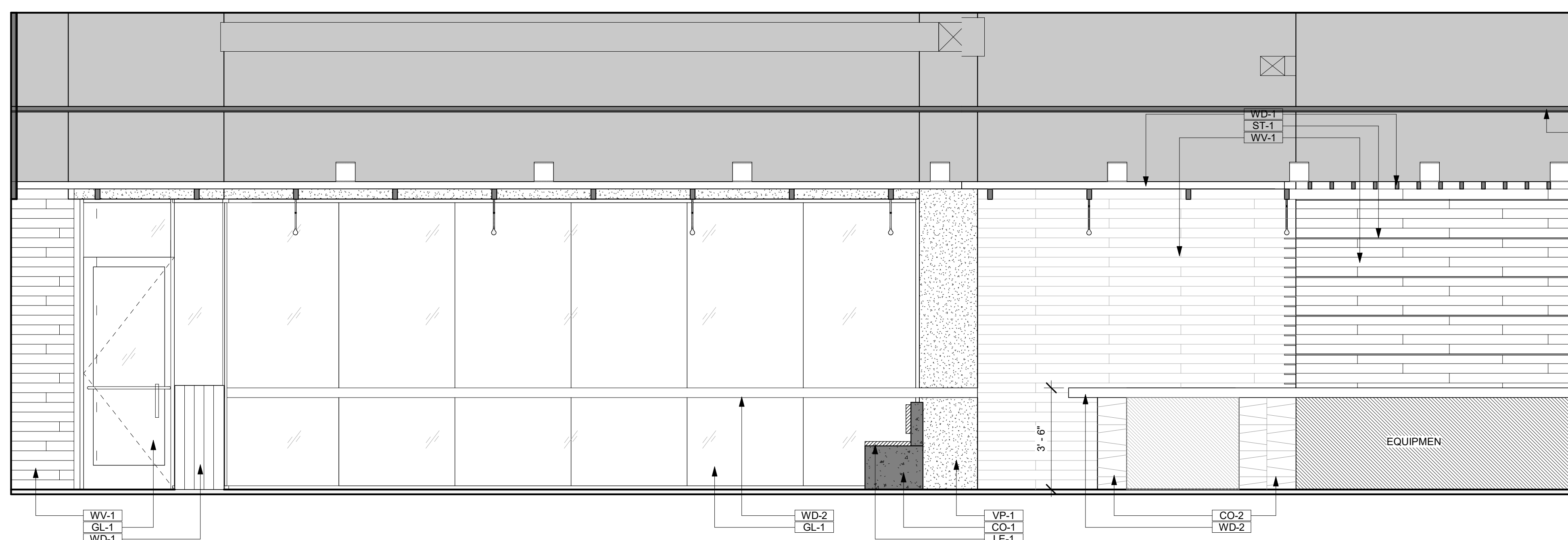
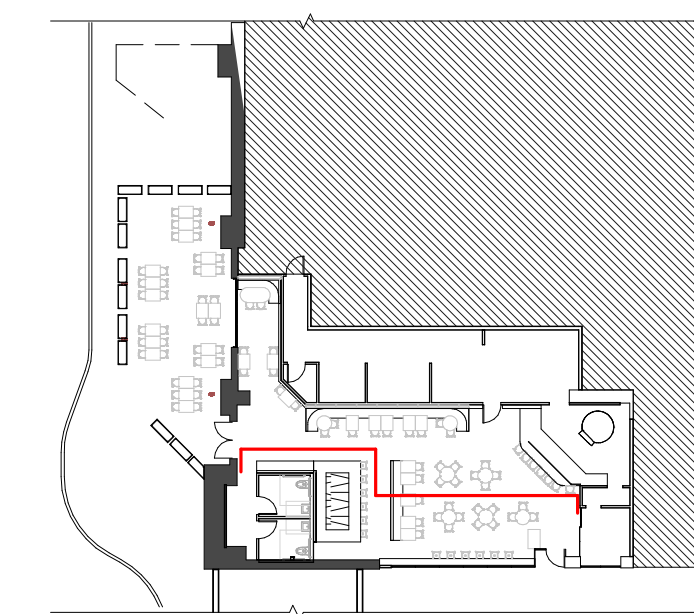
ARCHITECTURE LICENSE REGISTRATION NUMBER
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B.O. CEILING 16'-5"

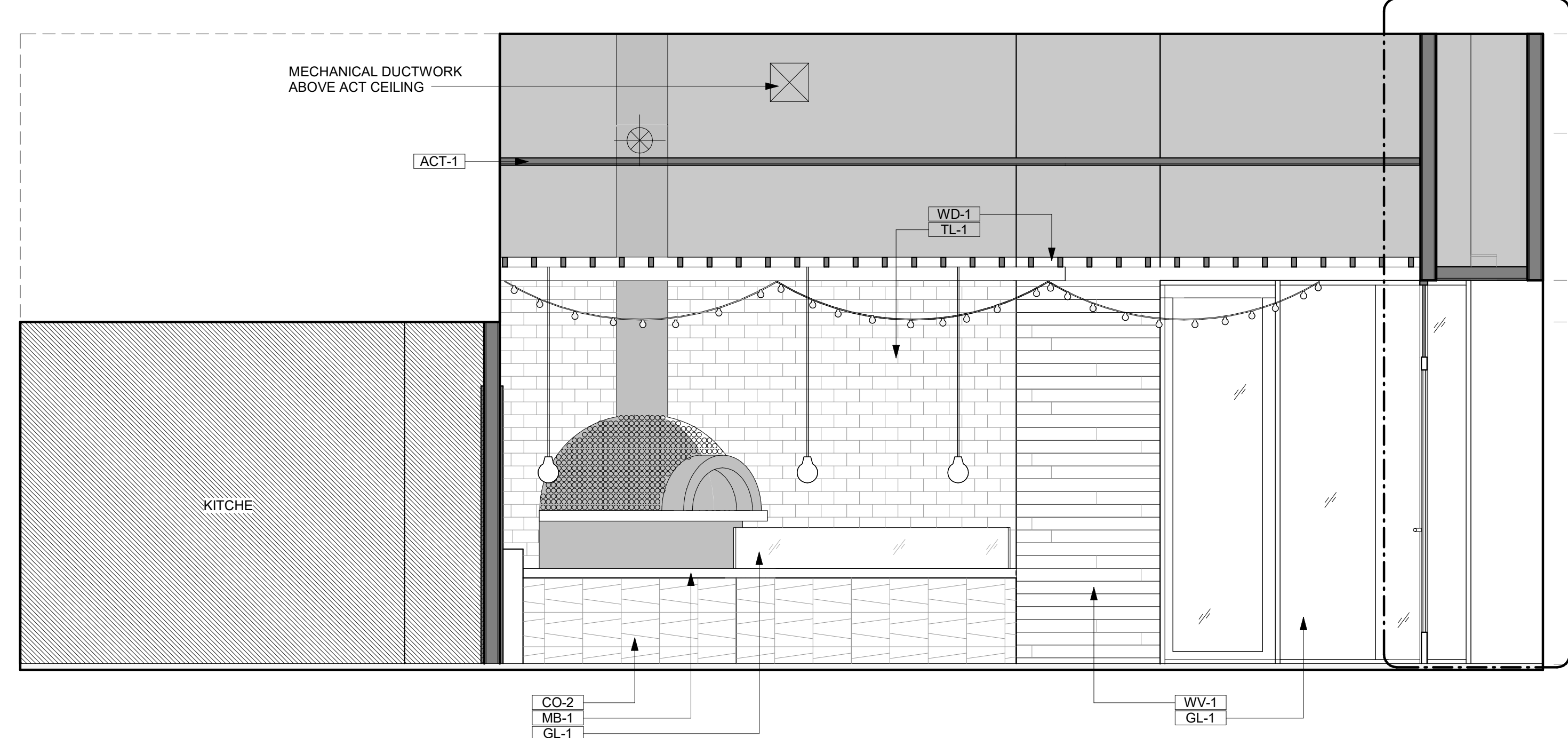
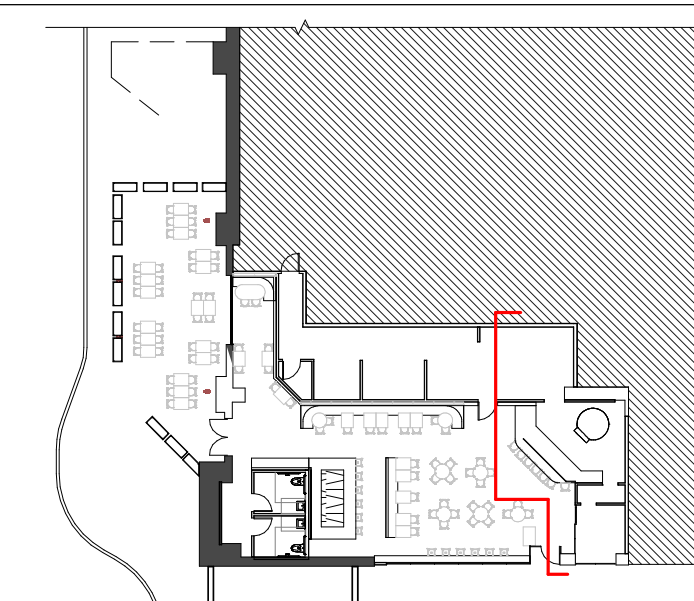
B.O. BEAM 13'-10"

ACT-1

B.O. FINISH CEILING 10'-0"

AREA PLAN 0'-0"

1 INTERIOR ELEVATION 3
 3/8" = 1'-0"



B.O. CEILING 16'-5"

1 A.501

B.O. BEAM 13'-10"

B.O. FINISH CEILING 10'-0"

KITCHEN CEILING 8'-11"

AREA PLAN 0'-0"

3 INTERIOR ELEVATION 2
 3/8" = 1'-0"

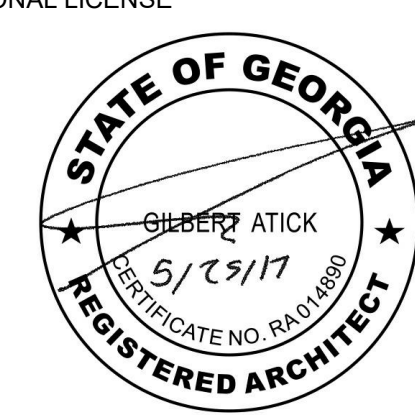
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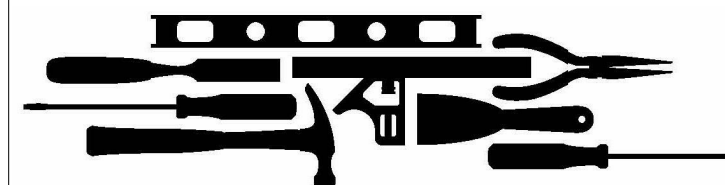
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PROJECT PROJECT NO. 13_016

DRAWING TITLE
INTERIOR ELEVATIONS

SCALE: As indicated DRAWING NO.

A.602



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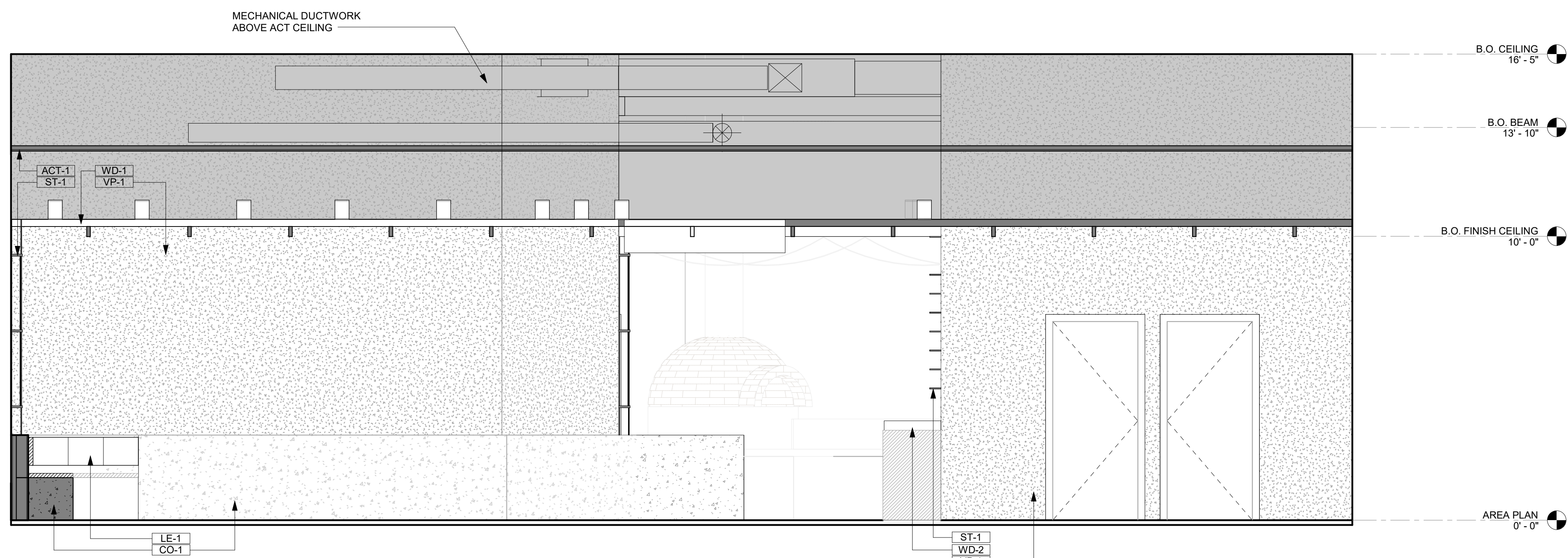
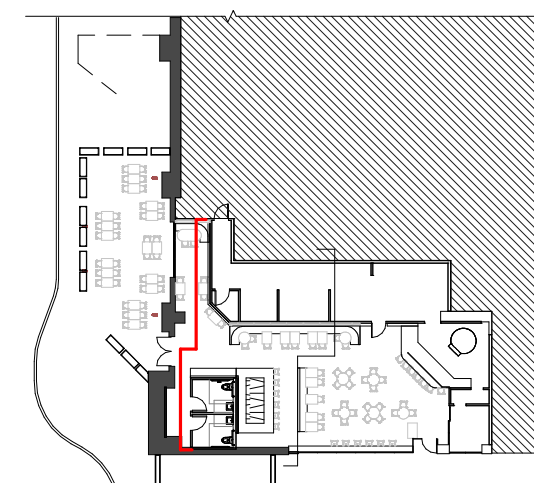


ISSUE NO.	DESCRIPTION	ISSUE DATE
00	PERMIT	05/25/17
PROJECT	PROJECT NO.	13_016

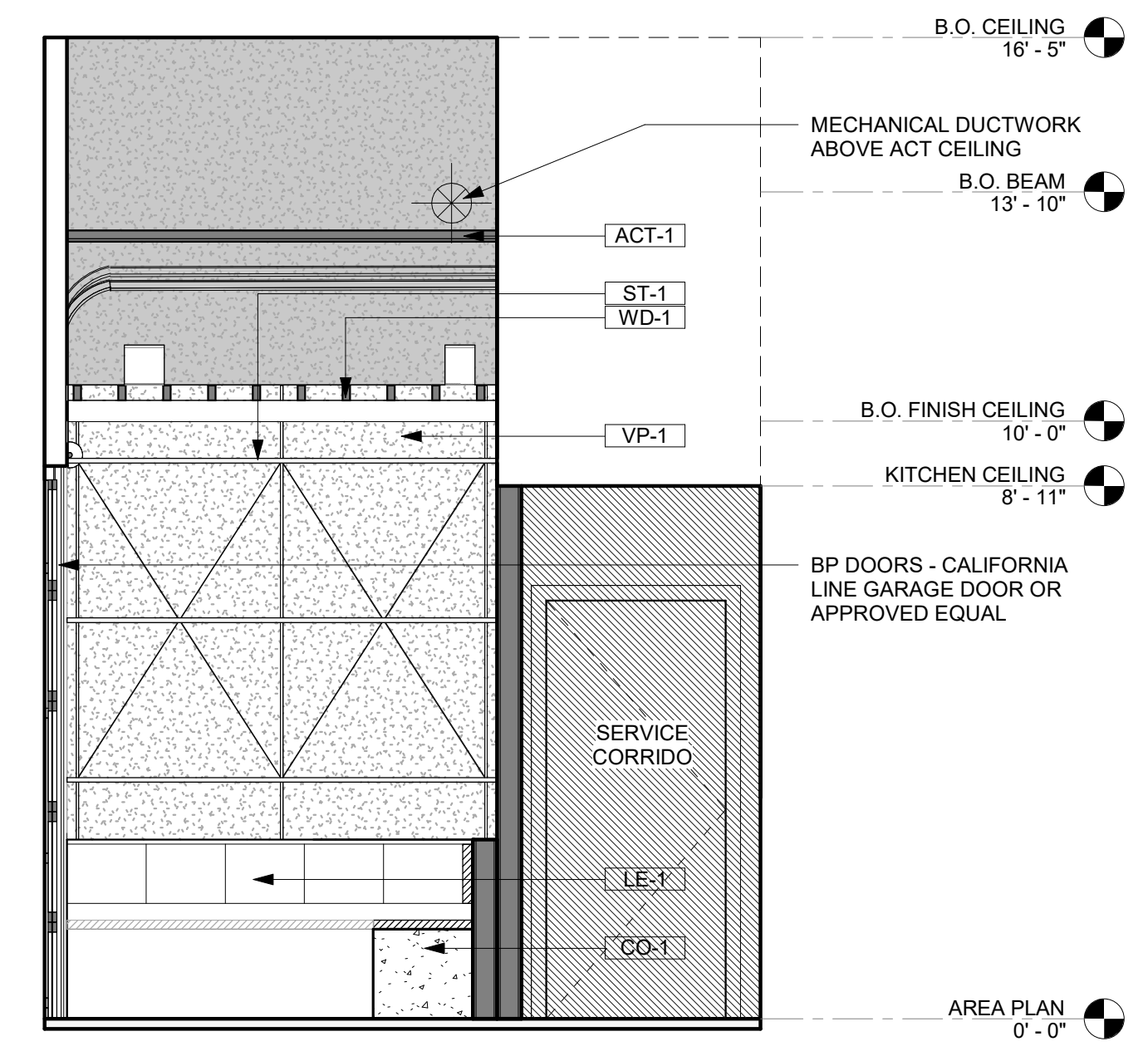
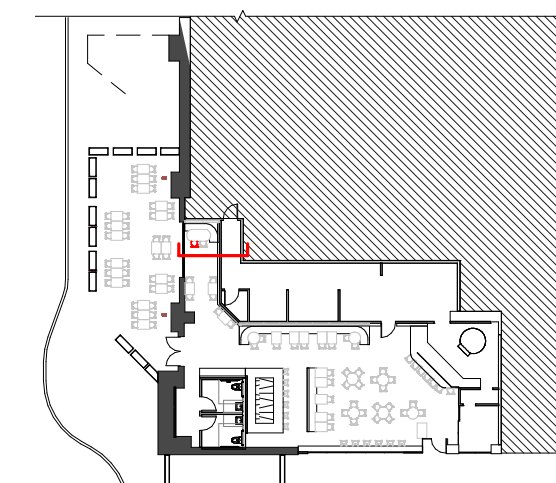
DRAWING TITLE
INTERIOR ELEVATIONS

SCALE: As indicated DRAWING NO.

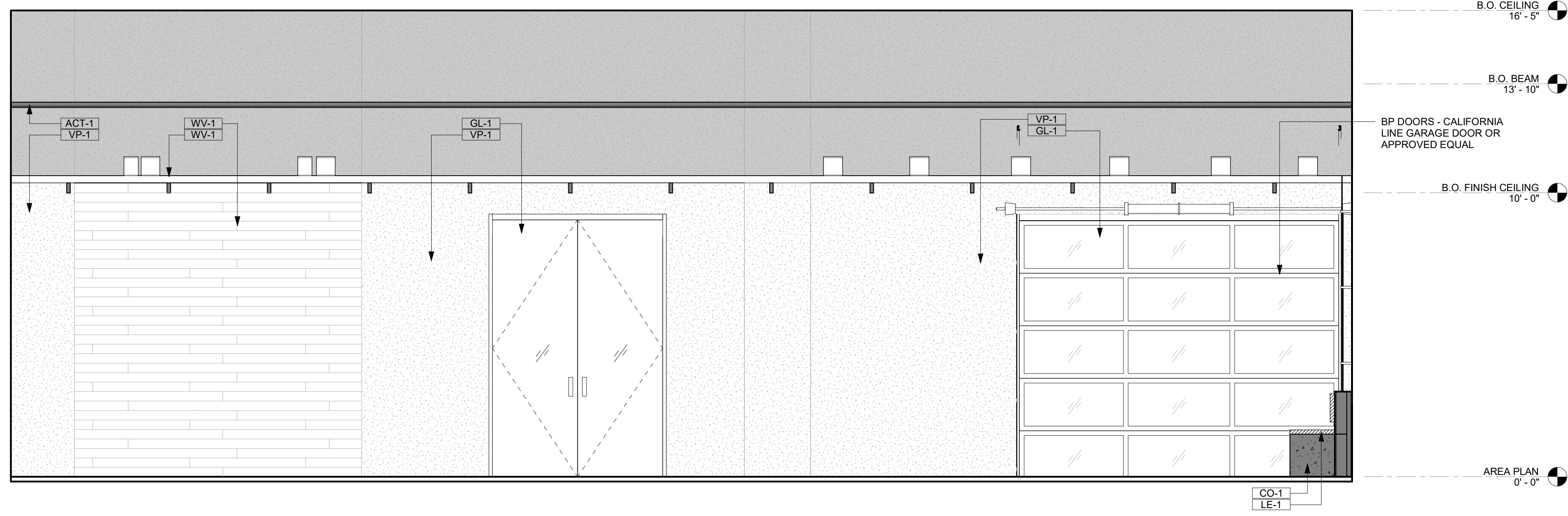
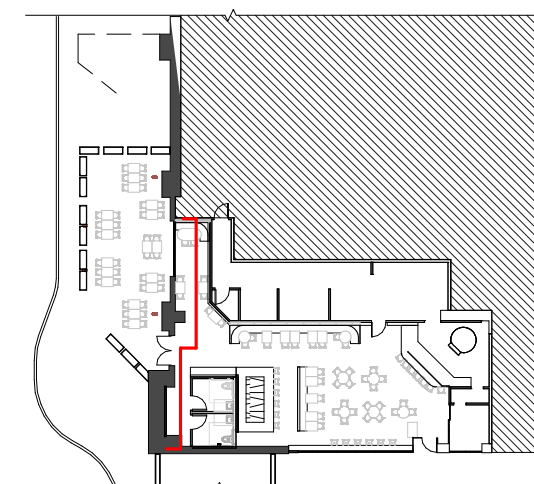
A.603



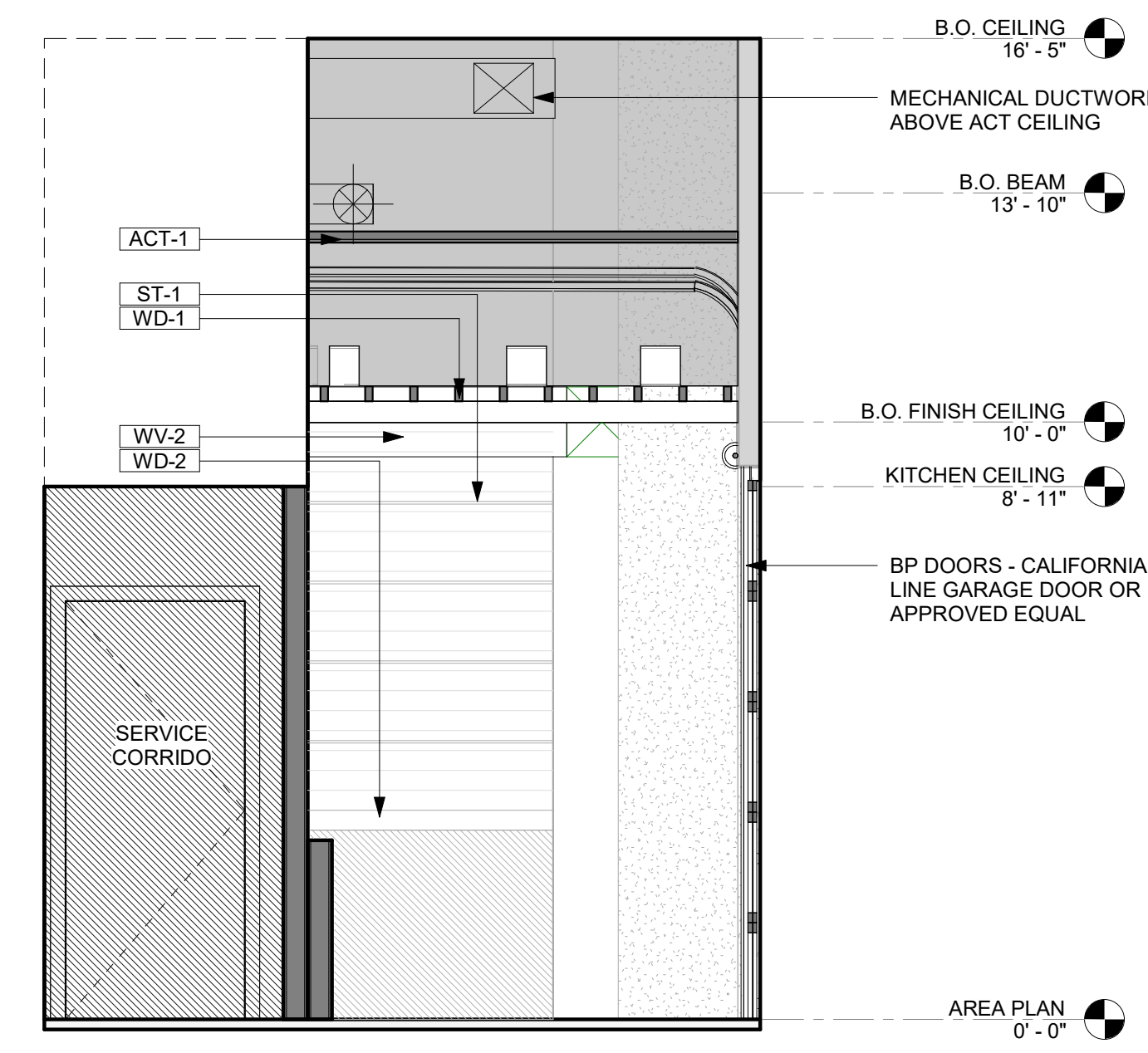
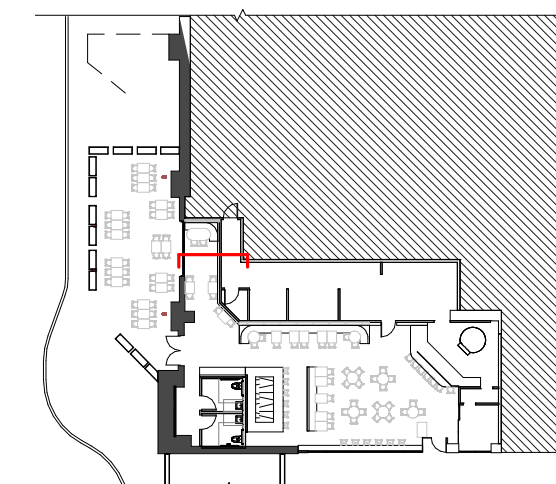
1 INTERIOR ELEVATION 5
 3/8" = 1'-0"



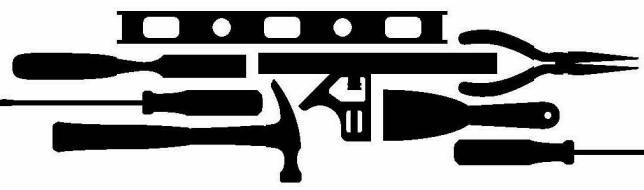
4 INTERIOR ELEVATION 8
 3/8" = 1'-0"



3 INTERIOR ELEVATION 7
 3/8" = 1'-0"



2 INTERIOR ELEVATION 6
 3/8" = 1'-0"



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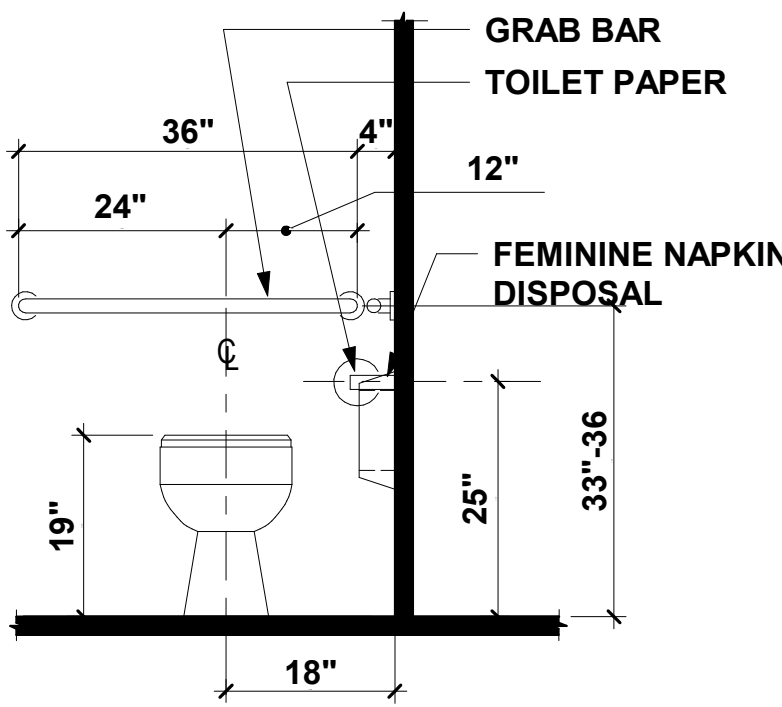
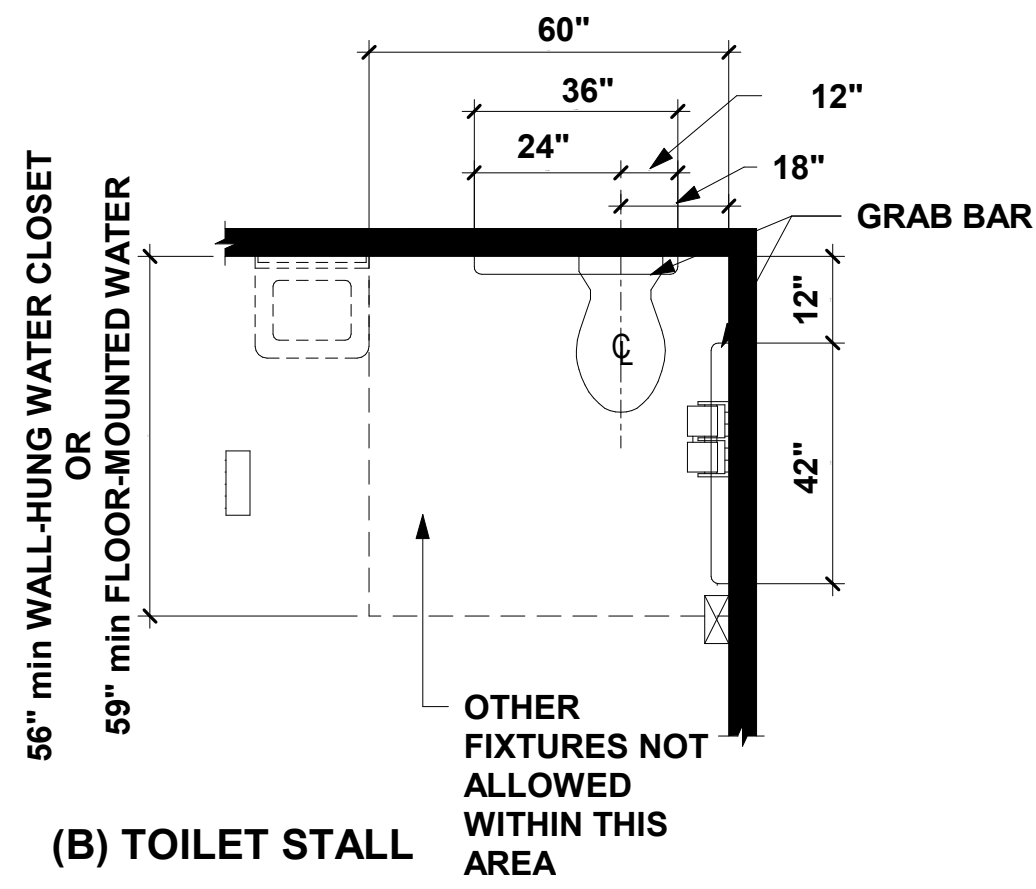
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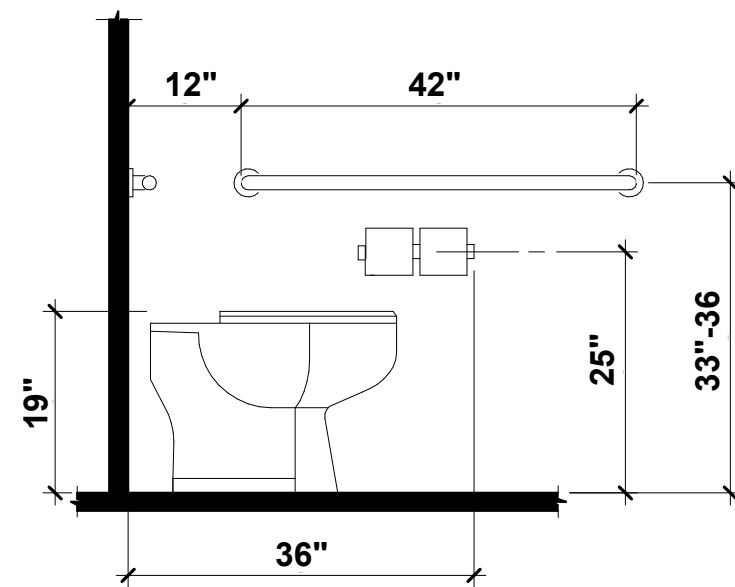
DRAWING TITLE
**RESTROOMS
 ENLARGED PLAN**

SCALE: As indicated DRAWING NO.

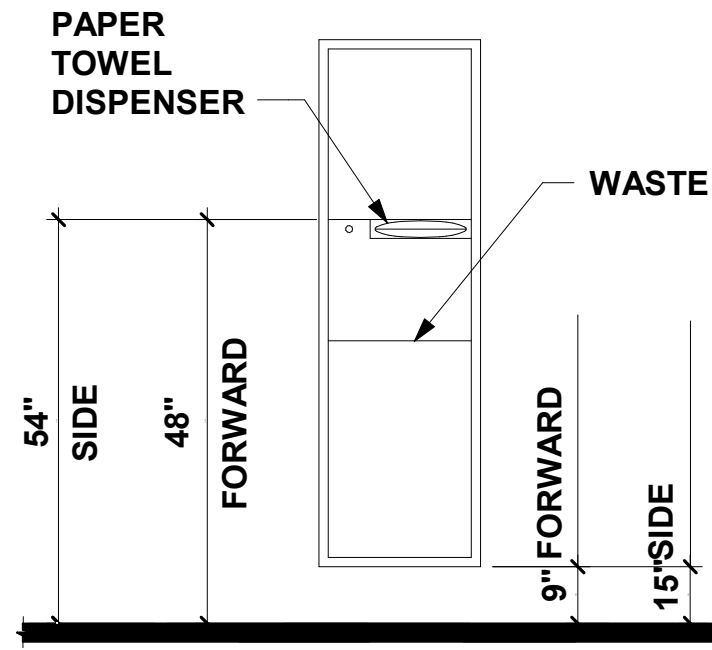
A.605



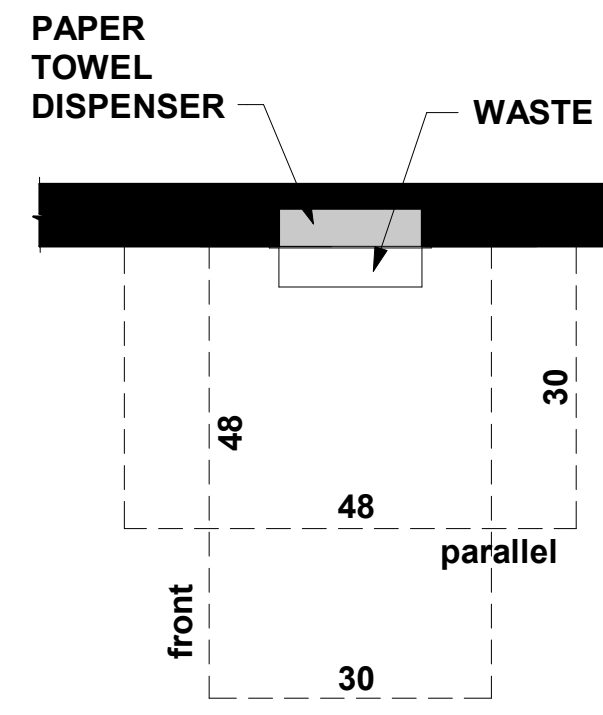
(a) Front Elevation



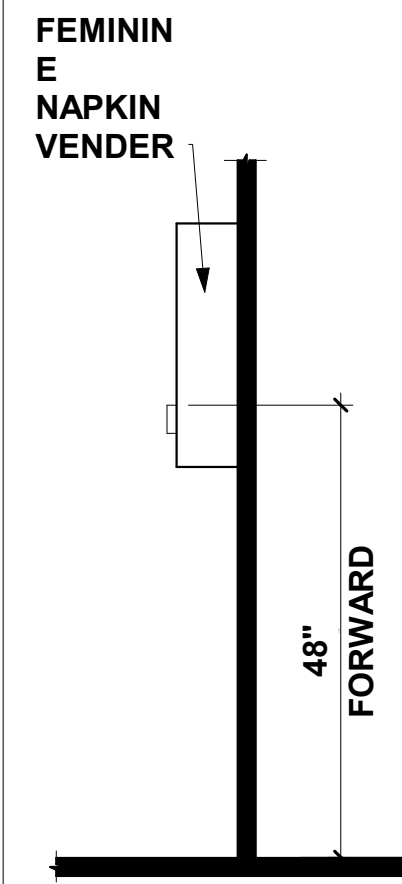
(b) Side Elevation



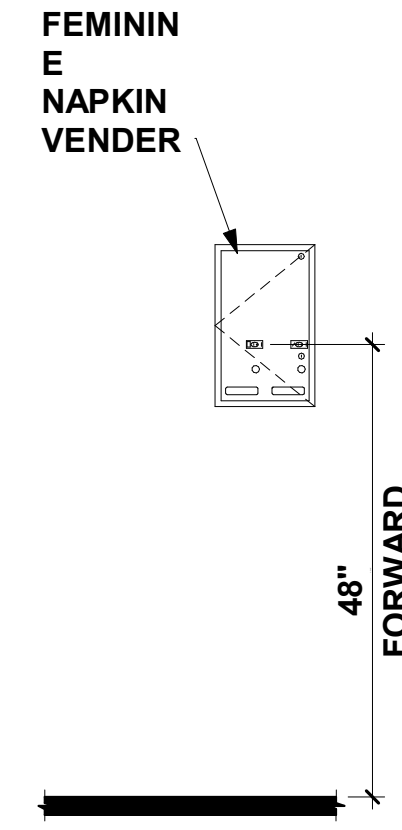
(a) Elevation



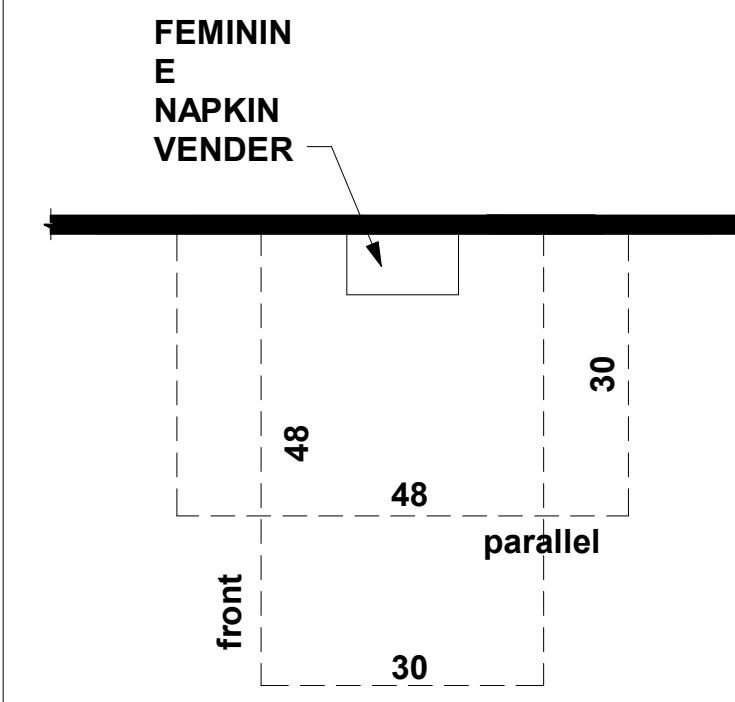
(b) Plan



(a) Profile



(b) Elevation



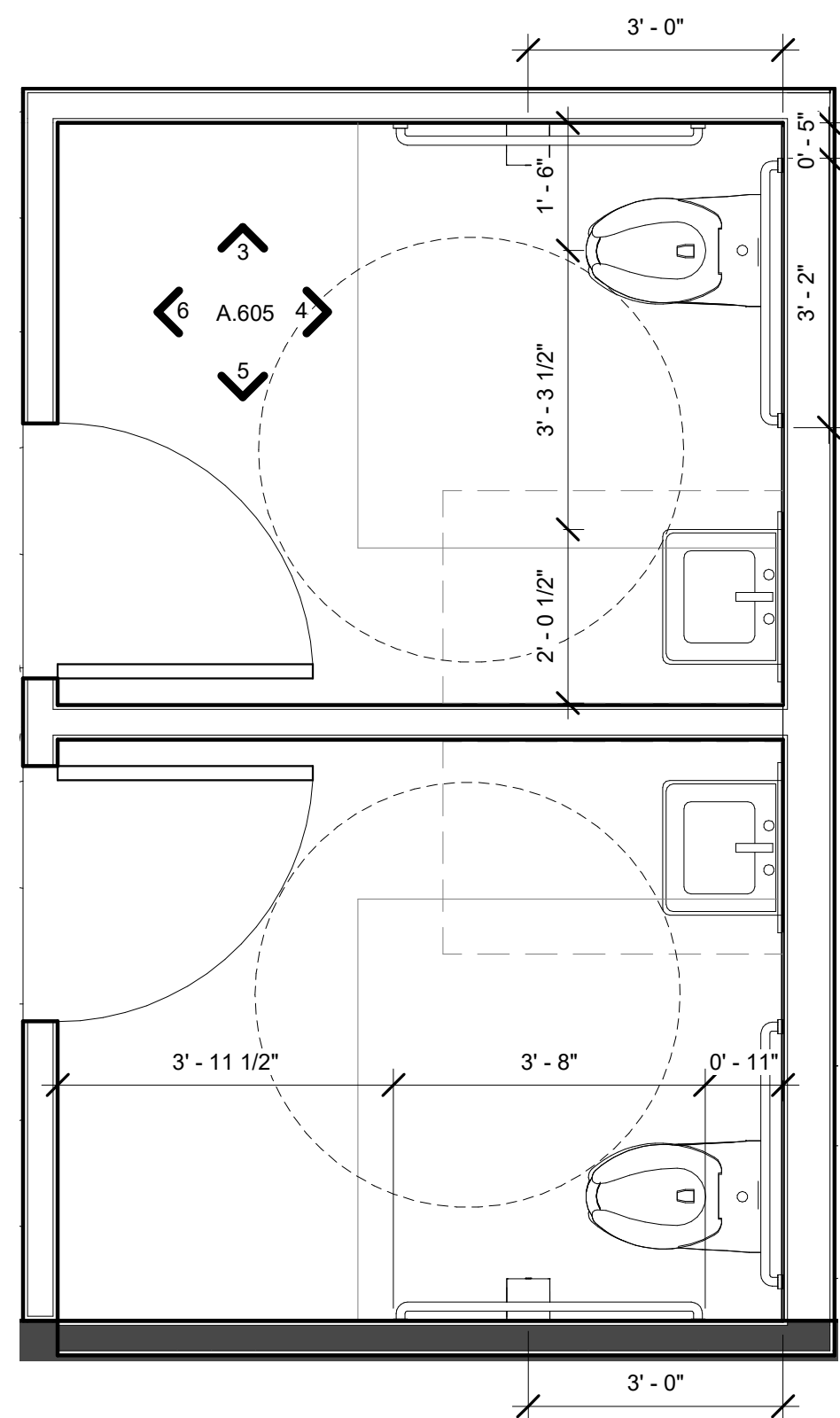
(c) Plan

A2 604 WATER CLOSETS & TOILET COMPARTMENTS

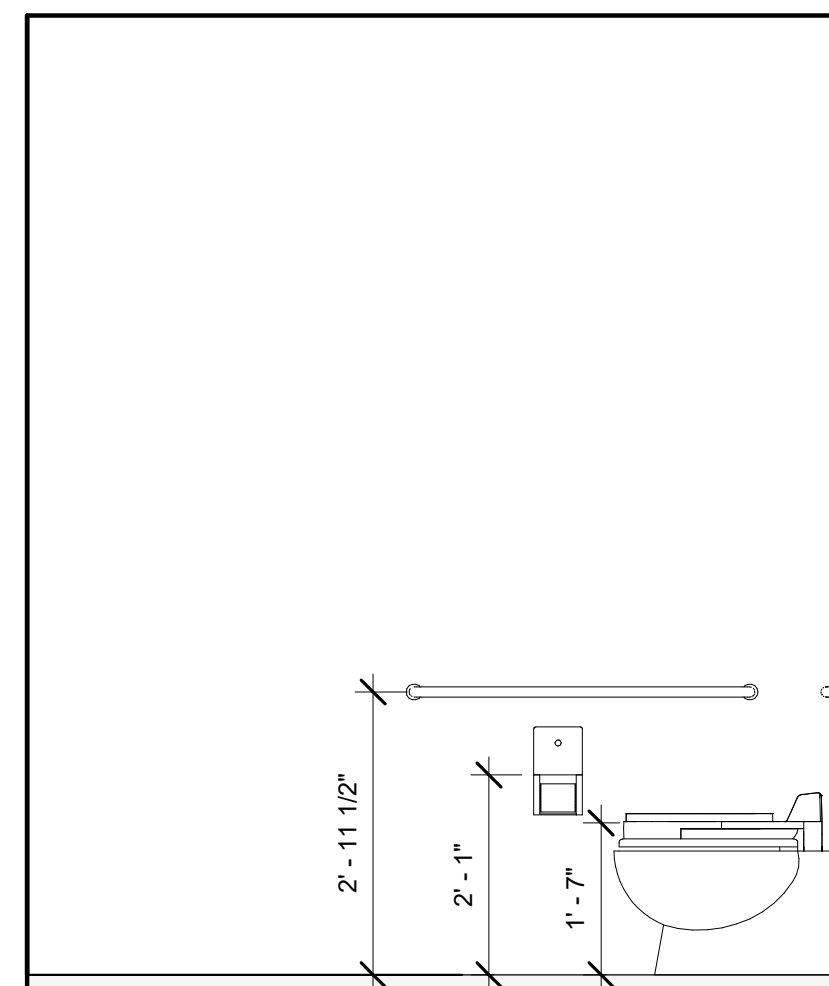
A1 604 WATER CLOSETS & TOILET COMPARTMENTS

A2 PAPER TOWEL DISPENSER & WASTE DISPOSAL

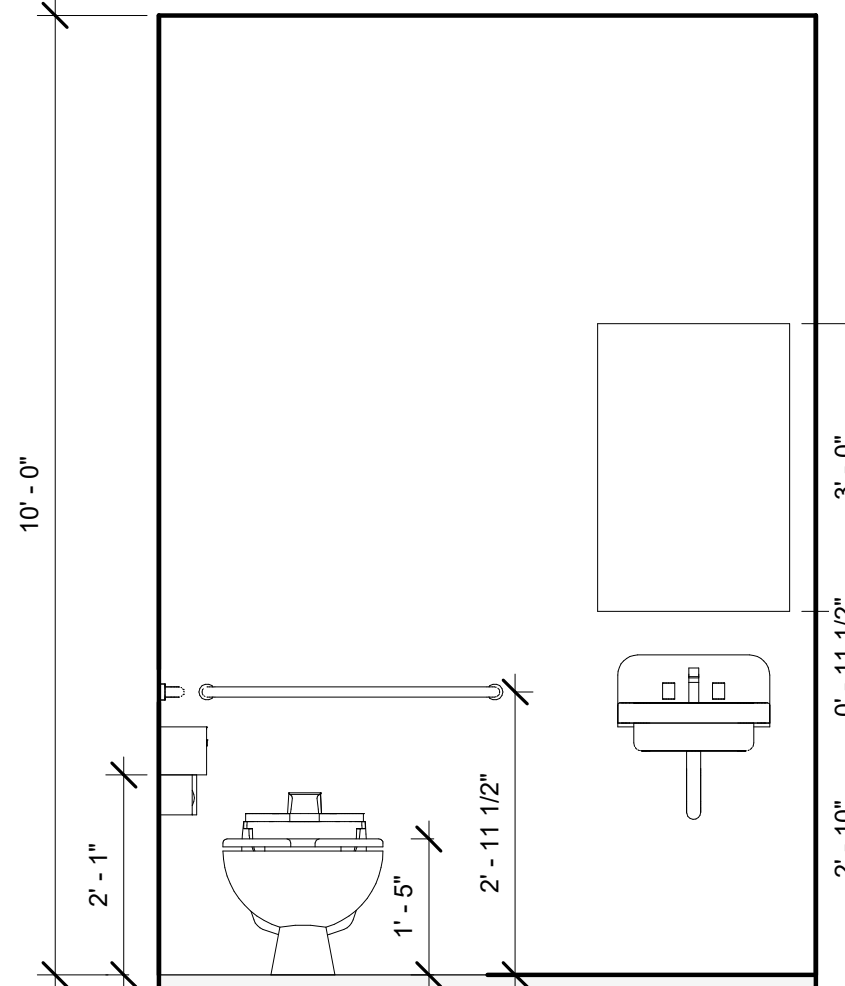
A3 FEMININE NAPKIN VENDER



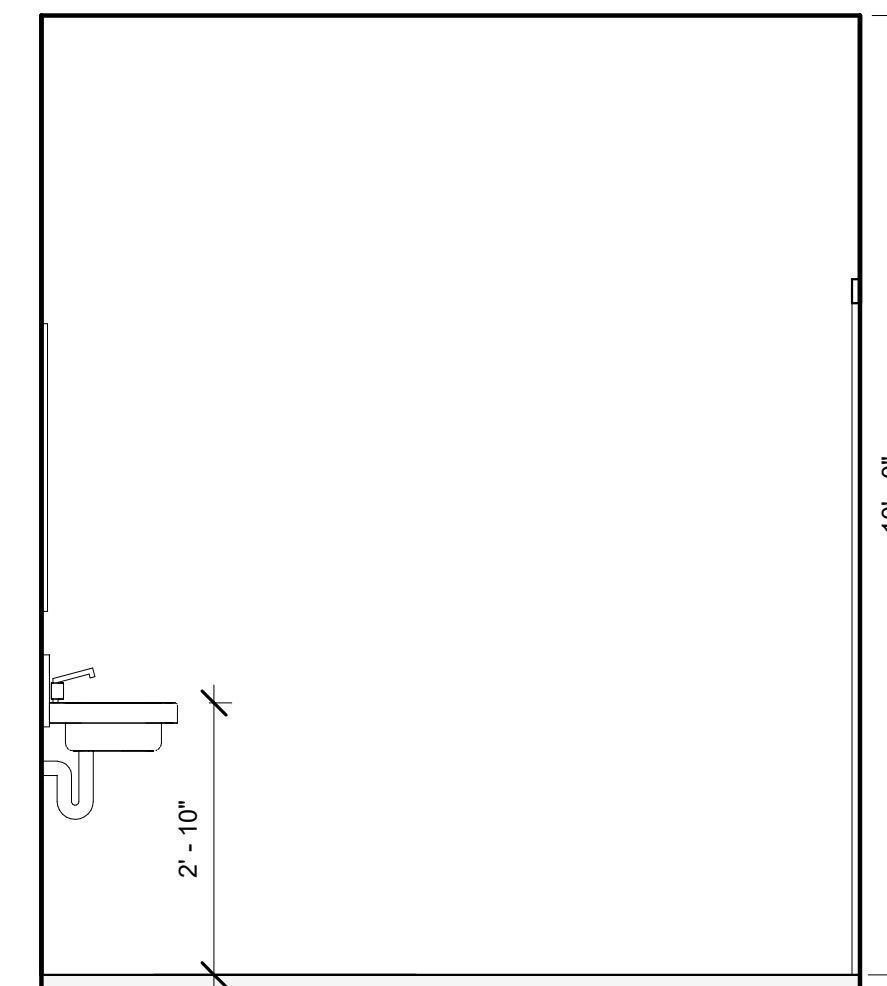
2 RESTROOM PLANS
 1/2" = 1'-0"



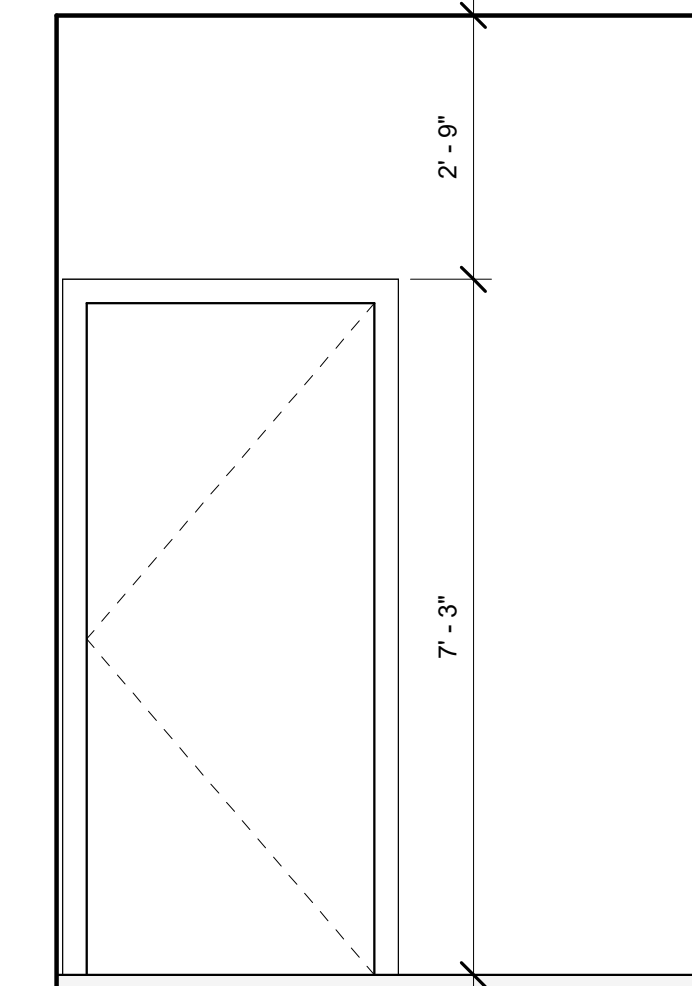
3 BATHROOM ELEVATION 1
 1/2" = 1'-0"



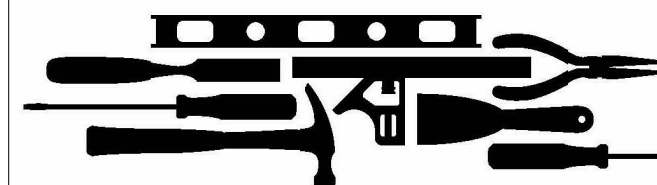
4 BATHROOM ELEVATION 2
 1/2" = 1'-0"



5 BATHROOM ELEVATION 3
 1/2" = 1'-0"



6 BATHROOM ELEVATION 4
 1/2" = 1'-0"



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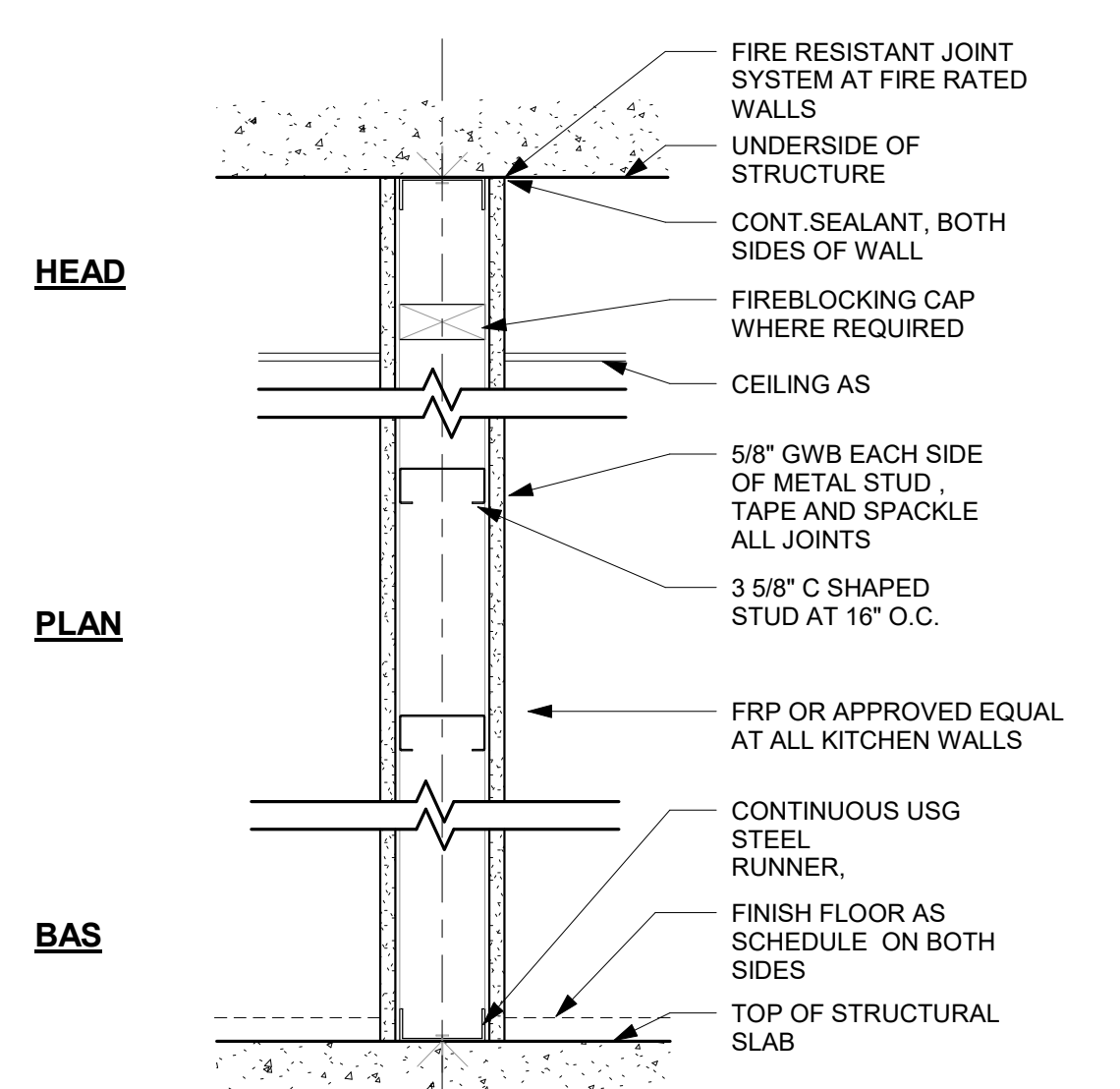
PROJECT PROJECT NO. 13_016

DRAWING TITLE
**WALL TYPES /
 DOOR & WINDOW
 SCHEDULES**

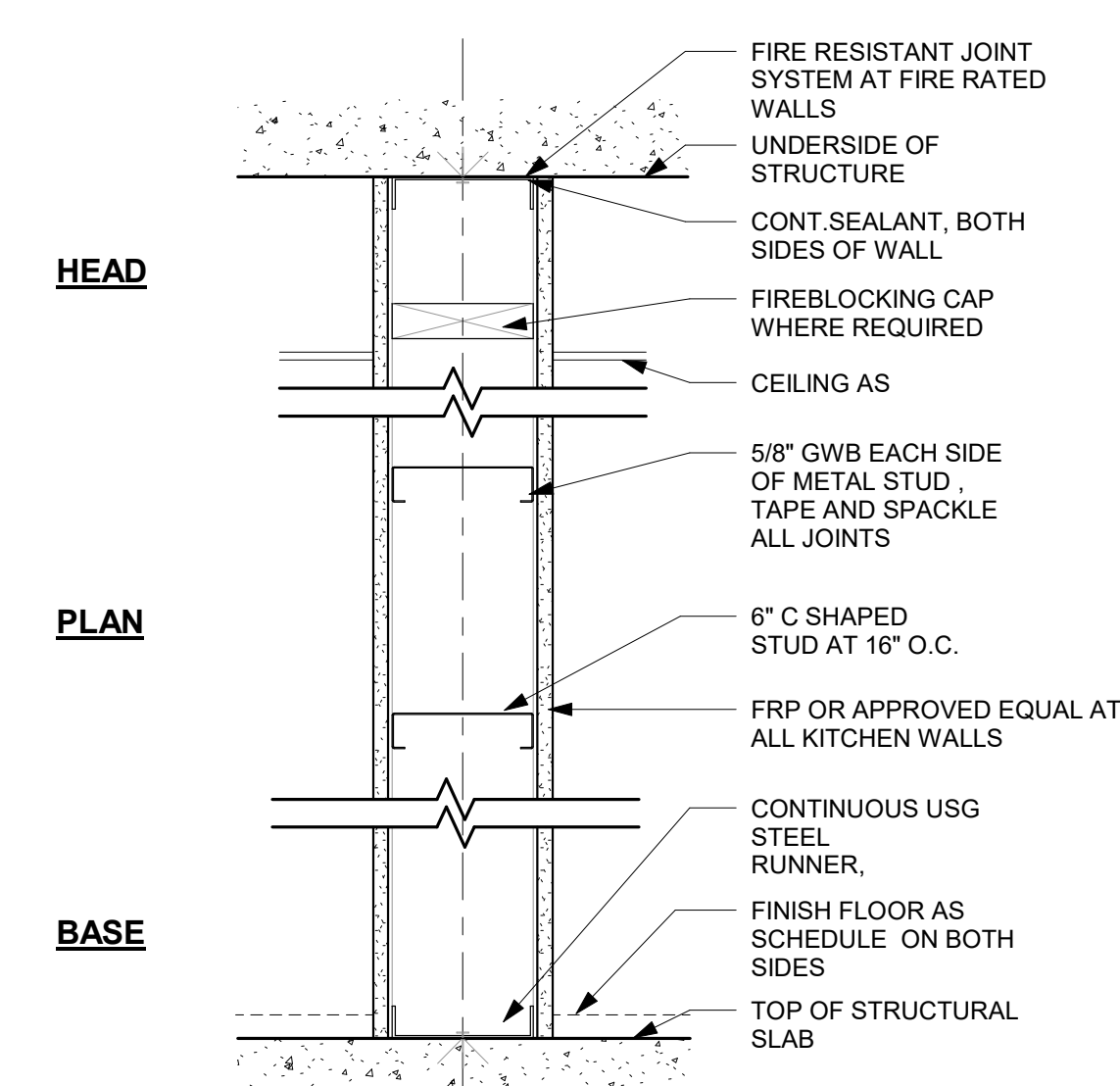
SCALE: As indicated DRAWING NO.

A.701

DOOR SCHEDULE										
DOOR NO.	QTY.	NO. OF PANELS	WIDTH	HEIGHT	OPERATION	DOOR PANEL TYPE	FRAME TYPE	THRESHOLD DETAIL	HARDWARE	REMARKS
100.1	1	1	3' - 1 1/2"	8' - 0"	SWING	WOOD				
100.2	1	1	11' - 3"	9' - 3"	ROLL-UP	METAL / GLASS				
101	1	1	3' - 0"	9' - 10 1/2"	SLIDING	GLASS				
104	1	2	6' - 0"	9' - 0 1/2"	SWING	GLASS				PANIC HARDWARE
105	1	1	3' - 0"	7' - 0"	SWING	WOOD				
106	1	1	3' - 0"	7' - 0"	SWING	WOOD				
107	1	1	3' - 0"	7' - 0"	SWING	WOOD				
108	1	1	3' - 0"	7' - 0"	SWING	WOOD				
204	1	1	0' - 0"	0' - 0"	SWING	GLASS				



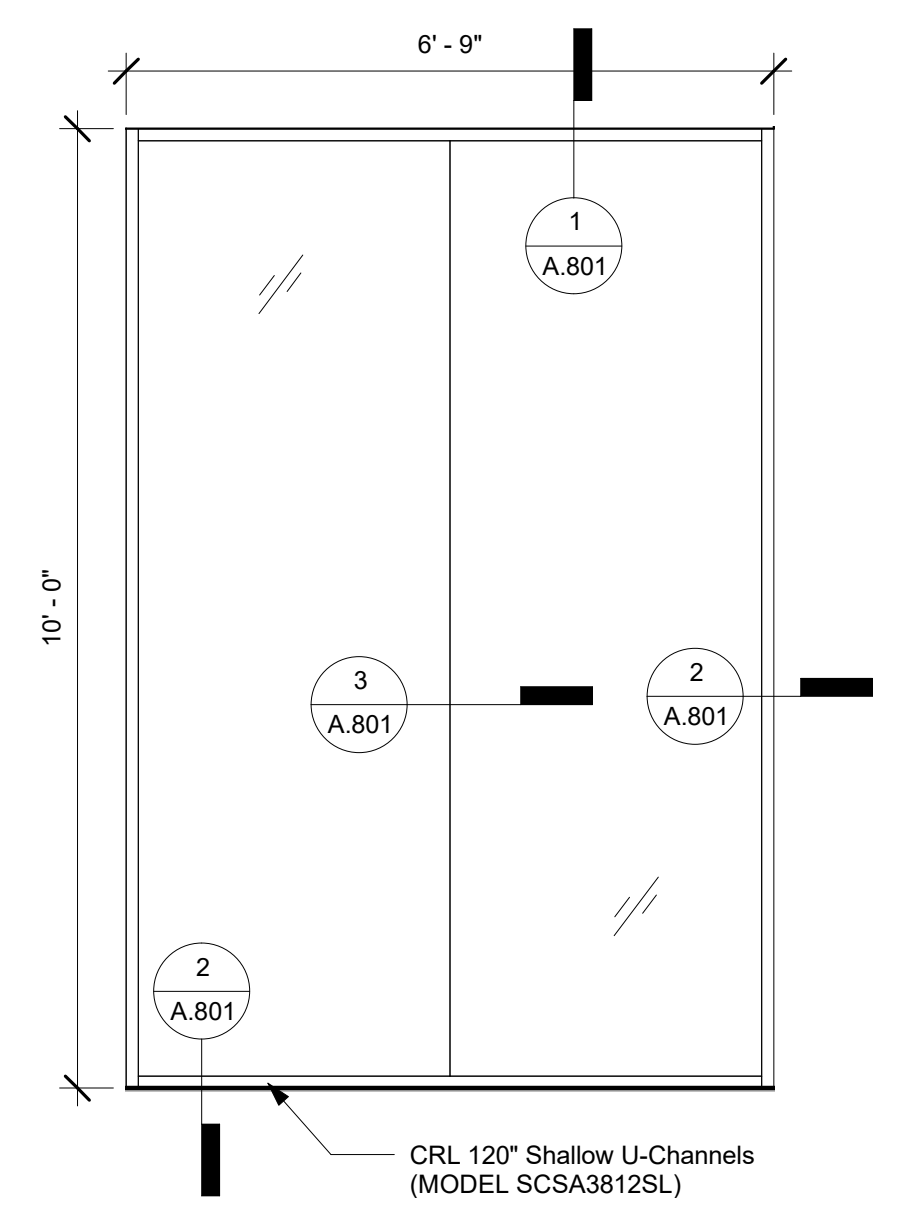
FIRE RATED REQUIREMENTS AS INDICATED ON WALL TYPE TAG
 a. ADD THERMAL INSULATION FULL HEIGHT OF WALL
 b. ONE HOUR FIRE RATED REQUIRED AS PER UL SYSTEM U465
 c. ONE HOUR FIRE RATED REQUIRED AS PER UL SYSTEM U465 WITH THERMAL INSULATION FULL HEIGHT OF WALL



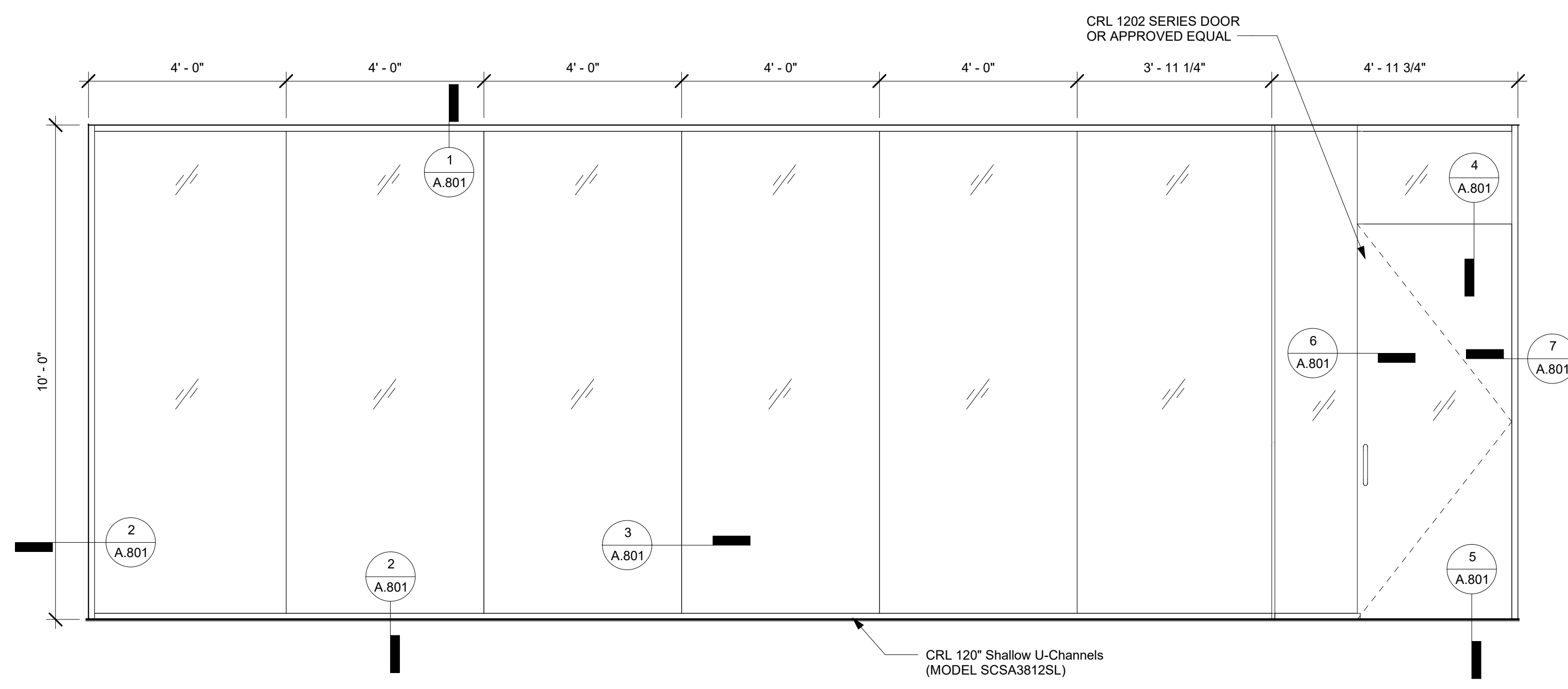
FIRE RATED REQUIREMENTS AS INDICATED ON WALL TYPE TAG
 a. ADD THERMAL INSULATION FULL HEIGHT OF WALL
 b. ONE HOUR FIRE RATED REQUIRED AS PER UL SYSTEM U465
 c. ONE HOUR FIRE RATED REQUIRED AS PER UL SYSTEM U465 WITH THERMAL INSULATION FULL HEIGHT OF WALL

1 WALL TYPE - 1
 1 1/2" = 1'-0"

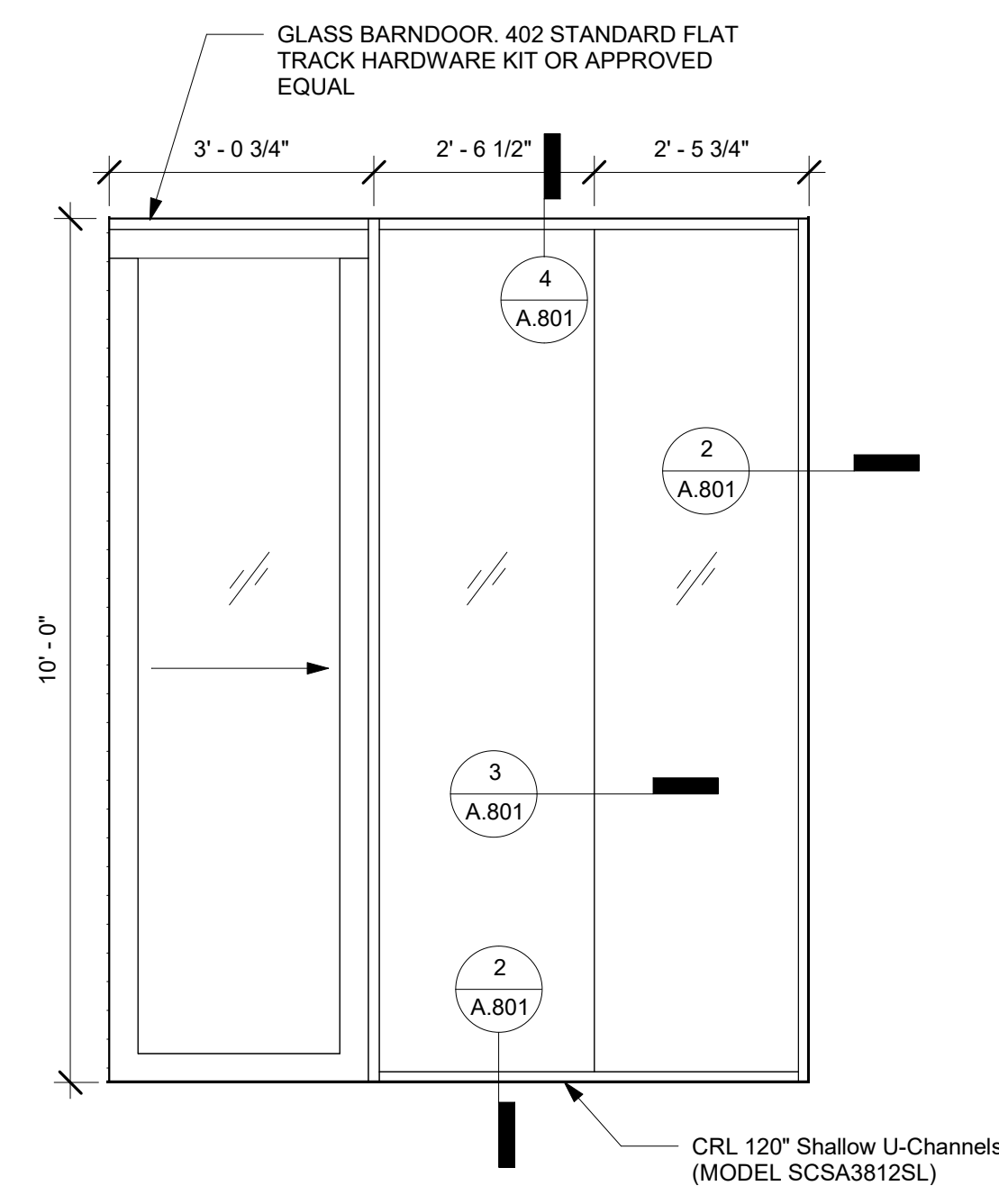
2 WALL TYPE - 2
 1 1/2" = 1'-0"



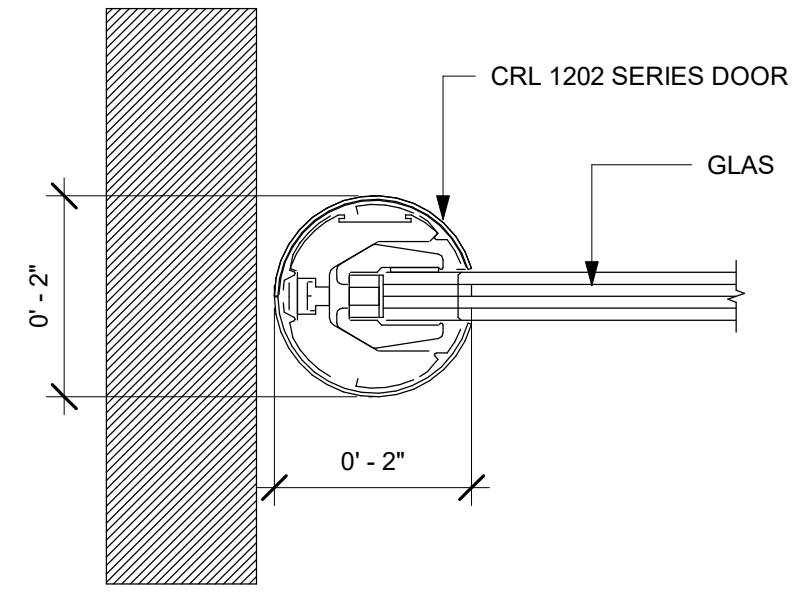
3 STOREFRONT ELEVATION A
 1/2" = 1'-0"



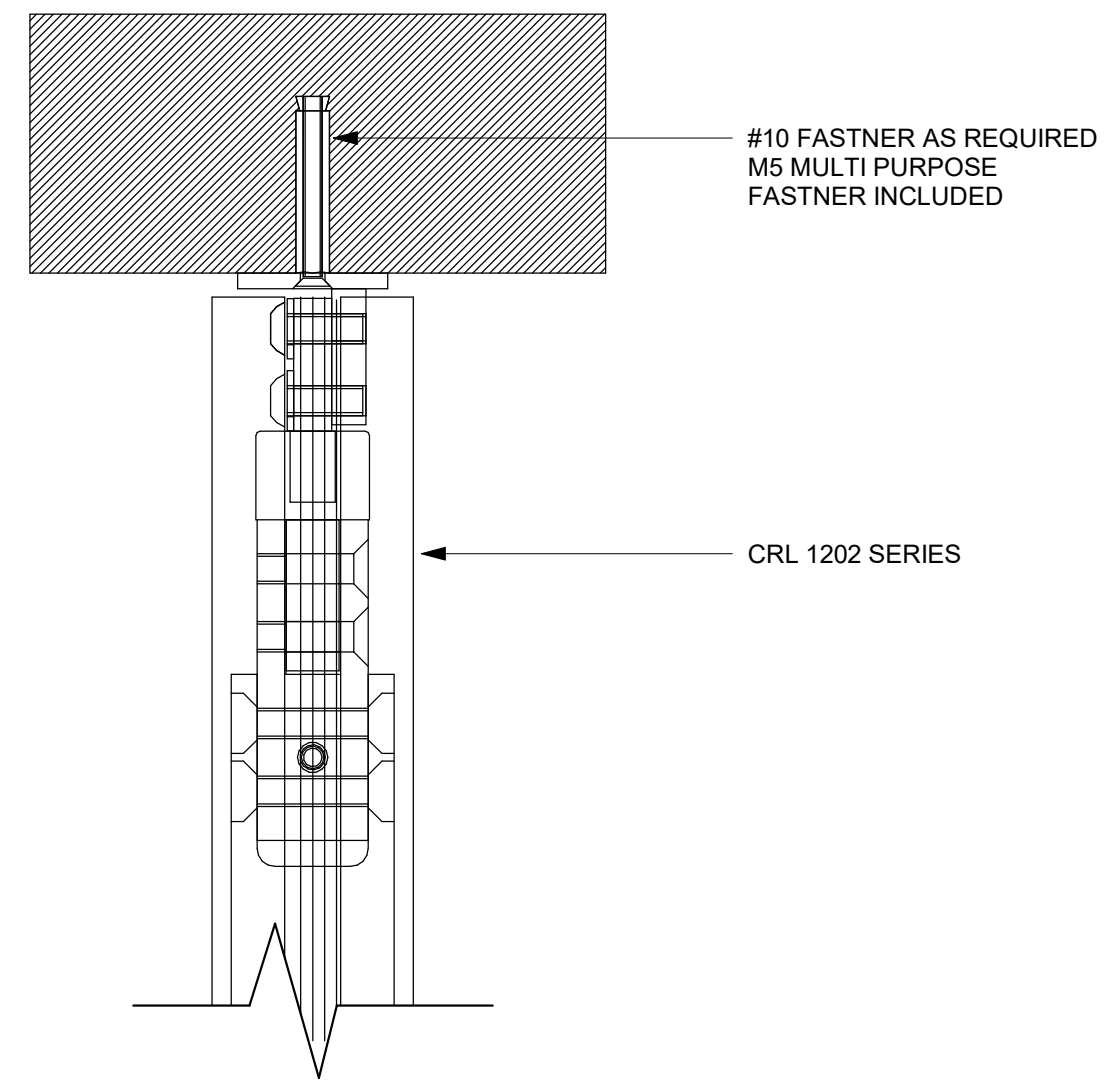
4 STOREFRONT ELEVATION B
 1/2" = 1'-0"



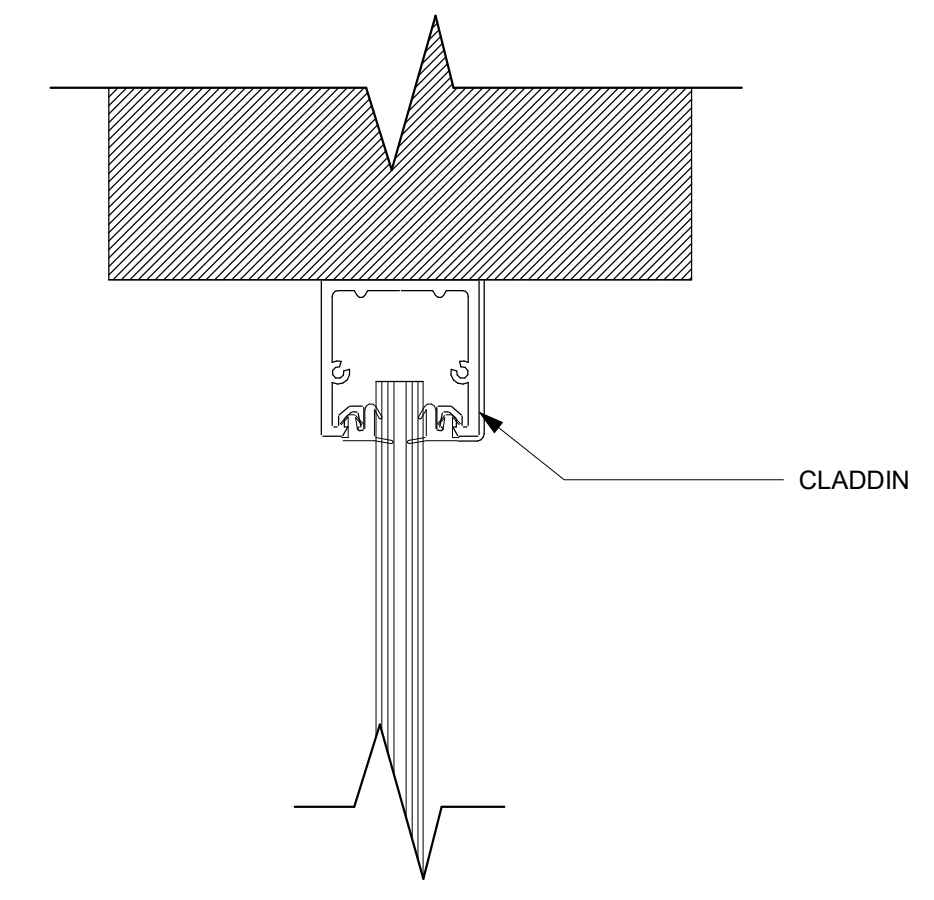
5 STOREFRONT ELEVATION C
 1/2" = 1'-0"



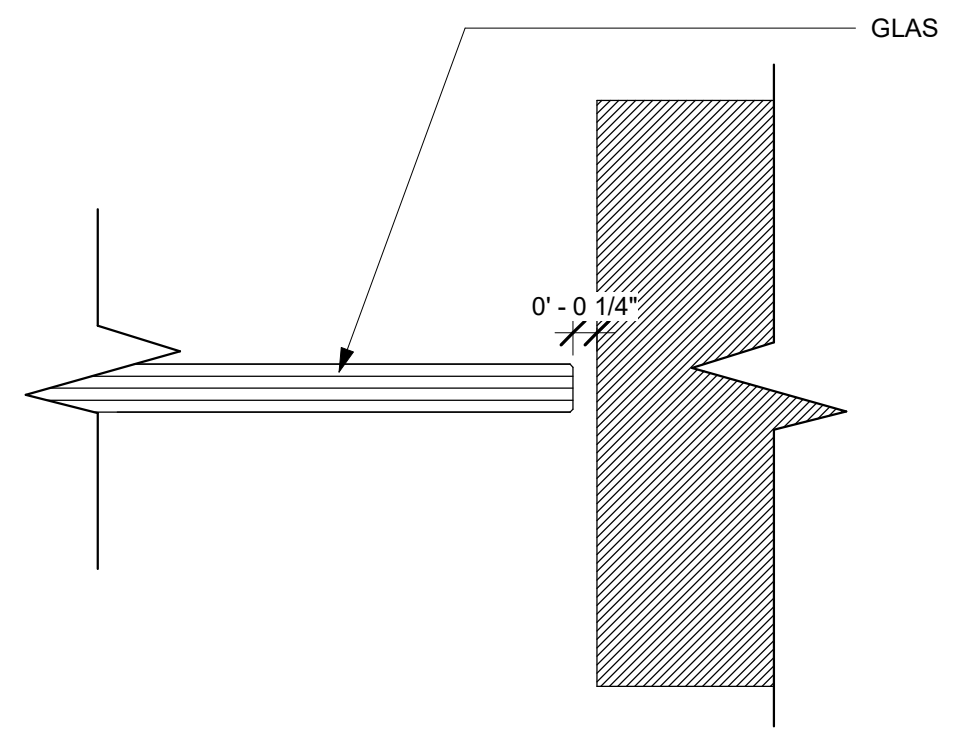
6 PIVOT DOOR DETAIL 3
6" = 1'-0"



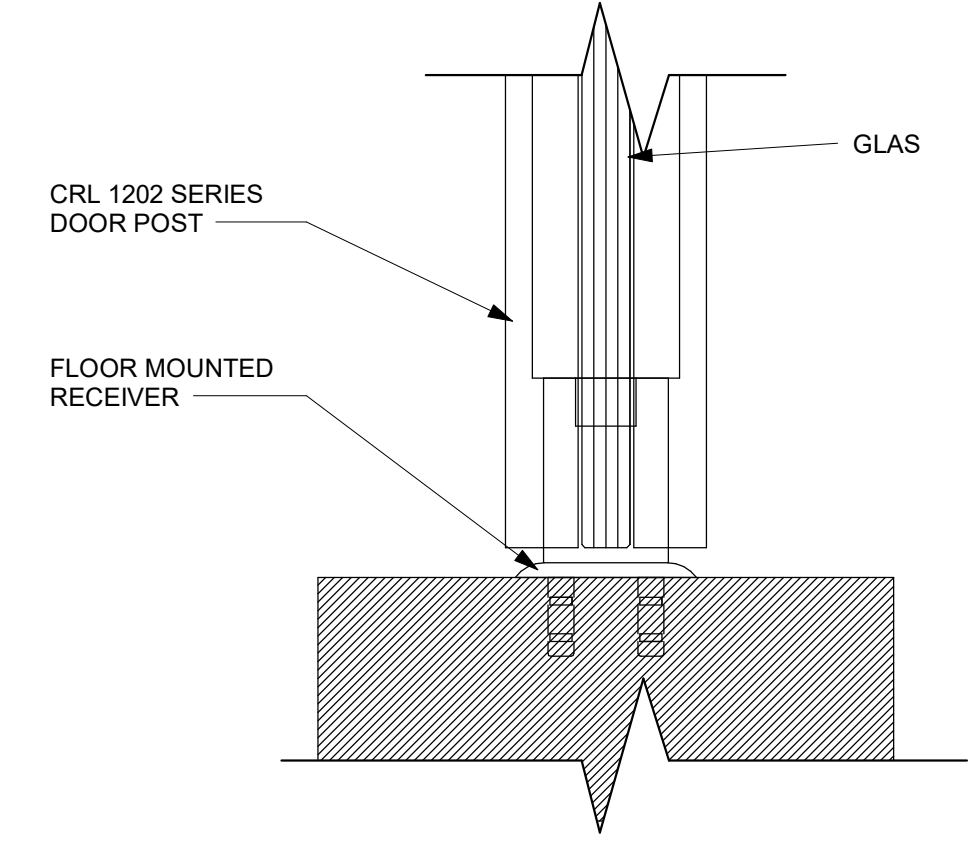
4 PIVOT DOOR DETAIL 1
6" = 1'-0"



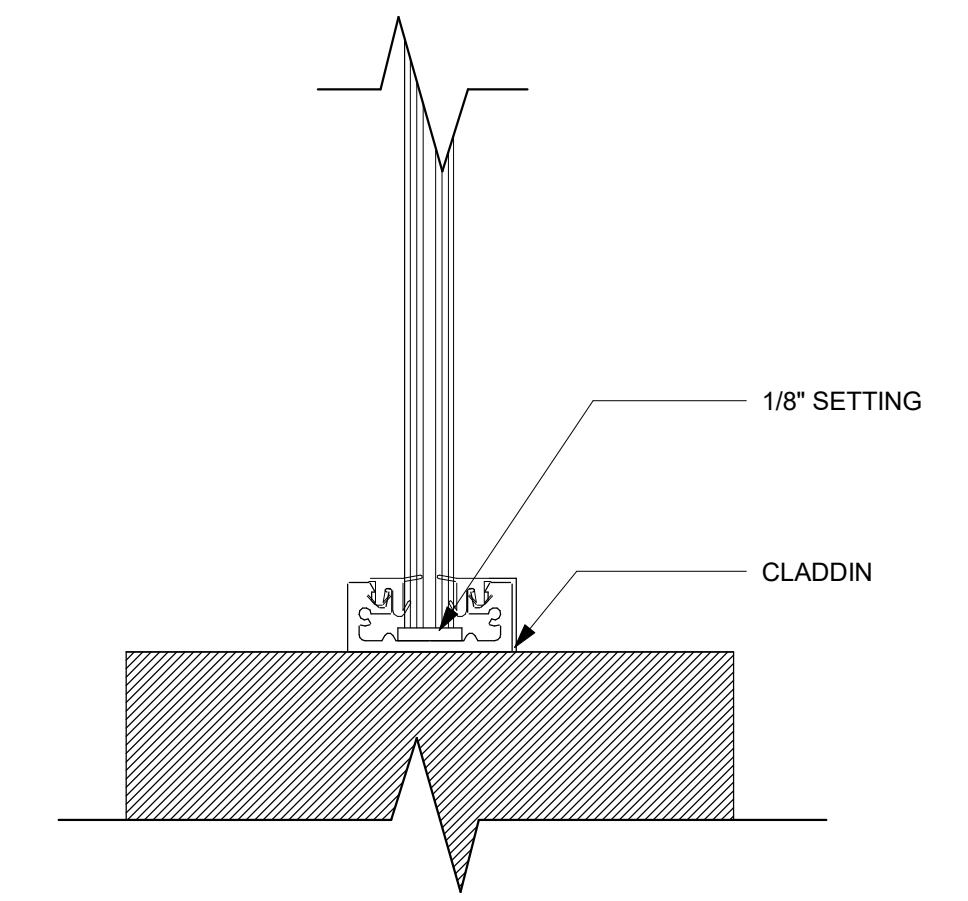
1 C CHANNEL DETAIL TOP
6" = 1'-0"



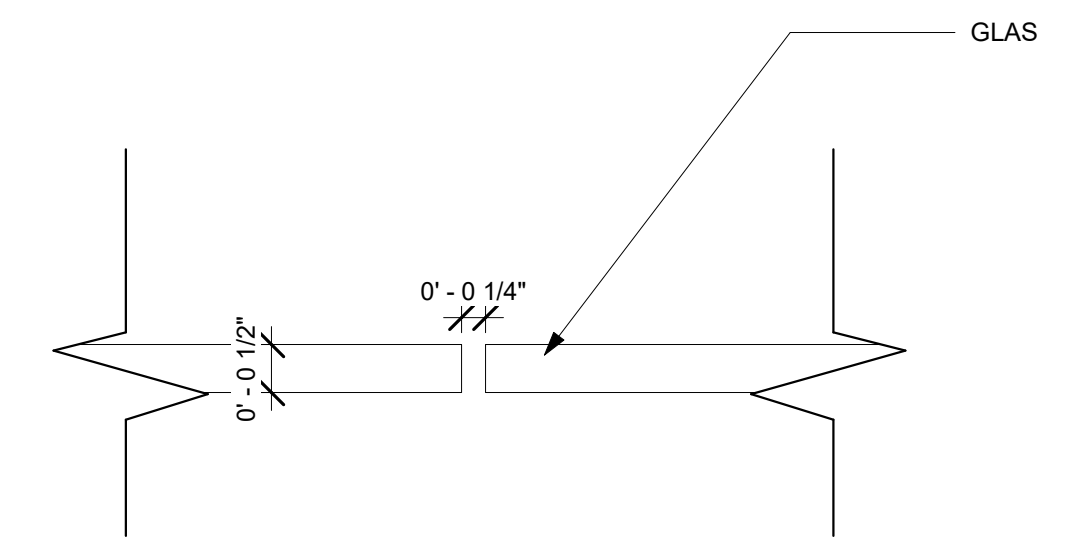
7 PIVOT DOOR DETAIL 4
6" = 1'-0"



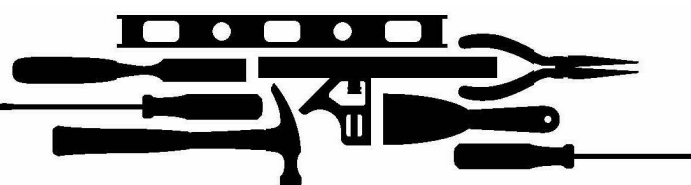
5 PIVOT DOOR DETAIL 2
6" = 1'-0"



2 C CHANNEL DETAILS
6" = 1'-0"



3 GLASS CONNECTION DETAIL
6" = 1'-0"



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ATLANTA, GA 30305 - SPACE # 1096B

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ISSUE NO.	DESCRIPTION	ISSUE DATE
00	PERMIT	05/25/17

PROJECT PROJECT NO. 13_016

DRAWING TITLE
DETAILS

SCALE: 6" = 1'-0" DRAWING NO.

A.801

LEGEND	
Convention	Description
	dimension showing English units (in inches unless otherwise specified) above the line and SI units (in millimeters unless otherwise specified) below the line
	dimension for small
	dimension showing a range with minimum - maximum
	minimu
	maximu
	greater
	less
	boundary of clear floor space or maneuvering clearance
	centerlin
	a permitted element or its
	direction of travel or
	a wall, floor, ceiling or other element cut in section or plan
	a highlighted element in elevation or plan
	location zone of element, control or feature

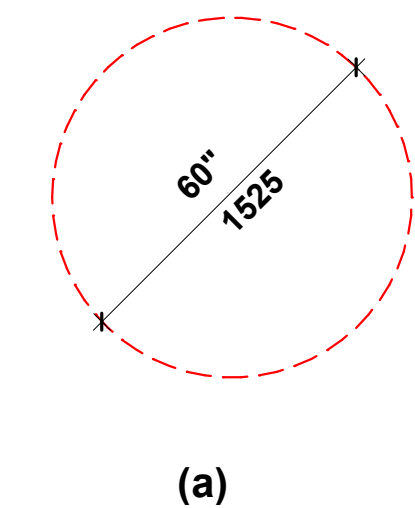
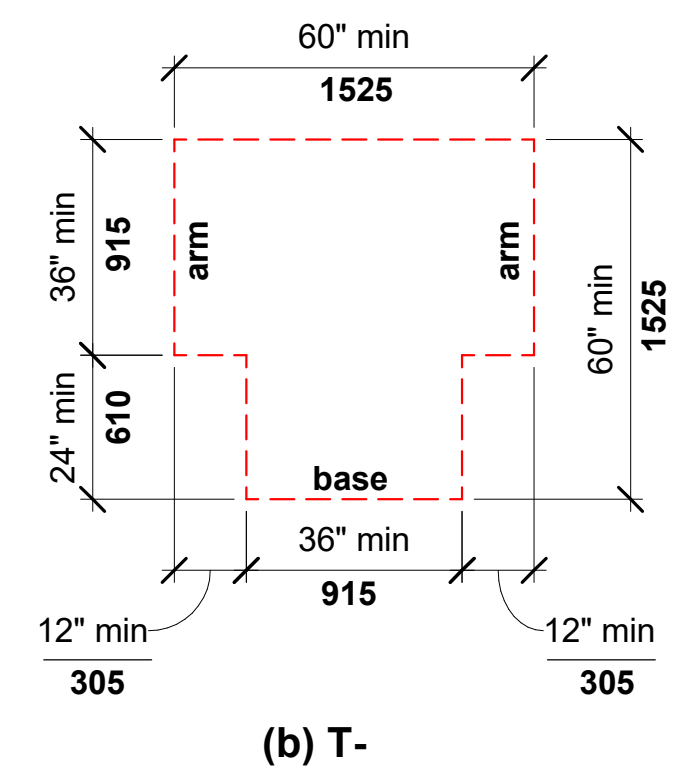


Figure 304.3
SIZE OF TURNING SPACE



(b) T-

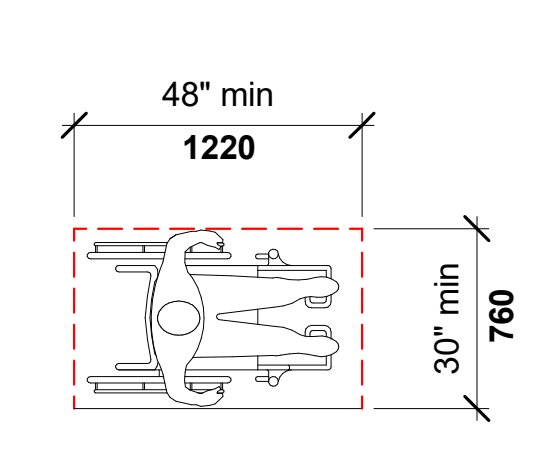
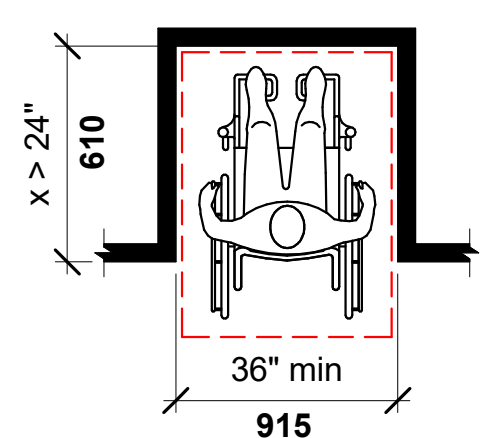
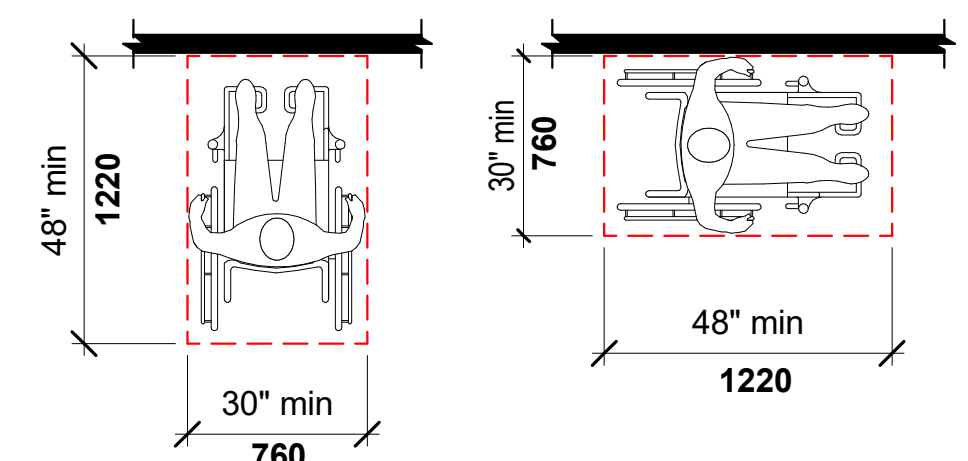


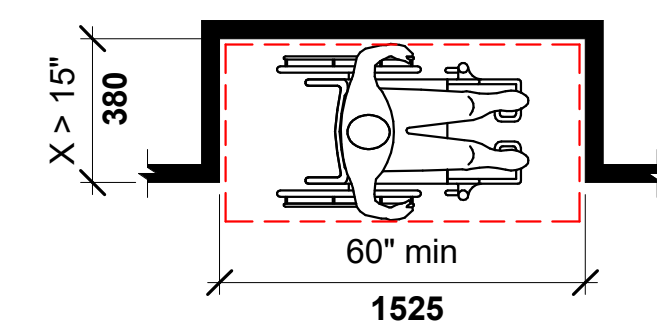
Figure 305.3
SIZE OF CLEAR FLOOR SPACE



(a) Forward



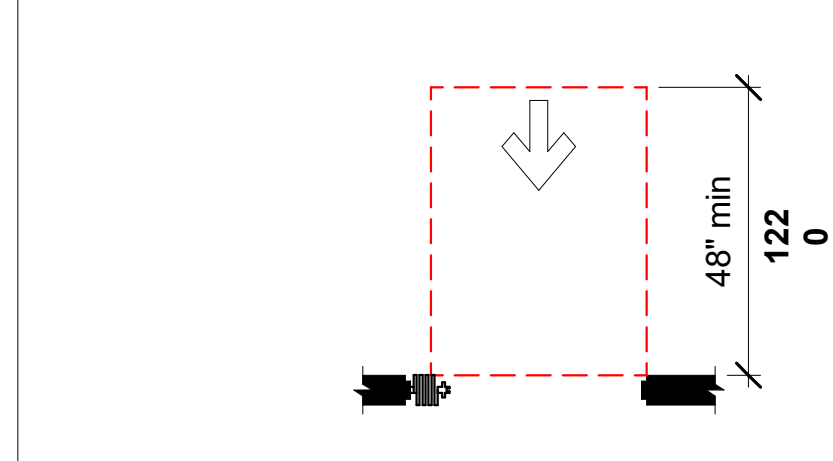
(a) Forward
Figure 305.5
POSITION OF CLEAR FLOOR SPACE



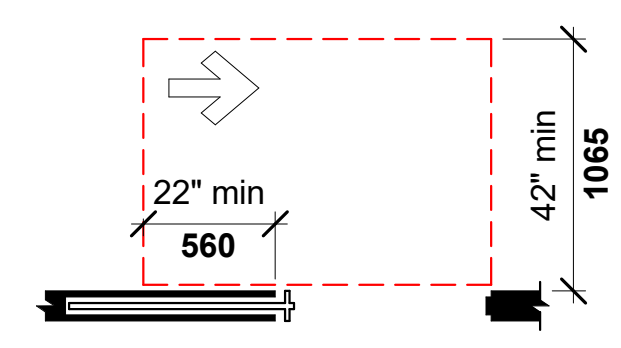
(b) Parallel



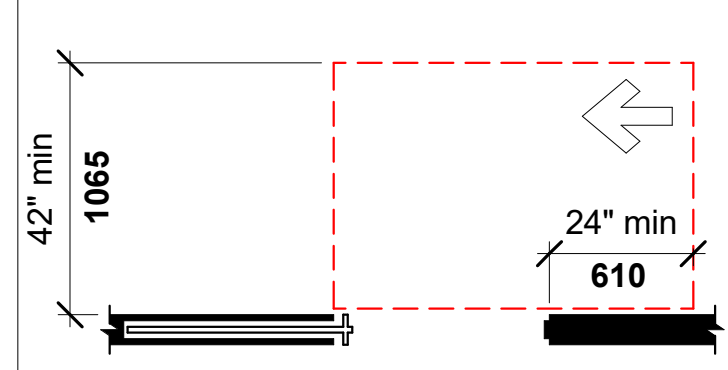
(a) Forward
Figure 305.7
MANEUVERING CLEARANCE IN AN ALCOVE



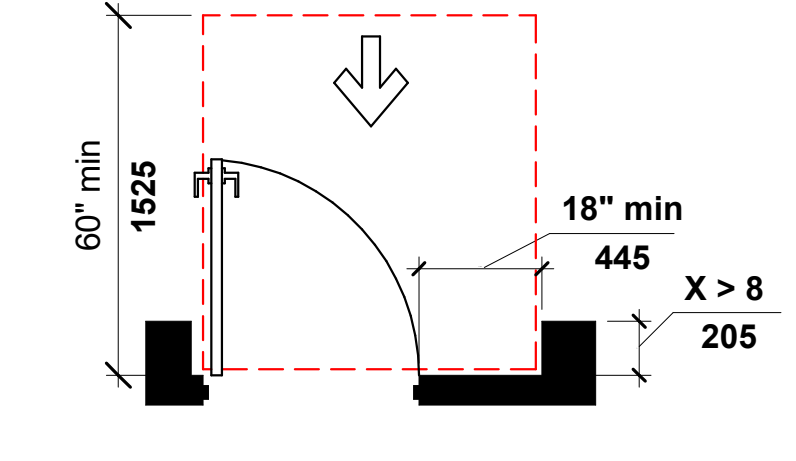
(a) Front Approach



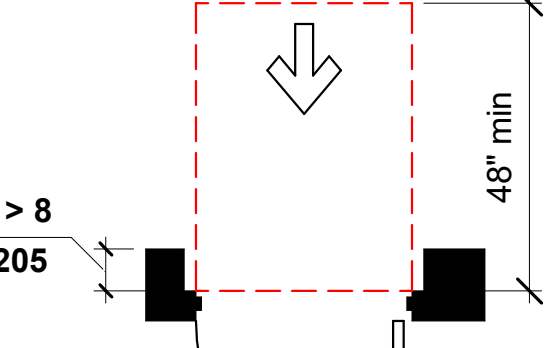
(b) Pocket or Hinge Approach



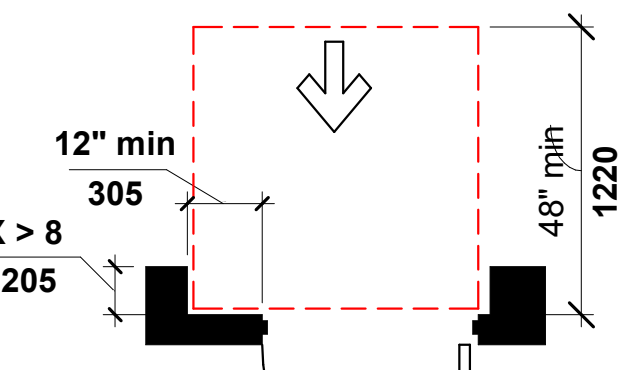
(c) Stop or Latch Approach



(a) Pull Side



(b) Push Side



(c) Push Side, Door Provided with Both Closer and Latch

Figure 404.2.3.4
MANEUVERING CLEARANCE AT RECESSED DOORS

C1 ABA Legend

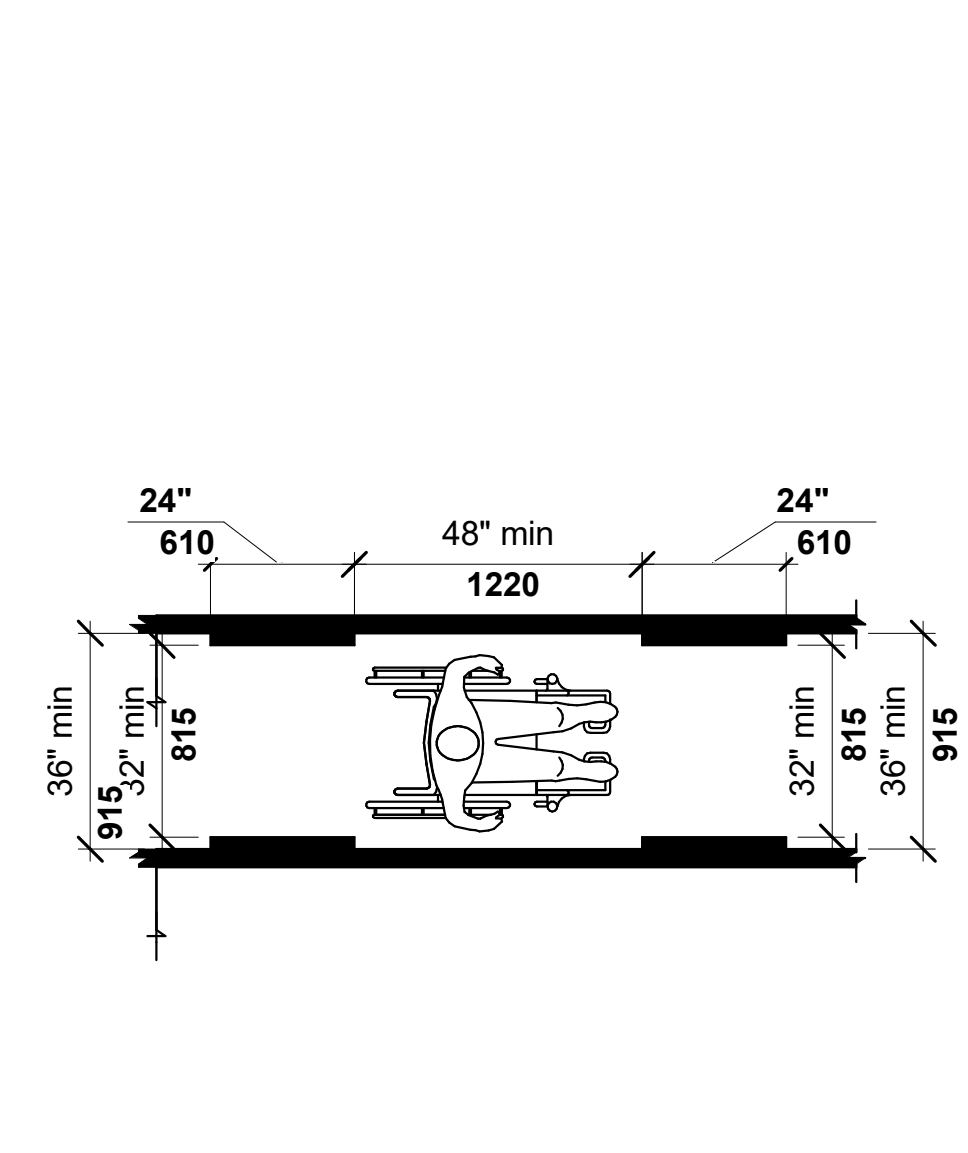
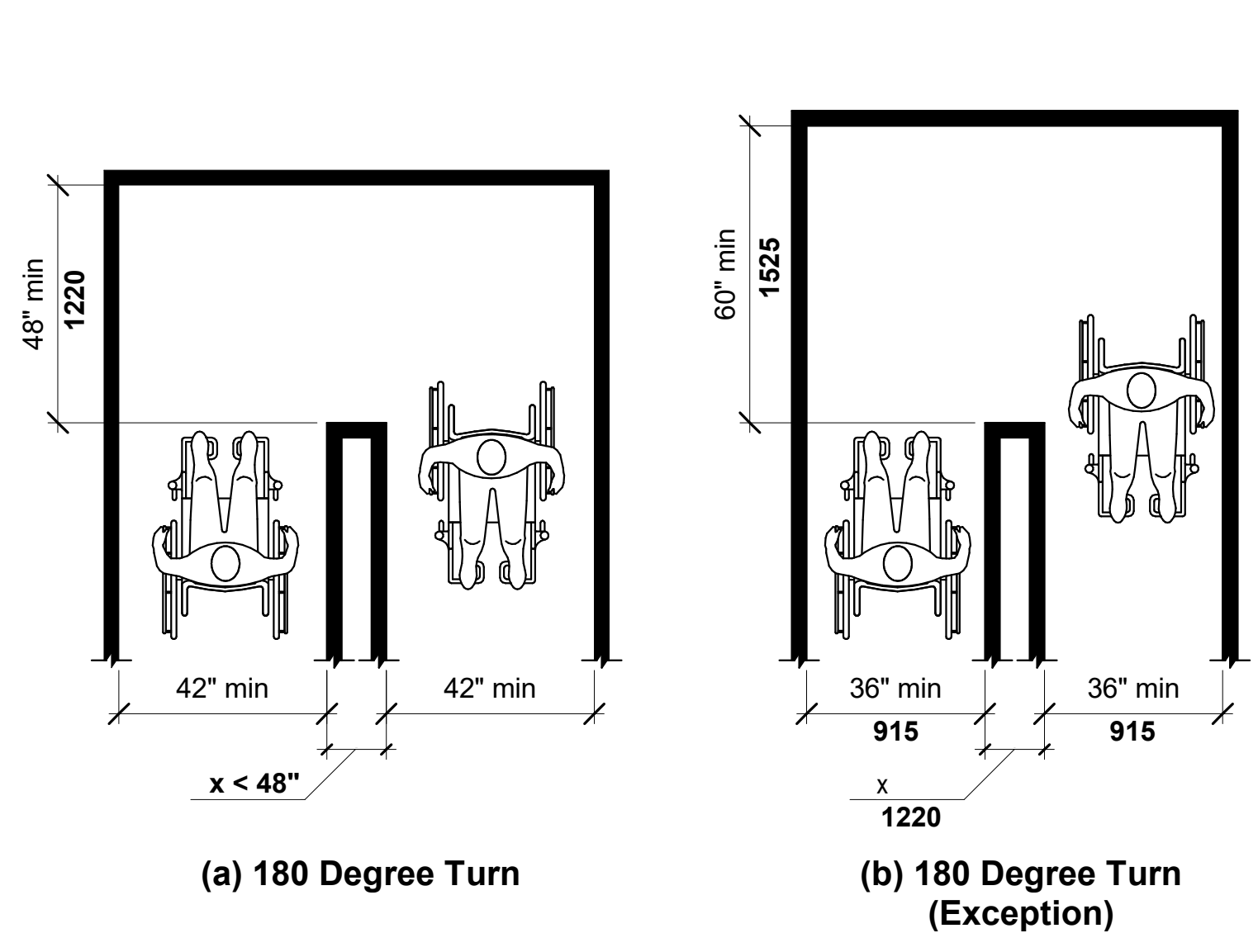


Figure 403.5
CLEAR WIDTH OF AN ACCESSIBLE ROUTE

D1 ICC/ANSI 304 Turning Space



(a) 180 Degree Turn

(b) 180 Degree Turn (Exception)

Figure 403.5.1
CLEAR WIDTH AT 180° TURN

C2 ICC/ANSI 305 Clear Floor Space

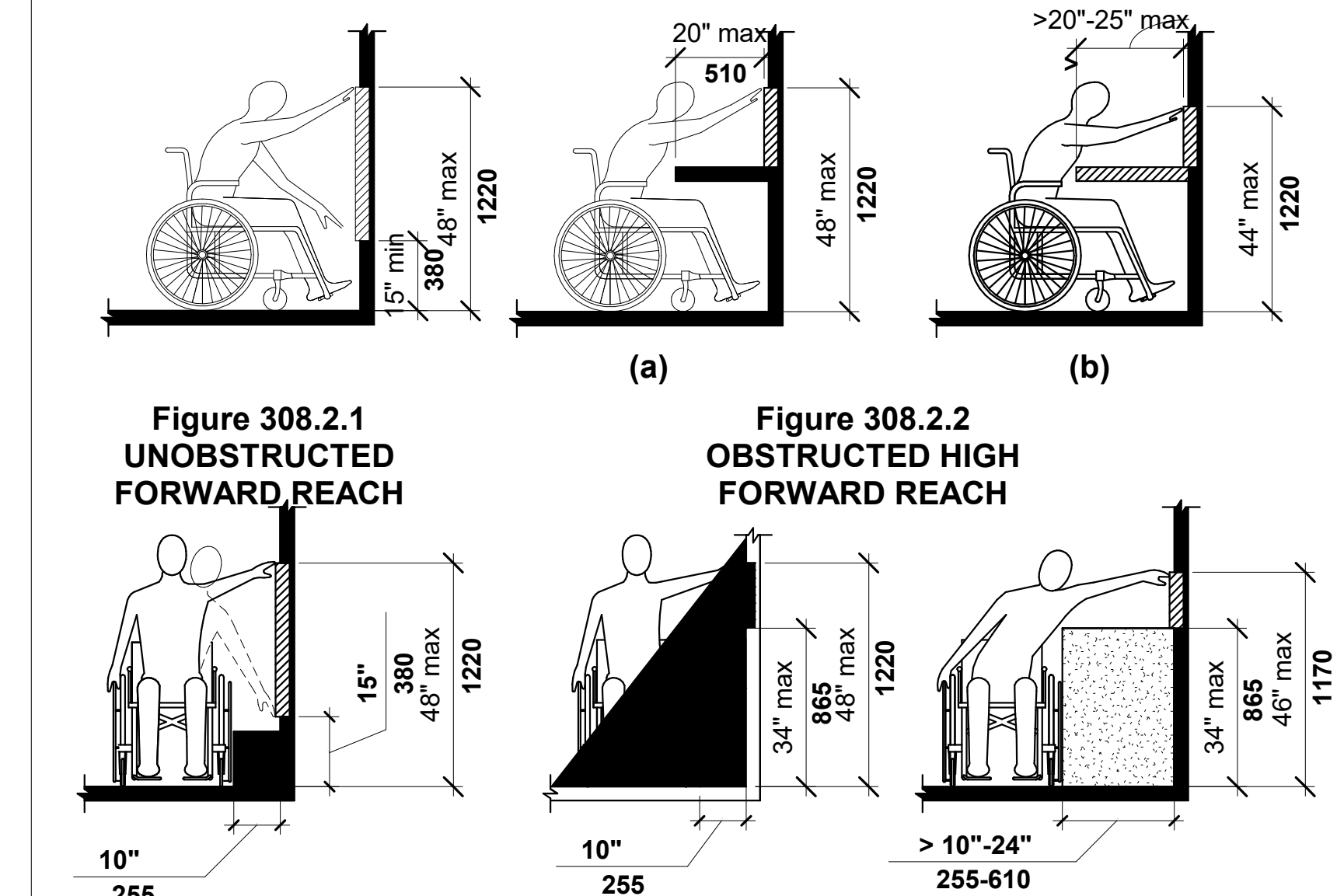


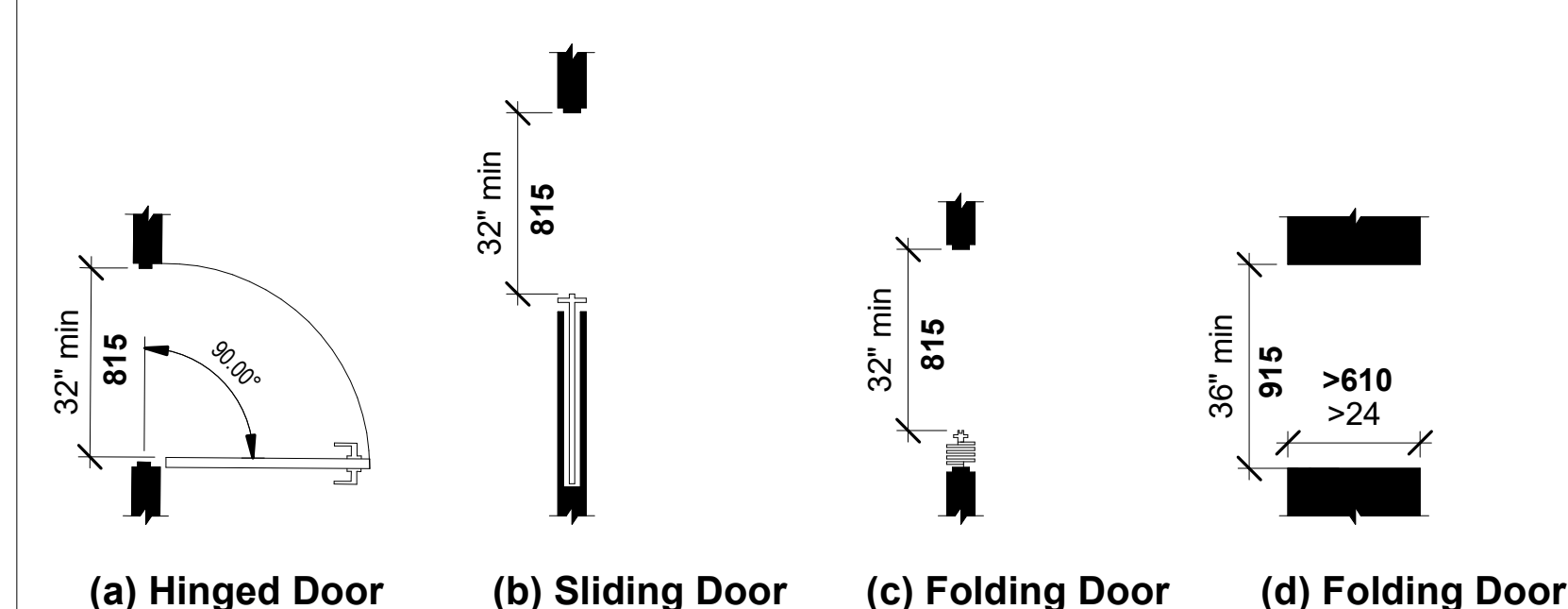
Figure 308.2.1
UNOBSTRUCTED FORWARD REACH

Figure 308.2.2
OBSTRUCTED HIGH FORWARD REACH

Figure 308.3.1
UNOBSTRUCTED SIDE REACH

(a) Figure 308.3.2
OBSTRUCTED HIGH SIDE REACH

A2 ICC/ANSI 404 Doors, Doorways, and Gates



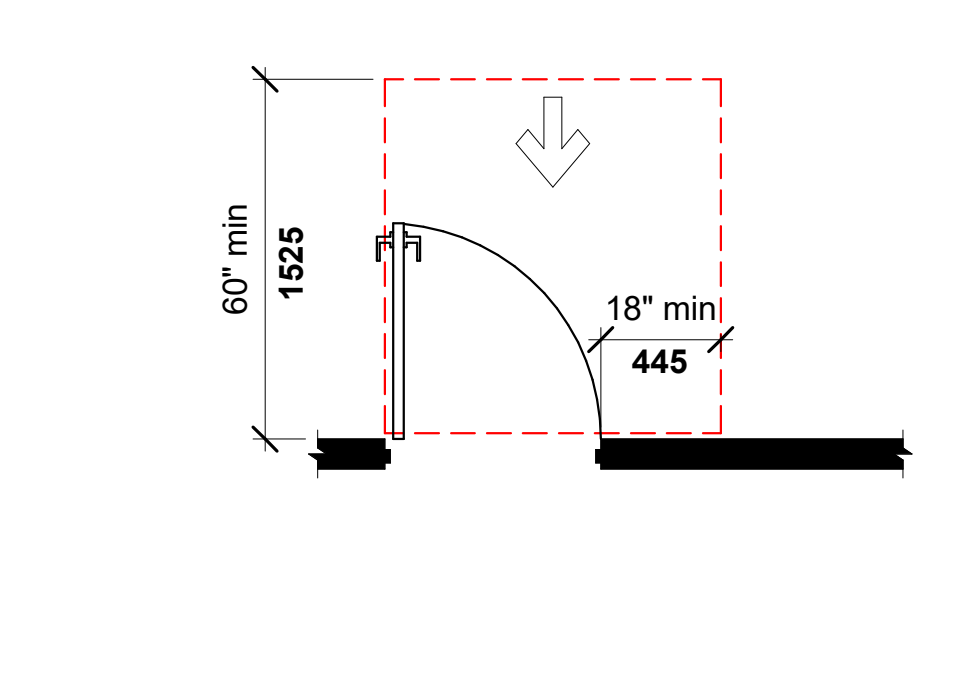
(a) Hinged Door

(b) Sliding Door

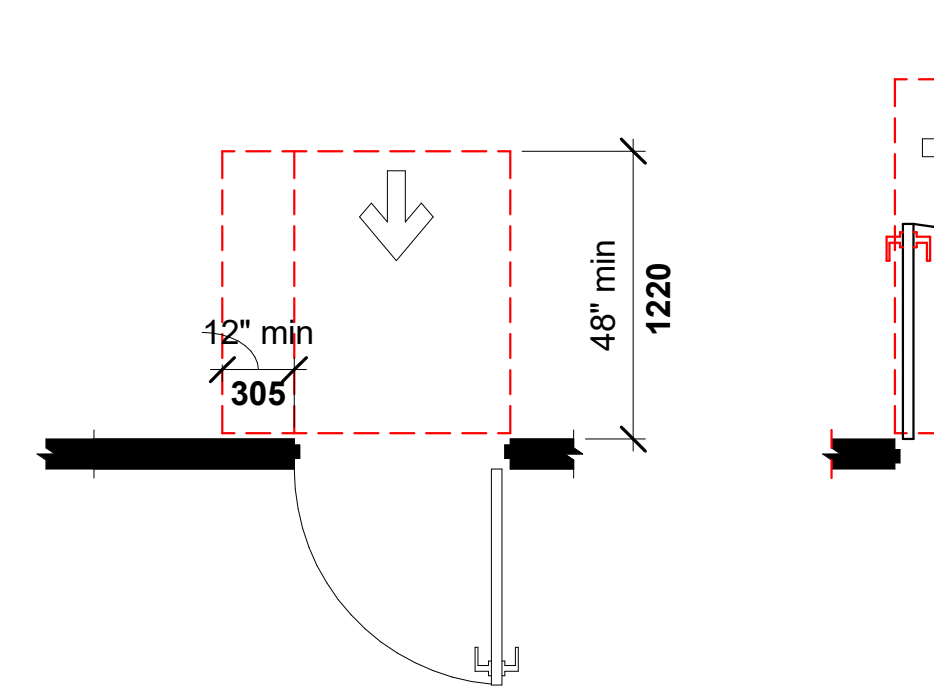
(c) Folding Door

(d) Folding Door

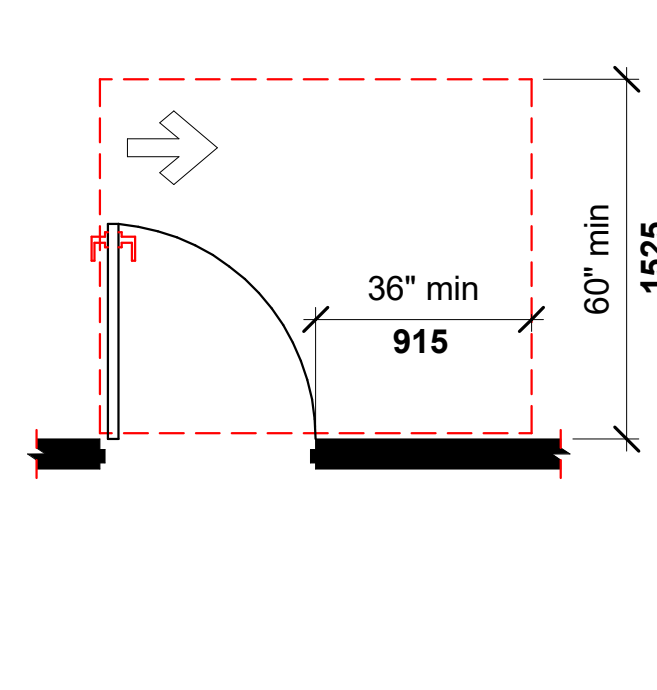
B1 ICC/ANSI 403 Walking Surfaces



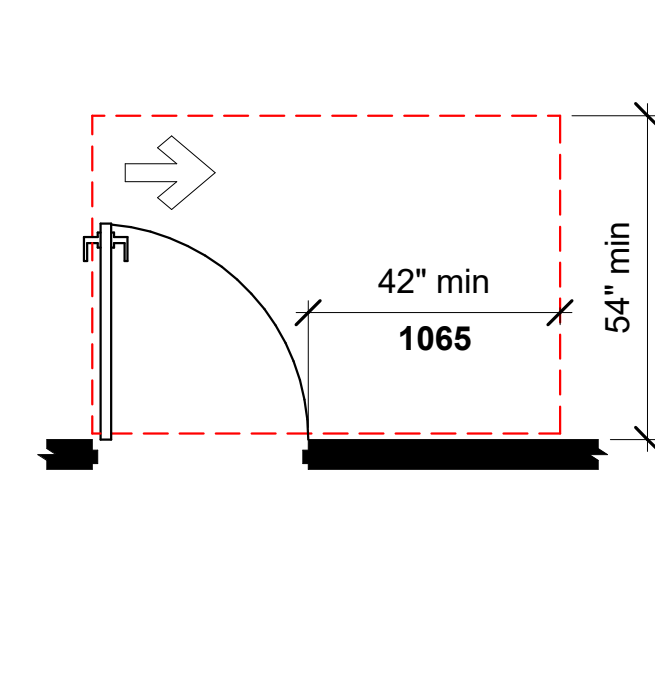
(a) Front Approach, Pull Side



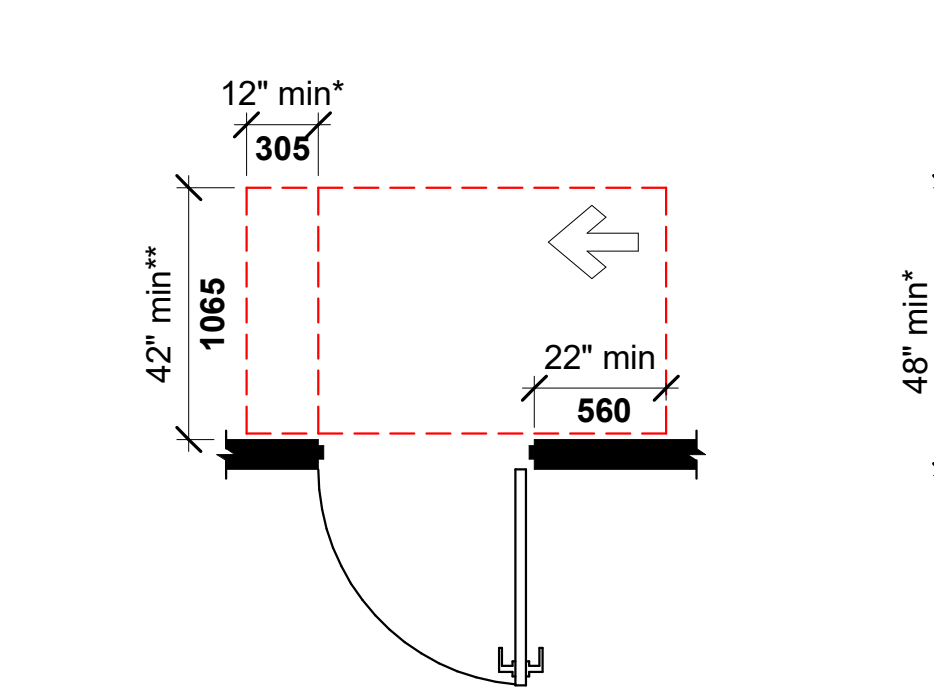
*If both closer and latch are provided
(b) Front Approach, Push Side



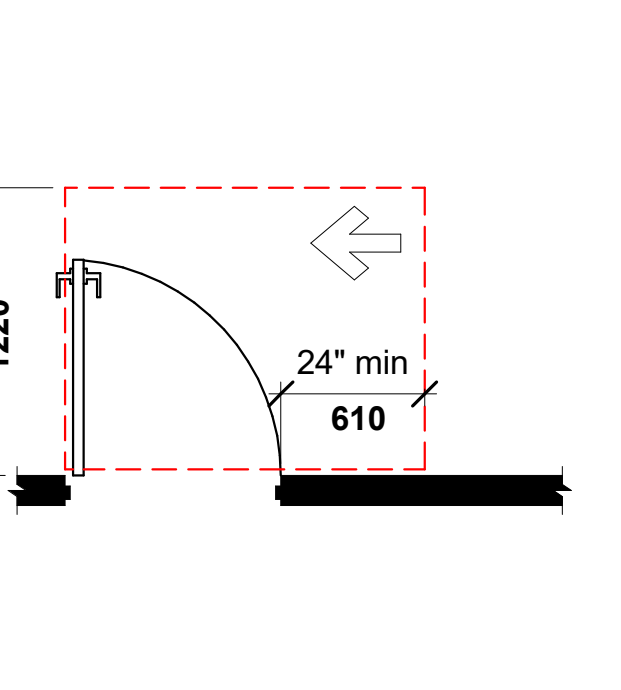
(c) Hinge Approach, Pull Side



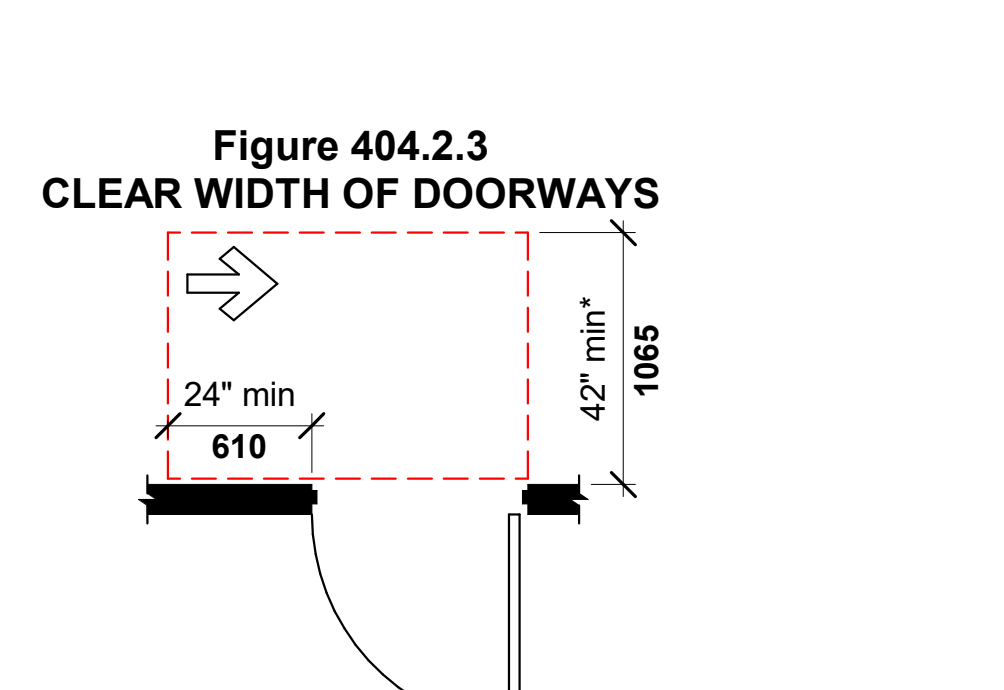
(d) Hinge Approach, Push Side



*If both closer and latch are provided
**48 min (1220) if both closer and latch are provided
(e) Hinge Approach, Push Side



*54 min (1370) if closer is provided
(f) Latch Approach, Pull Side



*48 min (1220) if closer is provided
(g) Latch Approach, Push Side

A3 ICC/ANSI 404 Doors, Doorways, and Gates

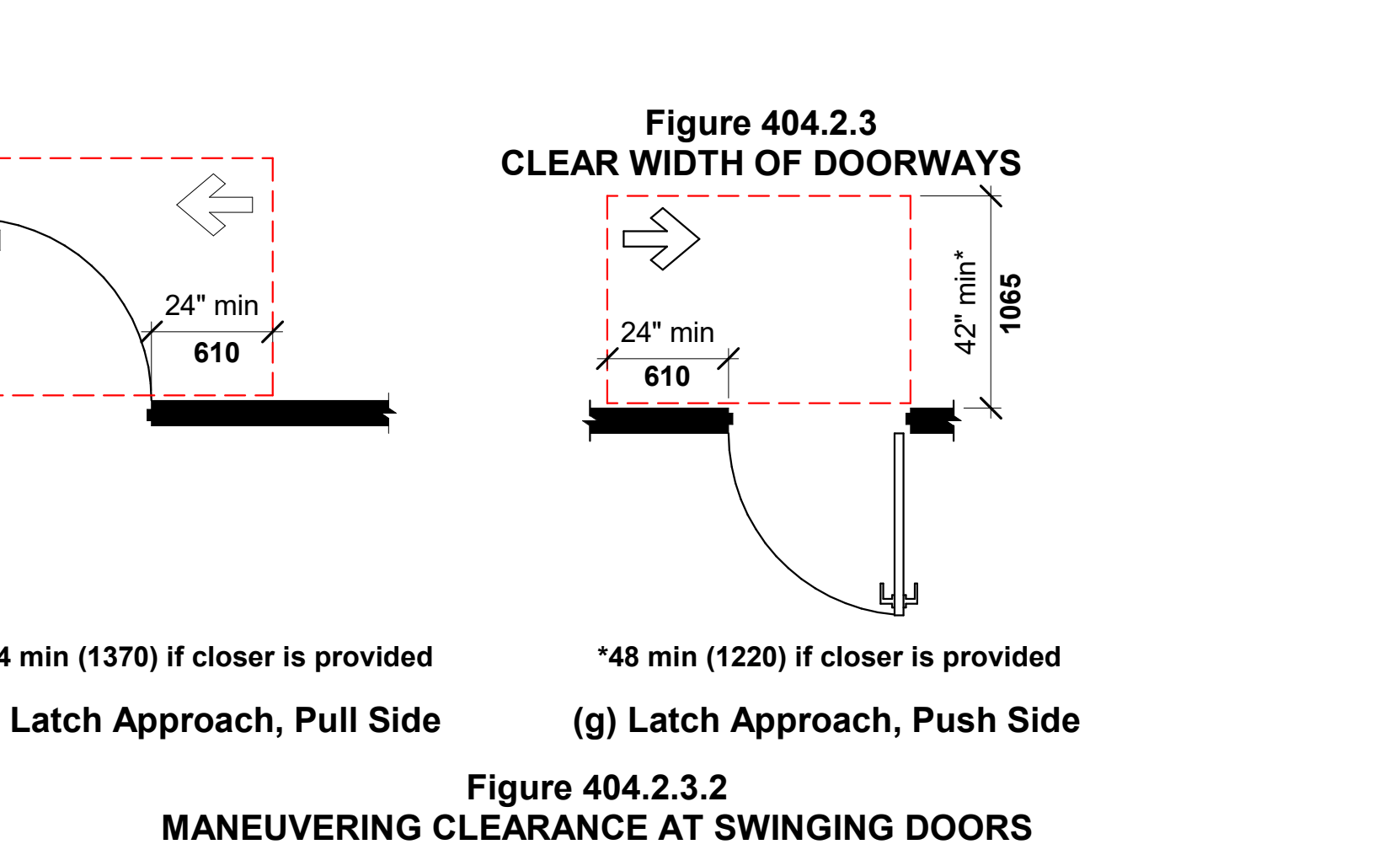


Figure 404.2.3.2
MANEUVERING CLEARANCE AT SWINGING DOORS

A1 ICC/ANSI 404 Doors, Doorways, and Gates

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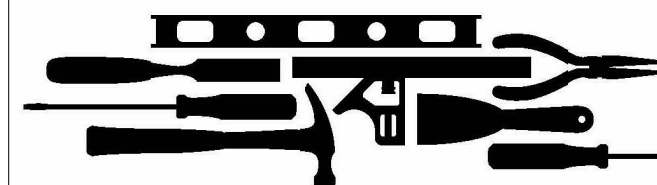
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ISSUE NO.	DESCRIPTION	ISSUE DATE
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PROJECT	PROJECT NO.	13_016

DRAWING TITLE
TYPICAL ADA DETAILS

SCALE: 3/8" = 1'-0" DRAWING NO.

A.901



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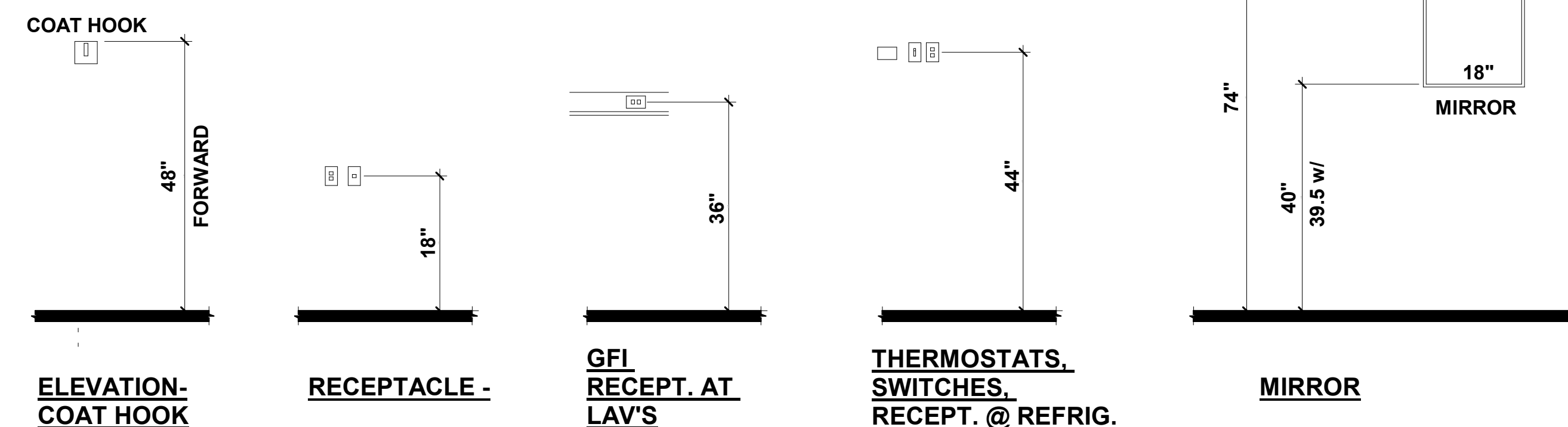
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PROJECT PROJECT NO. 13_016

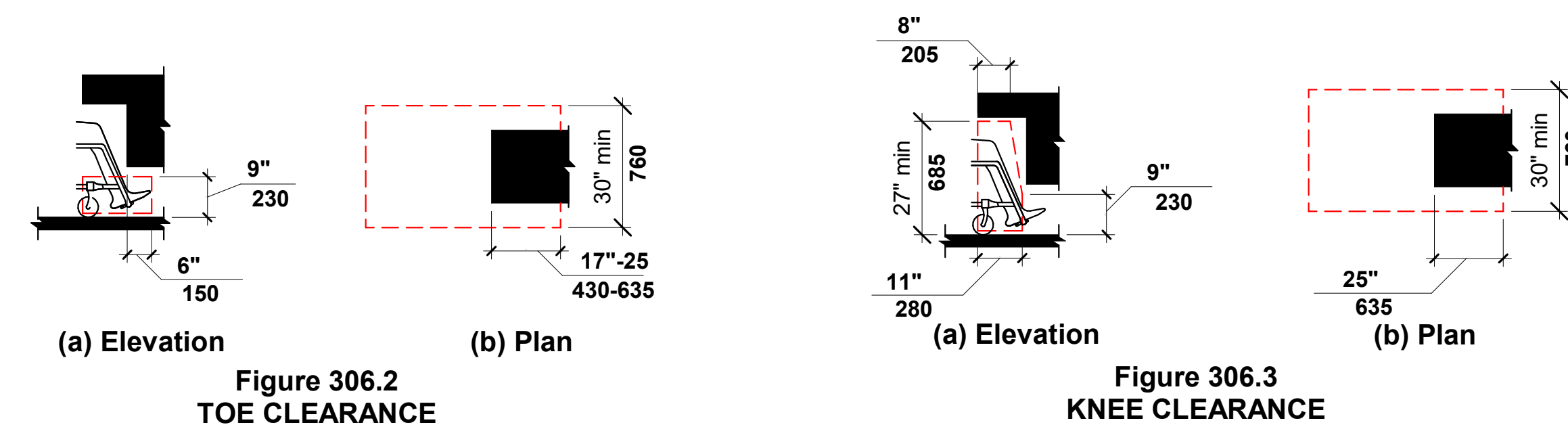
DRAWING TITLE
**TYPICAL ADA
 DETAILS**

SCALE: 3/8" = 1'-0" DRAWING NO.

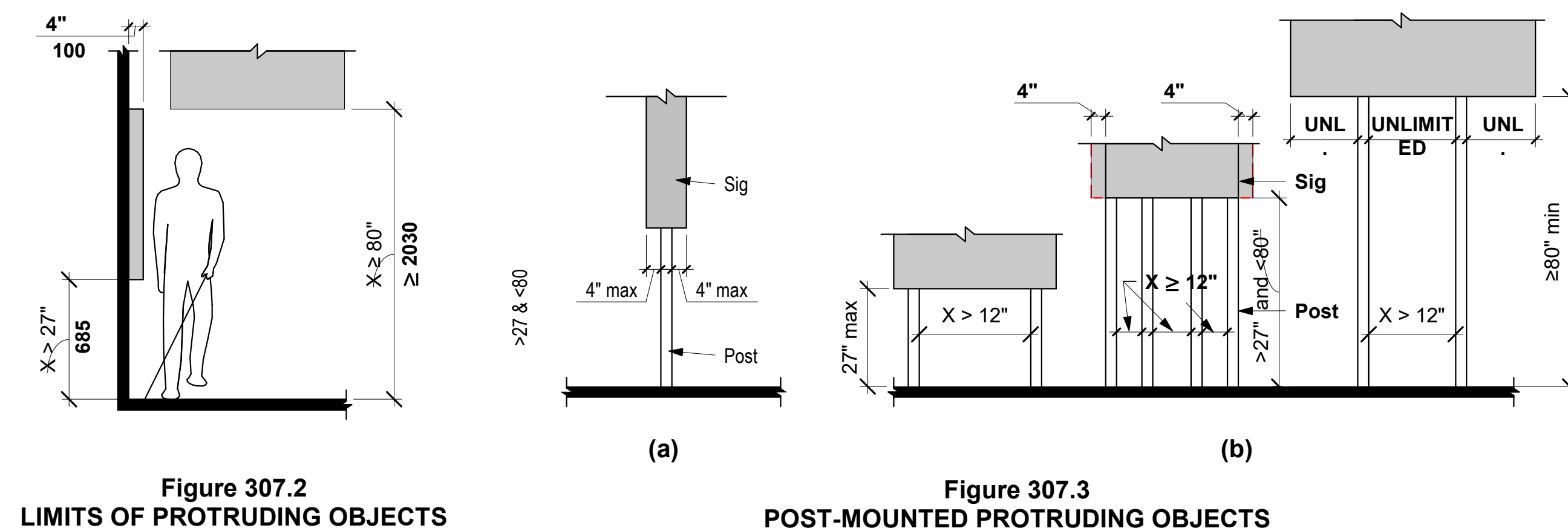
A.902



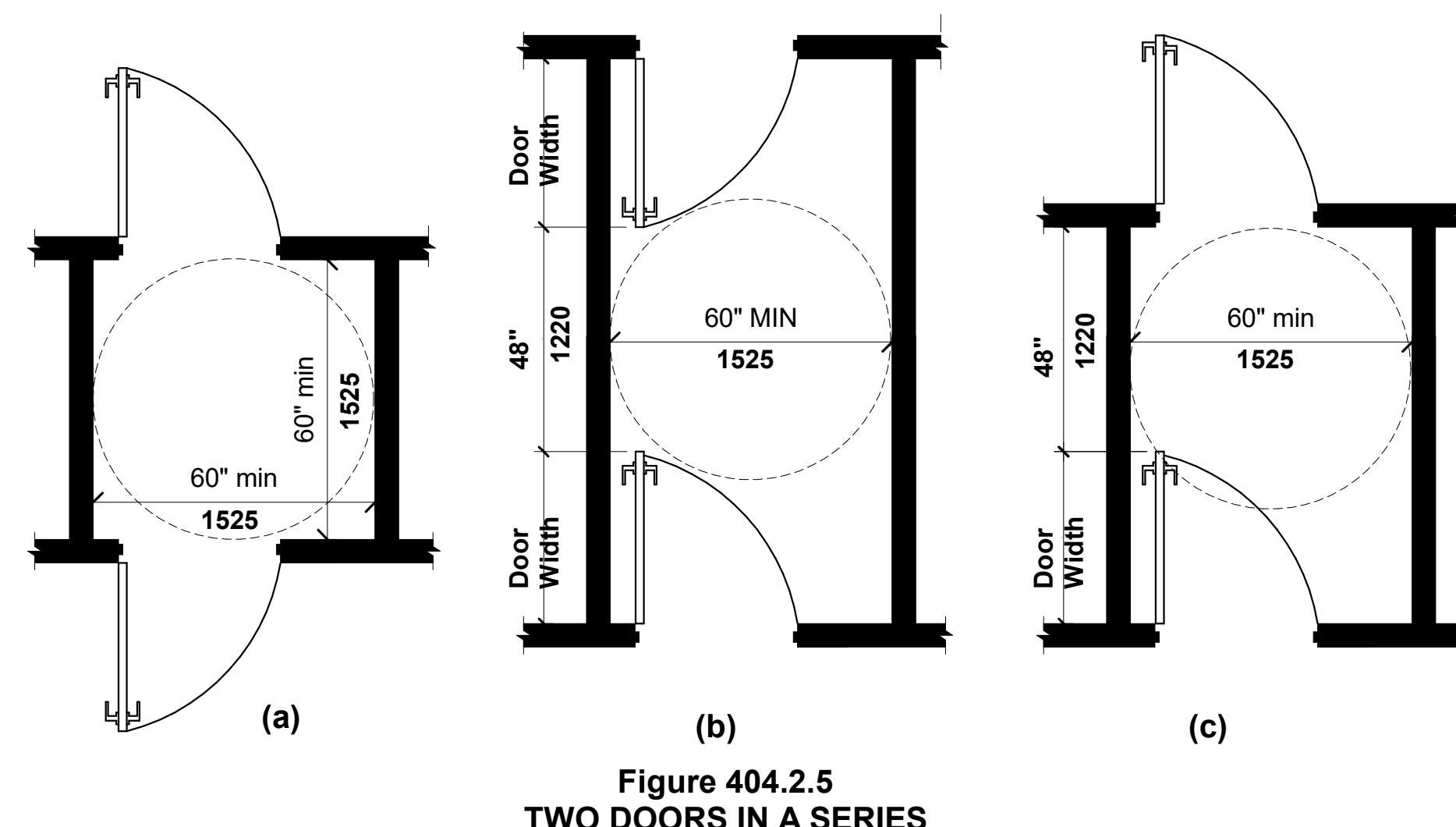
C3 ACCESSORIES



D3 ICC/ANSI 306 Knee and Toe Clearance



B3 ICC/ANSI 307 Protruding Objects



**Figure 404.2.5
 TWO DOORS IN A SERIES**