

THE PRESTON PARTNERSHIP, LLC
A MULTI-DISCIPLINARY DESIGN FIRM

SOUTH TERRACES
115 PERIMETER CENTER PLACE, SUITE 950
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CONSULTANT



01-15-2016

IRBY AVENUE

61 IRBY AVE NW
ATLANTA, GA 30305

ALLIANCE RESIDENTIAL

3715 NORTHSIDE PARKWAY
SUITE 1-102
ATLANTA, GEORGIA, 30327

ISSUES & REVISIONS _____ DATE

DATE 01/15/2016

JOB NUMBER 1500302

DRAWN BY AJC

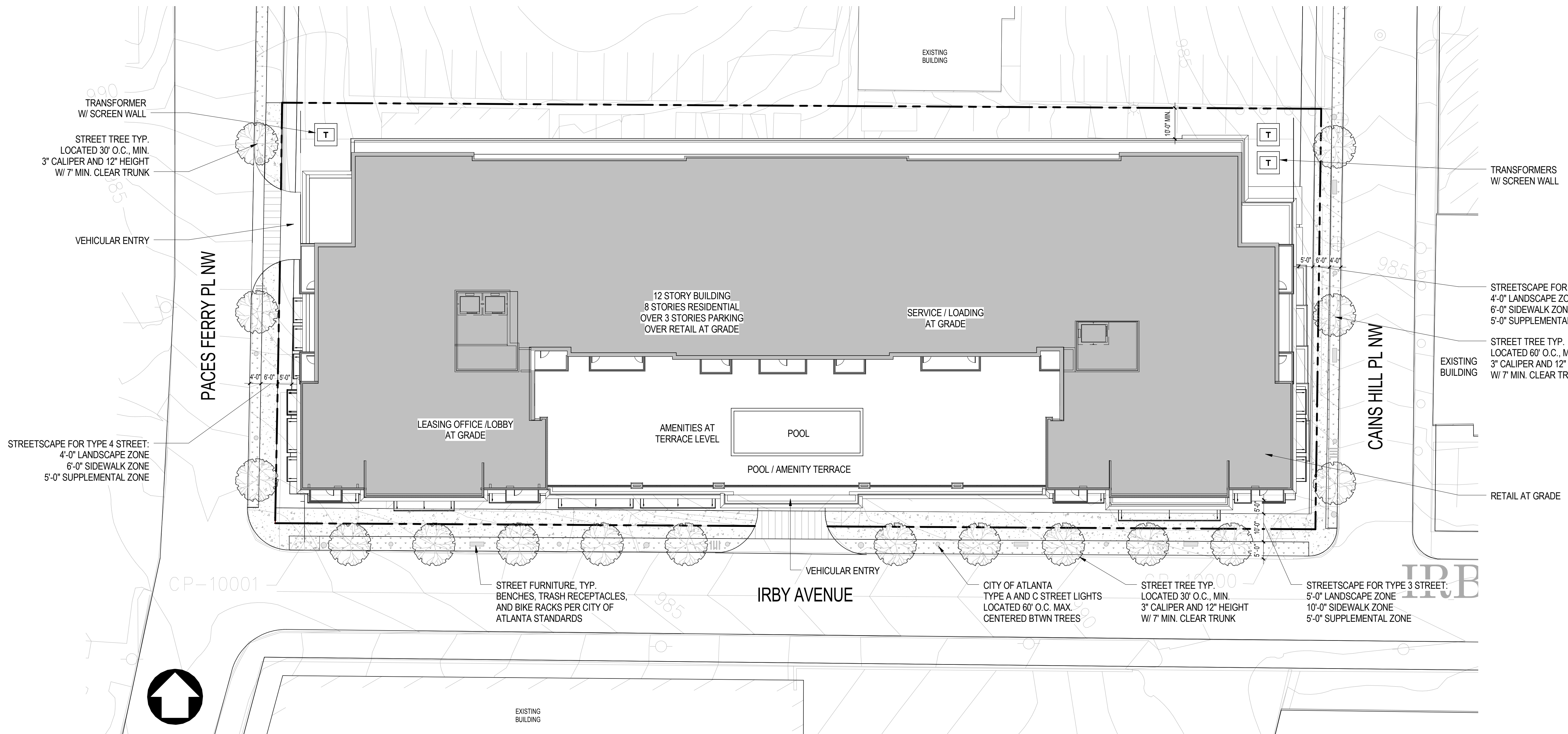
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SHEET TITLE ZONING SITE PLAN

SHEET NUMBER

SP-01

COMMENTS



1 SITE PLAN
SCALE: 1" = 20'-0"

ZONING INFORMATION

ZONING
SPT-9, SUBAREA 3 (BUCKHEAD VILLAGE DISTRICT, EXTENDED VILLAGE)

SITE AREA
3195 PACES FERRY PLACE: 10,100 SF
3193 PACES FERRY PLACE: 10,086 SF
3191 PACES FERRY PLACE: 10,126 SF
3190 CAINS HILL PLACE: 25,315 SF
TOTAL 56,627 SF (1.277 ACRES)

55,627 SF NET LOT AREA (NLA)
72,773 SF GROSS LOT AREA (GLA)

SETBACKS
IRBY AVENUE (TYPE 3 STREET) - 20' MAX. FROM BACK OF SIDEWALK
PACES FERRY PLACE & CAINS HILL PLACE (TYPE 4 STREET) - 10' MAX. FROM BACK OF SIDEWALK

SIDEWALKS
CONSISTING OF 2 ZONES - AMENITY ZONE ADJACENT TO THE CURB AND A WALK ZONE IMMEDIATELY CONTIGUOUS TO AMENITY ZONE. PUBLIC SIDEWALKS SHALL HAVE MINIMUM WIDTHS AS SPECIFIED BY STREET TYPE
STREET TYPE 3: 5' AMENITY ZONE, 10' WALK ZONE
STREET TYPE 4: 4' AMENITY ZONE, 6' WALK ZONE

SUPPLEMENTAL ZONE
STREET TYPE 3 & 4: VARIES

DEVELOPMENT CONTROLS:
MAX. FAR: 8.2 AND 1.5 WITHOUT BONUSSES (MAP ATTACHMENT A)

EXISTING FAR ALLOWED

3195 PACES FERRY PLACE:	8.2 FAR X 10,100 SF	= 82,820 SF
3193 PACES FERRY PLACE:	1.5 FAR X 10,086 SF	= 15,129 SF
3191 PACES FERRY PLACE:	1.5 FAR X 10,126 SF	= 15,189 SF
3190 CAINS HILL PLACE:	8.2 FAR X 25,315 SF	= 207,583 SF
TOTAL		= 320,721 SF NLA ALLOWED

PROPOSED FAR ALLOWED - 5,587 FAR

5,587 FAR X 55,627 SF NLA	= 310,788 SF ALLOWED
5,587 FAR X 72,773 SF GLA	= 406,585 SF ALLOWED

RESIDENTIAL PROPOSED = 384,969 SF (5.29 FAR)
COMMERCIAL PROPOSED = 15,000 SF (0.297 FAR)
TOTAL PROPOSED = 399,969 SF (5.587 FAR)

BUILDING HEIGHT:
MAXIMUM BUILDING HEIGHT: 150'
PROPOSED BUILDING HEIGHT: 150'

MINIMUM USABLE OPEN SPACE (USOR):
25% OF NLA IS REQUIRED FOR ANY PARCEL OVER 1 ACRE
56,627 SF NLA X 25% = 13,907 SF REQUIRED

OPEN SPACE PROVIDED
56,627 SF NLA - 44,958 SF BUILDING FOOTPRINT = 10,669 SF OPEN SPACE + 3,116 SF WALK ZONE + 1,000 SF GREEN AMENITY ROOF = 14,785 SF OPEN SPACE PROVIDED

PARKING REQUIRED
-RESIDENTIAL MAXIMUM: 2 PARKING SPACES PER UNIT + 1/2 HALF SPACE FOR EACH UNIT WITH 3 OR MORE BEDROOMS + 1/3RD SPACE PER UNIT FOR GUEST PARKING
-RETAIL MAXIMUM: 1 SPACE FOR EACH 300 SF OF FLOOR AREA
-PARKING MINIMUMS: 75% OF MAXIMUM

PARKING PROVIDED
4.5 LEVELS PARKING (3 LEVELS ABOVE GRADE / 1.5 LEVELS BELOW GRADE)
521 SPACES PROVIDED TO COMPLY WITH THE MINIMUM AND MAXIMUM PARKING REQUIREMENTS LISTED ABOVE

BICYCLE PARKING REQUIRED
-MULTIFAMILY: MINIMUM OF 1 SPACE PER 5 MULTIFAMILY UNITS, NOT TO EXCEED 50
-NON-RESIDENTIAL: MINIMUM OF 1 SPACE PER 4,000 SF, NOT TO EXCEED 50

BICYCLE PARKING PROVIDED
BICYCLE PARKING SPACES PROVIDED TO COMPLY WITH THE MINIMUM REQUIREMENTS LISTED ABOVE

LOADING REQUIREMENTS
-RESIDENTIAL 201 UNITS AND ABOVE: 3 SPACES (12' X 35')
-RETAIL 10,001 - 40,000 SF FLOOR AREA: 1 SPACE (12' X 35')

LOADING PROVIDED
2 LOADING BERTHS PROVIDED (SERVICE AT GROUND LEVEL OFF IRBY AVE)

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IRBY
AVE.

CAINS
HILL PL