

GENERAL NOTES

- By use of the Drawings for Construction of the Project, the Owner represents that he or she has reviewed and approved the Drawings, and that the construction document phase of the Project is complete.
- Before submitting bid, Contractor shall visit the job site and verify any and all conditions and items as may be deemed necessary for the construction of this project, whether or not shown in these plans.
- Contractor shall acquaint himself with all Landlord requirements and shall comply fully with such.
- Contractor shall prepare or caused to be prepared a contract with Tenant/Owner in the form of the current edition of document A-101 of the American Institute of Architects. This contract shall hereby become a part of these plans and specifications the same as if bound herein.
- Contractor shall carry adequate liability insurance to satisfy landlord's requirements.
- Contractor shall verify existing conditions and effect all alterations and modifications necessary to deliver complete store installations to conform to contract drawings and specifications.
- Contractor shall coordinate his work with all other contractors furnishing the labor, materials, and all work, so that the work as a whole shall be executed and completed without conflict or delay.
- All materials furnished and installed under this contract shall be new, free from all defects, and shall be guaranteed for a period of one (1) year from date of acceptance of work. Should any trouble develop during this period due to defective material or faulty workmanship, Contractor shall correct the trouble without cost to Tenant/Owner. Any defects noticed at the time of installation shall be corrected immediately to the satisfaction of Tenant.
- Contractor shall cause the work to be diligently pursued until entirely completed.
- It shall be the responsibility of the Contractor to acquaint himself with the dimensions of all equipment included in this project so that preparations can be made to provide entry into the lease space with sufficient clearance, and to insure that adequate floor space is available.
- Contractor shall verify all dimensions and conditions on site (above and below slab) prior to any work. Any discrepancies must be brought to the attention of the Architect immediately.
- Contractor shall coordinate the requirements of any and all drawings including architectural, mechanical, and electrical. Any conflicts shall be brought to the attention of the Tenant and the Architect prior to any work.
- Contractors shall never scale drawings. Locations for all partitions, walls, ceilings, etc. will be determined by dimensions on the drawings. Any such dimensions missing from the plans must be brought to the attention of the Architect immediately.
- The contractor shall adhere to the drawings and specifications. Should any error or inconsistency appear regarding the true meaning and/or intent of the drawings or specifications, the Contractor shall immediately report same to the Architect who will make any necessary clarification/interpretation, or revisions as required.
- Dimensions on floor plans and sections are to face of stud unless noted otherwise. Dimensions on reflected ceiling plans are to finished face unless noted otherwise.
- If the Contractor proceeds with the work without notifying the Architect of any such discrepancies, he shall assume all charges and make any changes to his work made necessary by his failure to observe and/or report the condition.
- Any and all changes in work-as-bid shall be made on AIA Form G-701 Change Order form and shall be signed by all necessary parties.
- Contractor shall provide adequate protection of work, materials, fixtures, etc. in leased space from loss, damage, fire, theft, etc.
- Wherever the term "or equal" is used, it shall mean equal product as approved in writing by Architect.
- Contractor shall provide all necessary bracing to structure for interior partitions, ceiling, platforms, etc., whether shown on drawings or not.
- Provide and install all necessary inwall framing required to carry shelf, hanging, and valance loads, railings, etc. as per plans.
- Contractor shall furnish and install all lamps in lighting fixtures as specified in the drawings. Lamps shall be guaranteed for a period of one (1) month from the date of acceptance of work unless otherwise noted on the plans.
- Contractor & SubContractor to provide personnel & equipment to directionally adjust all light fixtures per the direction of the Architect or Designer. This adjustment is to occur after sundown prior to the Project opening.
- Contractor shall be responsible for installation and removal of all barricades as required.
- Provide clear 100% silicone sealant at all joints and interfaces of all countertops, equipment and walls. (Unless noted otherwise)
- All work shall conform to the requirements of all local laws, rules and regulations of all legally constituted Public Authorities having jurisdiction. In case of conflict between requirements, the most restrictive shall apply.
- Project shall be left cleaned and polished after completion of work.

PROJECT DIRECTORY

OWNER
FIFTH GROUP RESTAURANTS
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PEACHTREE CENTER/INTERNATIONAL
TOWER/SUITE 600
ATLANTA, GEORGIA 30303

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PROPERTY OWNER
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SPECIALTY RETAIL PROJECT MANAGER
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LANDSCAPE CONSULTANT

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STRUCTURAL CONSULTANT

KITCHEN CONSULTANT
TRIMARK
FOOD SERVICE EQUIPMENT, SUPPLIES
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SYMBOLS LEGEND

EXISTING STRUCTURAL COLUMN GRID		
PROPOSED STRUCTURAL COLUMN GRID		
DIMENSION - FACE OF STRUCTURE / STUD		
DIMENSION - FINISH FACE (CLEAR)		
DIMENSION TO CENTERLINE (CL)		
ELEVATION MARK		ELEVATION REFERENCE POINT
INTERIOR ELEVATION REFERENCE		DRAWING NUMBER DIRECTION OF VIEW SHEET NUMBER
EXTERIOR ELEVATION REFERENCE		DRAWING NUMBER DIRECTION OF VIEW SHEET NUMBER
ENLARGED PLAN / DETAIL REFERENCE		DRAWING NUMBER SHEET NUMBER
SECTION CUT REFERENCE		DRAWING NUMBER DIRECTION OF VIEW SHEET NUMBER
SPACE NAME & NUMBER		SEE SCHEDULES
DOOR NUMBER		SEE SCHEDULE
PARTITION TYPE		SEE LEGEND & SCHEDULE
CEILING TYPE & HEIGHT		SEE LEGEND & SCHEDULE
FINISH / FURNISHING INDICATOR		SEE SCHEDULES
ACCESSORY		SEE SCHEDULE
REVISION INDICATOR		REVISION NUMBER
AREA ON HOLD		AREA REVISED
		AREA ON HOLD

PROJECT SCOPE

PROJECT IS FOR A FREE STANDING SINGLE STORY RESTAURANT THAT IS TO INCLUDE OUTDOOR DINING AND A BASEMENT PREP AREA.

CODE INFORMATION

CITY OF ATLANTA, GEORGIA, FULTON COUNTY, SPI-12

- INTERNATIONAL BUILDING CODE 2012, WITH 2014 GEORGIA AMENDMENTS
- INTERNATIONAL FIRE CODE, 2012 EDITION WITH GEORGIA AMENDMENTS
- INTERNATIONAL FUEL GAS CODE, 2012 EDITION WITH GEORGIA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE, 2012 EDITION WITH GEORGIA AMENDMENTS
- INTERNATIONAL PLUMBING CODE, 2012 EDITION WITH GEORGIA AMENDMENTS.
- INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION WITH GEORGIA SUPPLEMENTS AND AMENDMENTS.
- NATIONAL ELECTRICAL CODE, 2014 EDITION WITH NO AMENDMENTS
- NATIONAL FIRE PROTECTION ASSOCIATION WITH 101 LIFE SAFETY CODE, 2012 EDITION WITH GEORGIA AMENDMENTS
- RULES AND REGULATIONS OF THE SAFETY FIRE COMMISSIONER FOR THE STATE MINIMUM FIRE SAFETY STANDARDS, CHAPTER 120-3-3 JANUARY 15, 2014 (GEORGIA SAFETY FIRE LAW)
- GEORGIA STATE HANDICAPPED ACCESSIBILITY LAW 120-3-20A/2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

PROJECT DATA

A. OCCUPANCY ASSEMBLY A-2 (RESTAURANT)

B. OCCUPANT LOAD CALCULATIONS
SINGLE STORY RESTAURANT WITH BASEMENT PREP KITCHEN
TOTAL G.S.F. 1061 SF
TOTAL CALCULATED OCCUPANTS 305 PERSONS

INTERIOR F.O.H. SEATING AREA 2,968 NSF/15 SF/PERSON = 198 OCC.
EXTERIOR F.O.H. SEATING AREA 1,157 NSF/15 SF/PERSON = 77 OCC
INTERIOR B.O.H. KITCHEN AND STORAGE 3,000 NSF / 100 = 30 OCC.
TOTAL OCCUPANTS BY AREA = 305 OCCUPANTS

B. PLUMBING LOAD CALCULATIONS

FRONT OF HOUSE
278/2 = 137.5/75 = 1.83 OR 2 FEMALE
275/2 = 137.5/75 = 1.83 OR 2 MALE
3 FEMALE AND 3 MALE PROVIDED IN FRONT OF HOUSE AREA

BACK OF HOUSE AND STORAGE
30/2 = 15/75 = .2 OR 1 FEMALE
30/2 = 15/75 = .2 OR 1 MALE
1 FEMALE AND 1 MALE EMPLOYEE TOILET ROOM PROVIDED

D. CONSTRUCTION TYPE IIB - FULLY SPRINKLERED

E. NUMBER OF STORIES ONE STORY

PHIPPS RESTAURANT



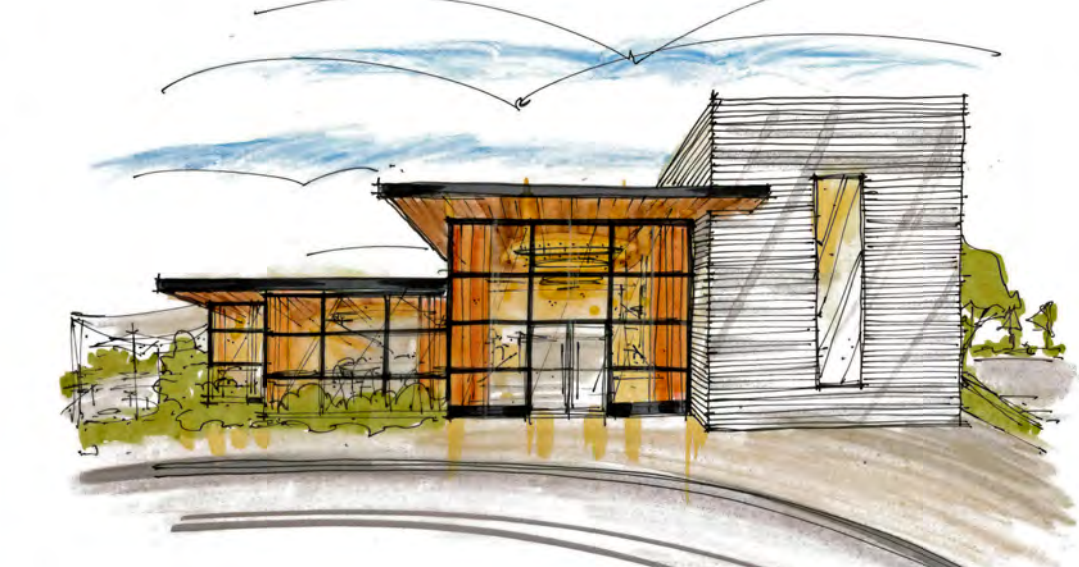
PATIO VIEW FROM PEACHTREE WIEUCA CORNER



VIEW FROM PEACHTREE WIEUCA CORNER



PATIO VIEW FROM RESTAURANT ENTRY DRIVE



VALET DROP OFF AND MAIN ENTRY

INDEX OF DRAWINGS

SHEET	TITLE	LAST REV.	SHEET	TITLE	LAST REV.
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C9.1	ENLARGED SAP SITE PLAN	01.06.15			
C9.2	UOSR TABULATION AND PLAN	01.06.15			
	LANDSCAPING				
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A2.10	RESTAURANT BASEMENT FLOOR PLAN	01.06.15			
A2.11	FIRST FLOOR PLAN	01.06.15			
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A3.12	EXTERIOR ELEVATIONS	01.06.15			
A4.11	BUILDING SECTIONS	01.06.15			
	STRUCTURAL				
	KITCHEN EQUIPMENT				
	MECHANICAL				
	ELECTRICAL				
	PLUMBING				
	FIRE SAFETY				



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PHIPPS
RESTAURANT
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ATLANTA, GEORGIA
30326

PRINT LOG

DATE	REMARKS
01.08.2016	SAP SUBMITTAL

SHEET TITLE: DRAWING COVER/TITLE SHEET

TJS PROJECT NO. 15-31.00

DRAWN: MCA CHECKED: BF

DATE: 01.06.2016

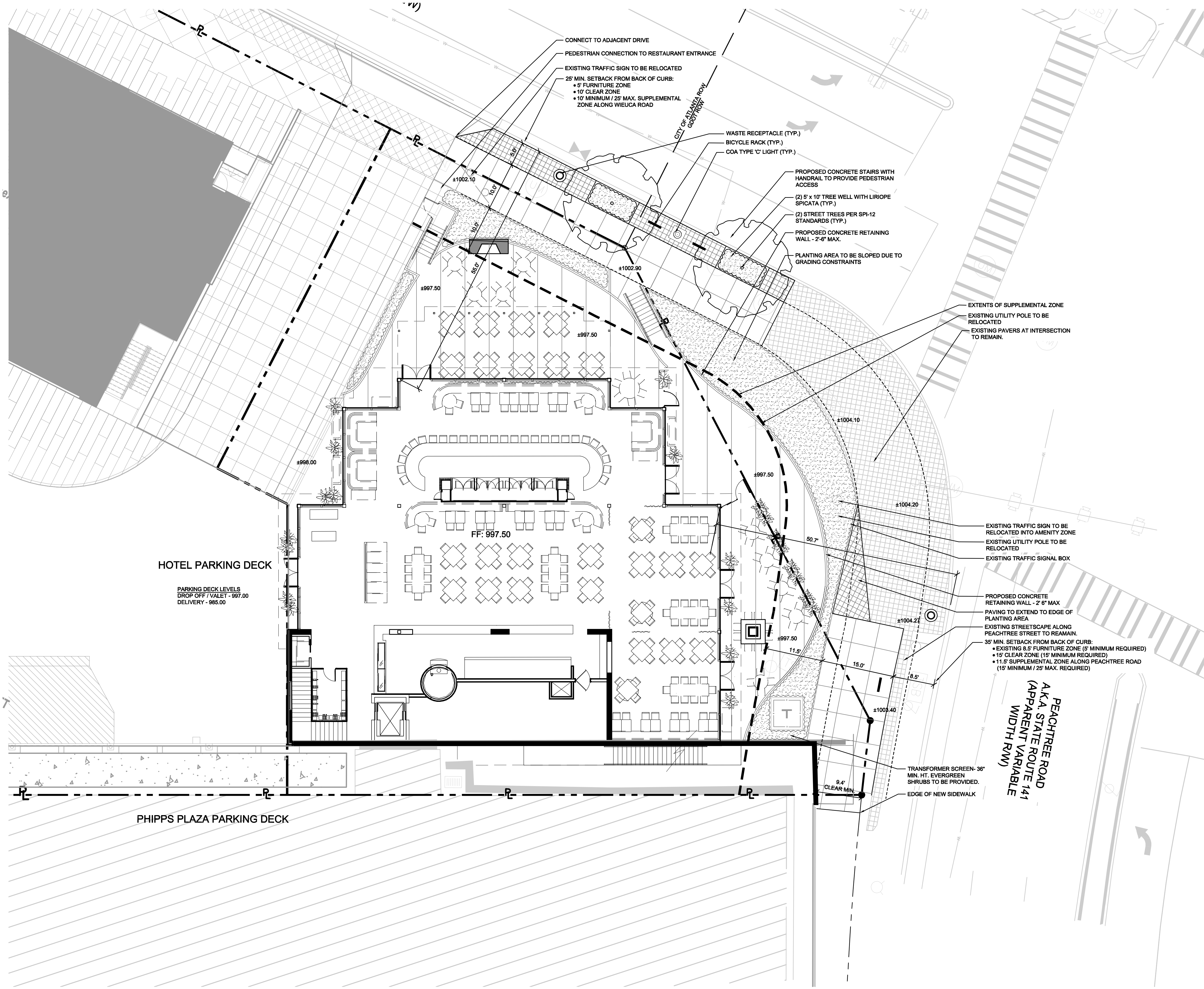
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SHEET NO.

T.1

SAP File Number: XX-AAA

Zoning Classification
SPI-12 Subarea 1



HOTEL PARKING DECK

PARKING DECK LEVELS
DROP OFF / VALET - 997.00
DELIVERY - 985.00

FF: 997.50

PHIPPS PLAZA PARKING DECK

PEACHTREE ROAD
A.K.A. STATE ROUTE 141
(APPARENT VARIABLE
WIDTH RW)

seal

**PHIPPS
RESTAURANT**
3462 PEACHTREE ROAD
ATLANTA, GEORGIA
30326

PRINT LOG

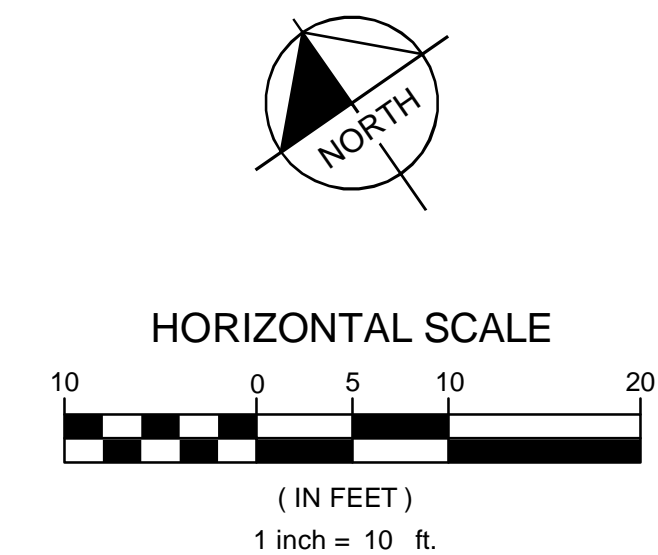
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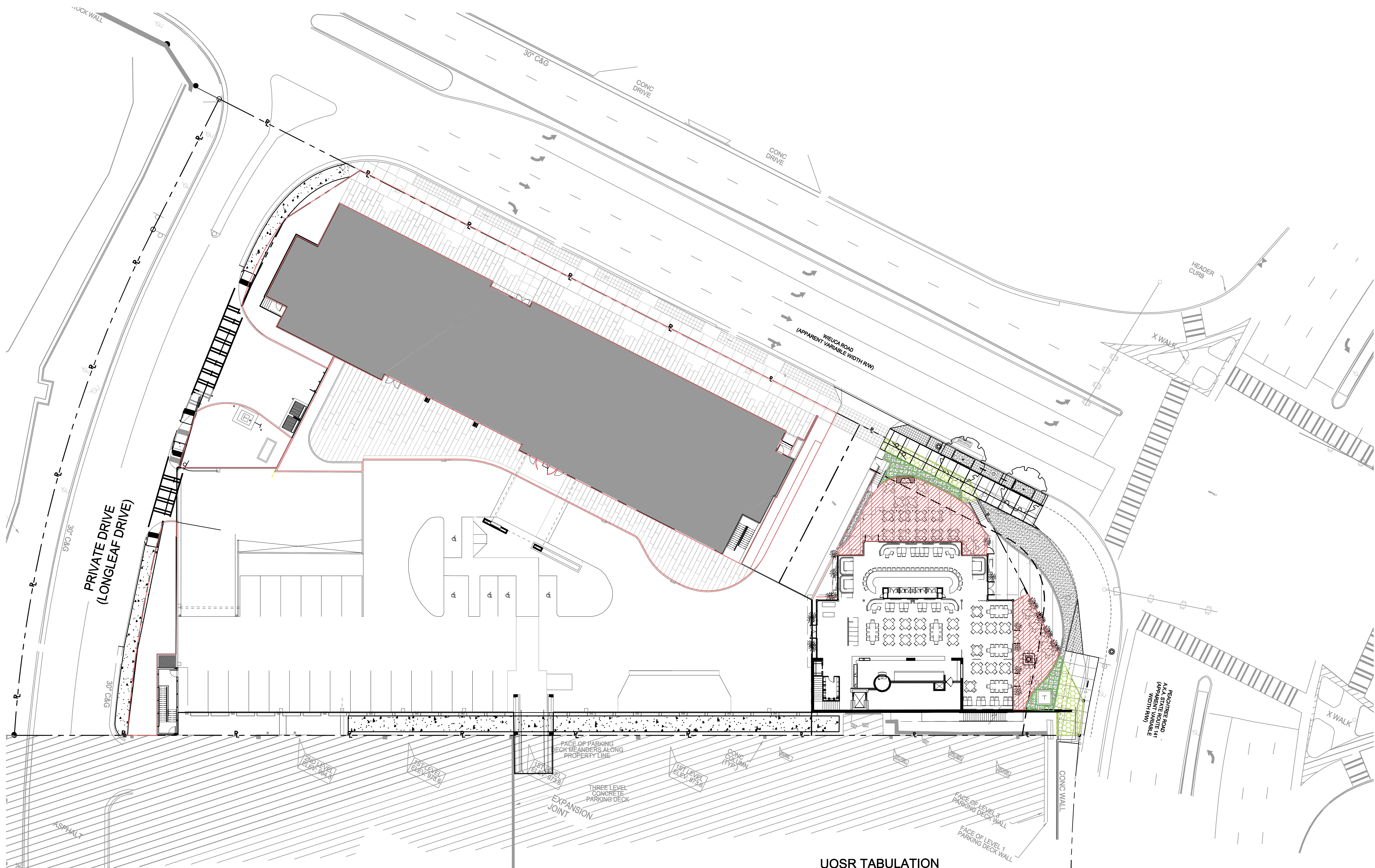
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TJS PROJECT NO: 15-31.00
DRAWN: MCA CHECKED:
DATE: 01.06.2016

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SHEET NO.

C9.1





seal

PHIPPS RESTAURANT

3462 PEACHTREE ROAD
ATLANTA, GEORGIA
30326

PRINT LOG

DATE	REMARKS
01.06.2016	DRC PACKAGE

SHEET TITLE: UOSR EXHIBIT
TJS PROJECT NO: 15-31.00
DRAWN: MCA CHECKED:
DATE: 01.06.2016

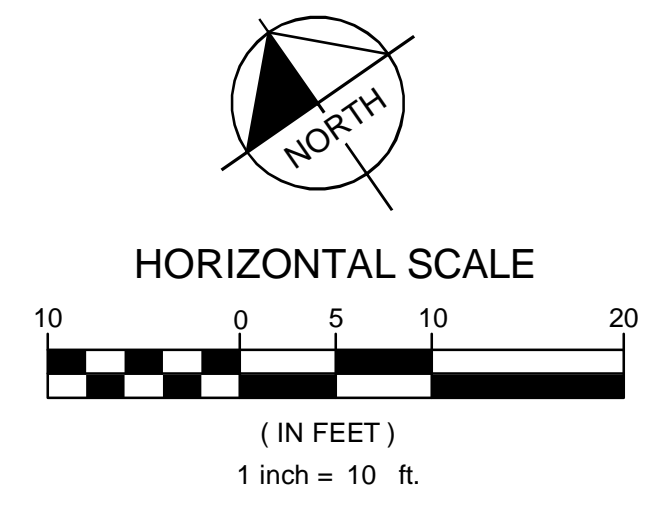
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SHEET NO.
C9.2

UOSR TABULATION

-  16,069 sf Open space provided by hotel site (SAP-14-58)
-  460 sf Greenspace
-  448 sf Sidewalk (Private Property)
-  1,985 sf Outdoor Dining

TOTAL OPEN SPACE: 18,962 sf



PHIPPS
RESTAURANT
3462 PEACHTREE ROAD
ATLANTA, GEORGIA
30326

DATE	REMARKS
01.06.2016	SAP SUBMITTAL

SHEET TITLE: MAIN FLOOR PLAN

TJS PROJECT NO. 15-31.00

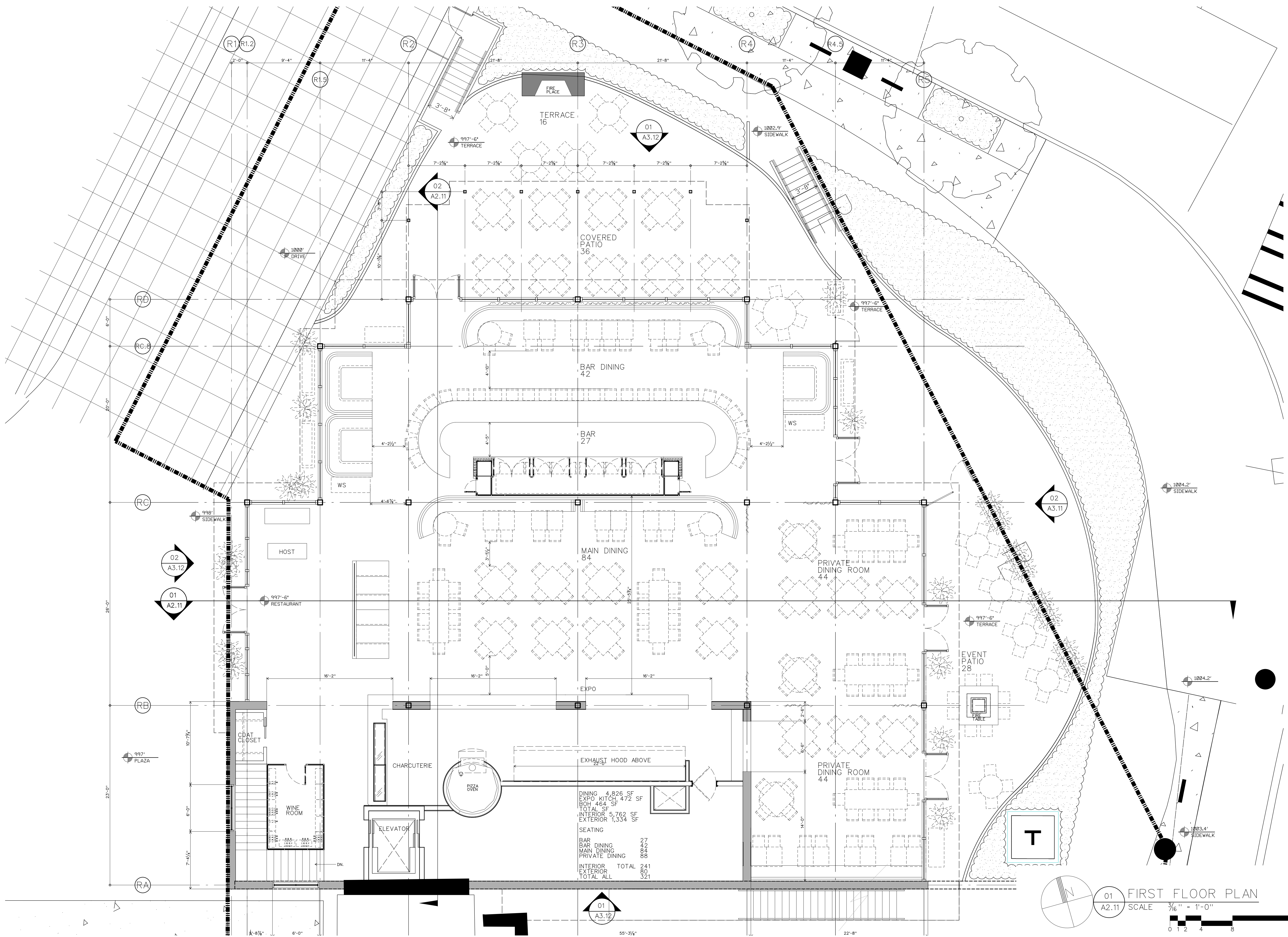
DRAWN: MCA CHECKED: BF

DATE: 01.06.2016

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SHEET NO.

A2.11



DINING	4,826 SF
EXPO KITCHEN	472 SF
BOH	464 SF
TOTAL SF	
INTERIOR	5,762 SF
EXTERIOR	1,334 SF
SEATING	
BAR	27
BAR DINING	42
MAIN DINING	84
PRIVATE DINING	88
INTERIOR TOTAL	241
EXTERIOR	80
TOTAL ALL	321

01 FIRST FLOOR PLAN
A2.11 SCALE 3/16" = 1'-0"

