

BUCKHEAD - PARCEL F

SPI-9 DEVELOPMENT REVIEW COMMITTEE EXHIBIT - JULY 30, 2015



Oliver McMillan

Gensler

GENERAL INFORMATION

PROJECT TEAM

Client - Oliver McMillan

Architect - Gensler

General Contractor - Holder Construction

Structural / Facade - Walter P. Moore

Civil Engineer - Kimley Horn & Associates, Inc.

MEP / HVAC Engineer - KLG

Parking - Watry Design, Inc.

Vertical Transportation - Lerch Bates, Inc.

Code Consultant / ADA - Code Consultants, Inc. (CCI)

Landscape Architect - Hoerr Schaudt

Interior Designer - Jules Wilson I.D.

Lighting Designer - ?

Acoustical Engineer - ?

Environmental Graphics - ?

PROJECT DESCRIPTION

Parcel F

DRAWING LIST

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ZONING ANALYSIS

SITE AREA = 68,430 sf approx.
F.A.R. ALLOWED = 8.2

TOTAL ALLOWABLE FLOOR AREA = 561,126 sf (8.2 FAR)
FLOOR AREA PROPOSED = 299,661 sf (4.37 FAR)
REMAINING AREA FOR FUTURE = 261,465 sf (3.83 FAR)

Proposed Principal Uses:

- Office
- Retail
- Food and Beverage
- Fitness

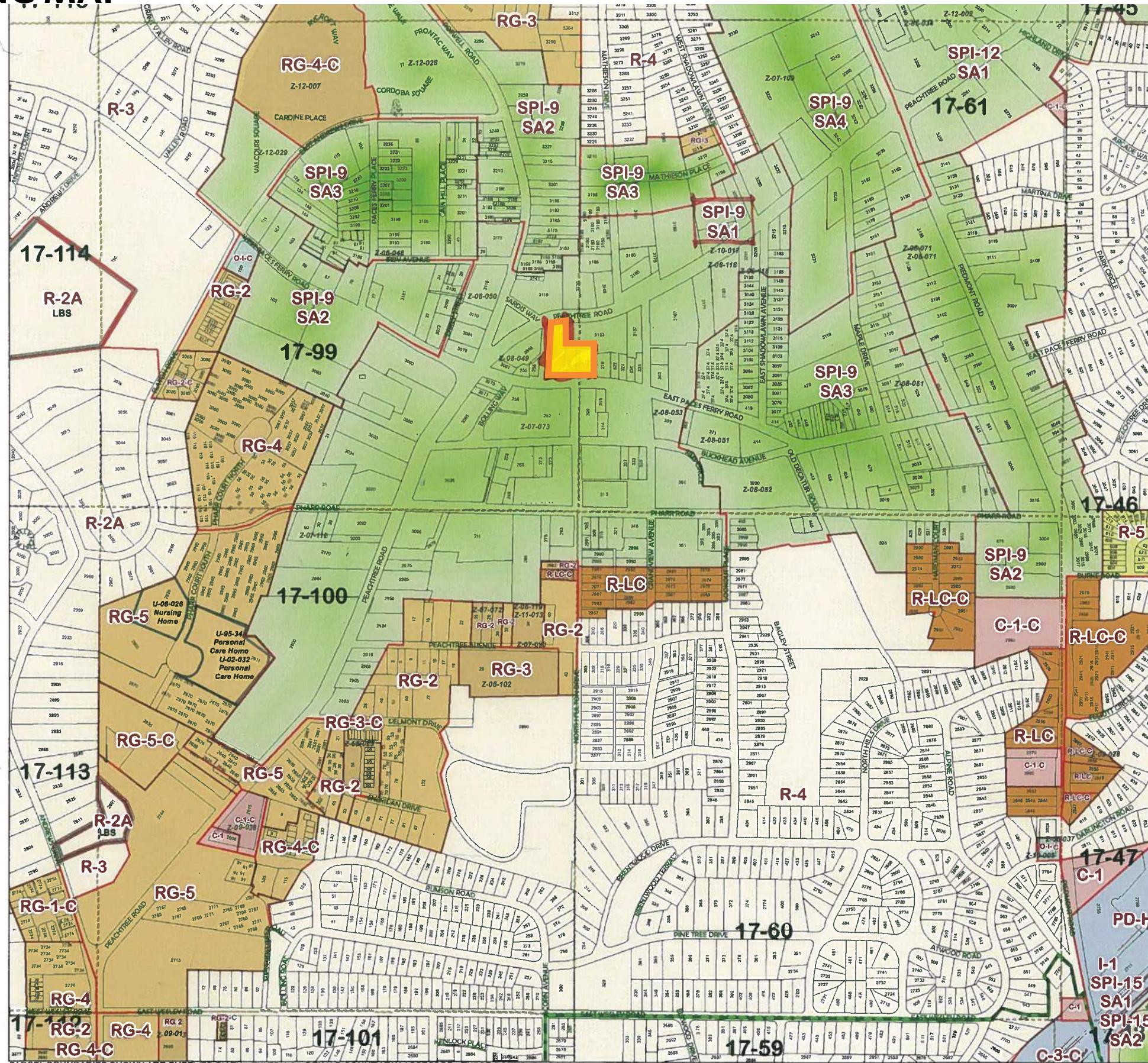
Max. Height Allowed (from average curb level) = 225'
Proposed Height (from average curb level) = 213'

Useable Open Space Required = 6,843 sf (10% of Site Area)
Useable Open Space Provided = 3,552 sf on Street + 14,649 sf on Level 10 Terrace

PROGRAM SUMMARY

<i>PROPOSED AREAS</i>		<i>REQUIRED PARKING</i>
• RETAIL/F&B	=28,923 sf	@3.3/1000 = 96 sp
• FITNESS	=37,430 sf	@5/1000 = 187 sp
• OFFICE	=233,303 sf	@2.5/1000 = 583 sp
TOTAL	=299,661 SF	=866 sp
Parking Provided		=874 sp

ZONING MAP



SHEET NO. 17-060

ZONING ORDINANCE CITY OF ATLANTA, GEORGIA OFFICIAL ZONING MAP

SHEET 93 OF 129 SHEETS
ORDINANCE Z-78-5
LAND LOTS _____
DISTRICT _____
COUNTY _____

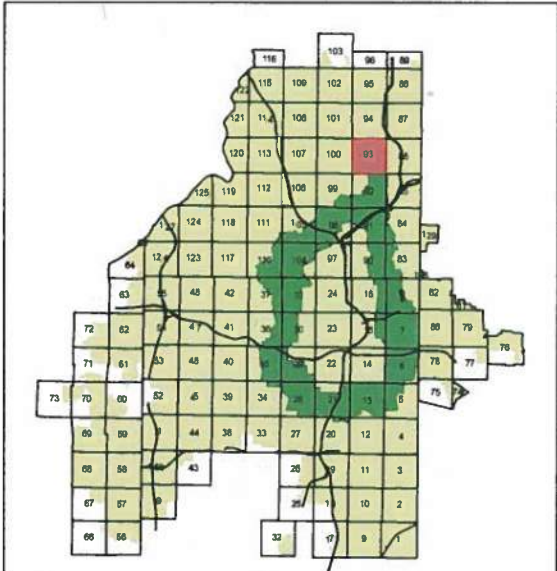
CERTIFICATION
THIS SHEET 93 OF 129 SHEETS IS HEREBY CERTIFIED AS INCLUDED IN THE OFFICIAL ZONING MAPS, ON FILE IN THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT, BUREAU OF PLANNING, AND FORMING A PART OF THE CITY OF ATLANTA ZONING ORDINANCE ADOPTED BY CITY COUNCIL ON DECEMBER 15, 1980 AND APPROVED BY THE MAYOR ON DECEMBER 19, 1980, AS AMENDED.

DIRECTOR, BUREAU OF PLANNING
CITY OF ATLANTA, GEORGIA _____ DATE _____
MUNICIPAL CLERK, CMC
CITY OF ATLANTA, GA _____ DATE _____

Legend

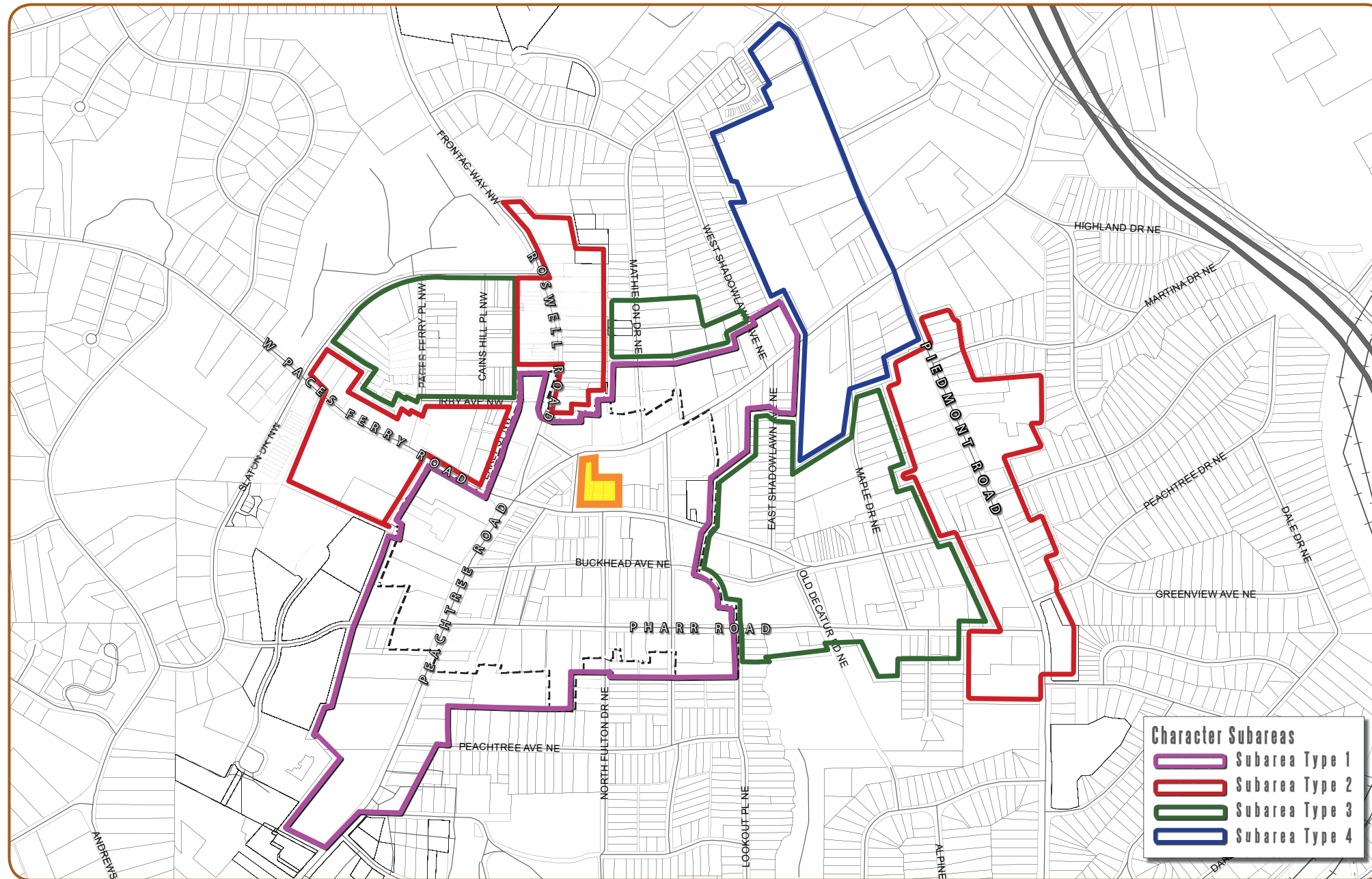
- | | |
|--------------------------|----------------------------------|
| Tax Parcels | Base Zoning |
| Zoning District Outline | SPI - Special Public Interest |
| Human Service Facilities | Commercial |
| LBS/HBS | Industrial |
| OVERLAY DISTRICTS | |
| Beltline | Historic & Cultural |
| SPI-19 | Live-Work |
| All Others | QOL Multi-Family |
| | QOL Mixed Use |
| | Neighborhood Commercial |
| | Office Institutional |
| | Planned Development |
| | Residential - Single Family |
| | Residential - Duplex |
| | Residential - Multi-Family |
| | Residential - Limited Commercial |

This document was compiled on September 09, 2013

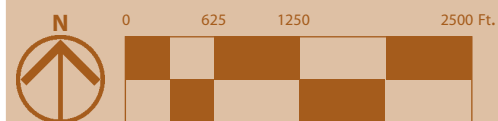


PARCEL BOUNDARIES SHOWN ARE SUPPLIED BY THE FULTON OR DEKALB COUNTY TAX ASSESSOR. THESE BOUNDARIES MAY NOT REPRESENT THE BOUNDARIES RECOGNIZED BY THE CITY OF ATLANTA FOR THE PURPOSES OF ISSUING BUILDING PERMITS.

CHARACTER SUBAREAS MAP



CHARACTER SUBAREAS



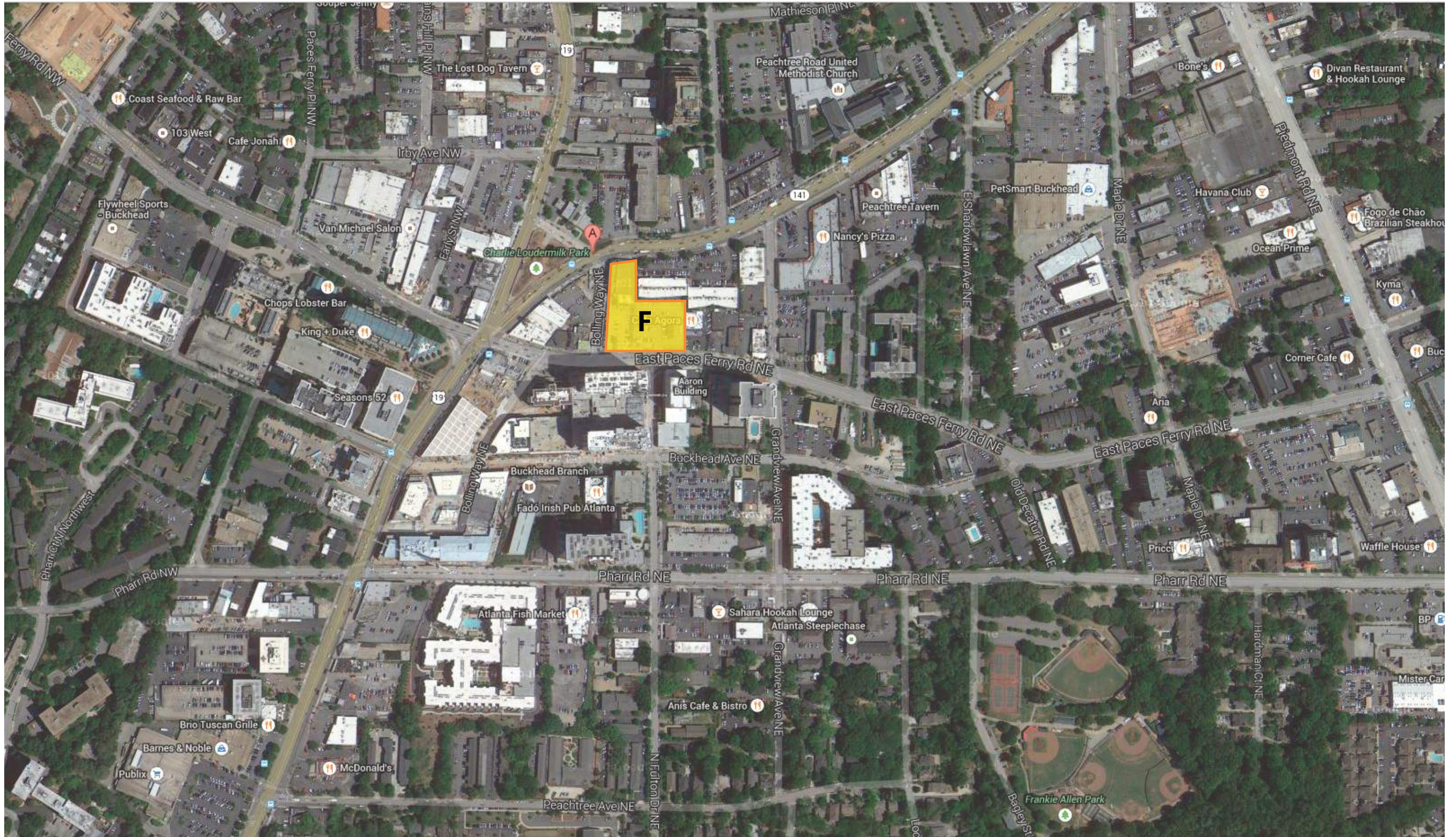
Map Created: March 25, 2010

BUCKHEAD SPI-9 EXPANSION AND UPDATE

Urban Collage in association with
Jordan, Jones & Goulding, Inc.,
Kimley-Horn and Associates, Inc., and
RCLCO



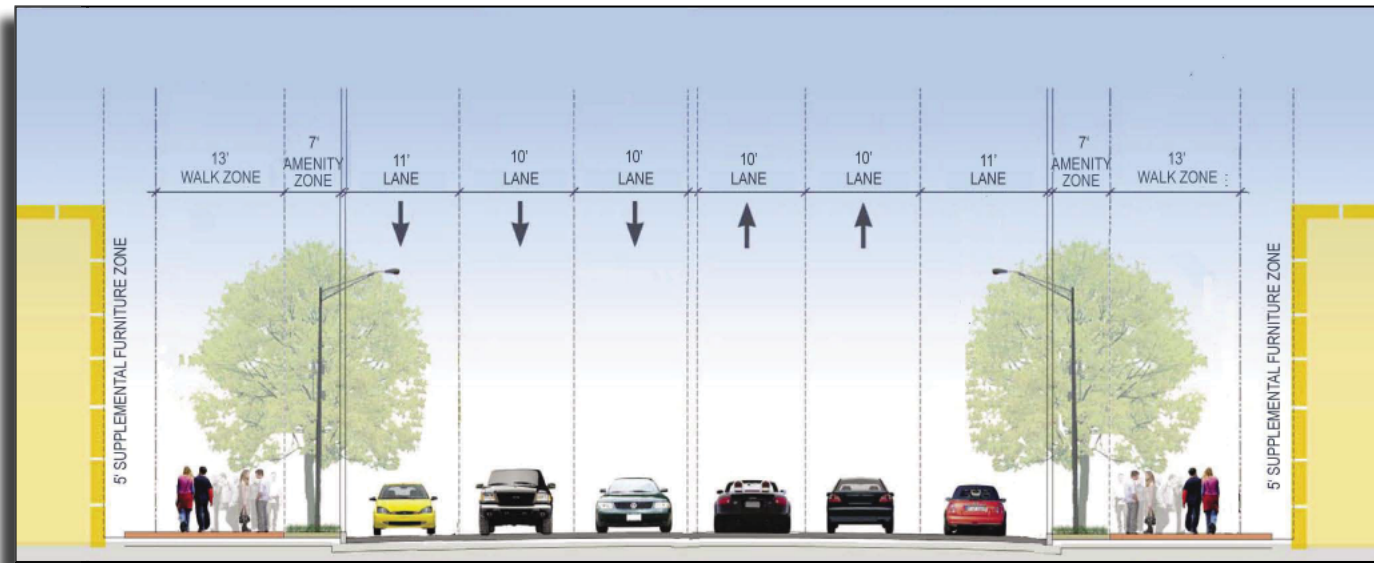
AERIAL MAP



SITE PLAN

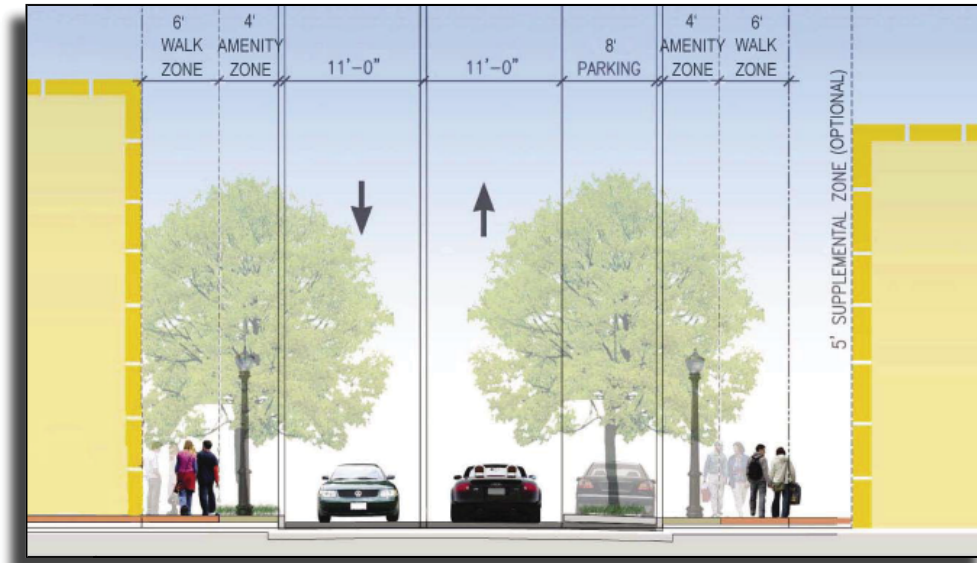


STREETScape DESIGN STANDARDS



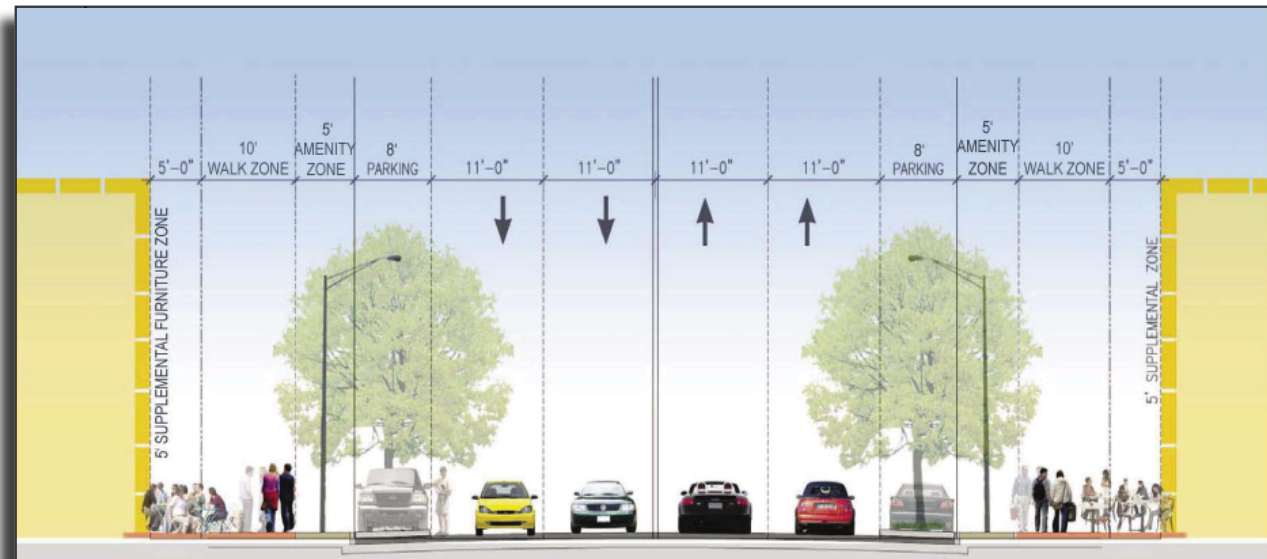
Peachtree St.
TYPE 1 STREET

Illustration from Buckhead Village Streetscape Design Standards
May 2006 by EDAW and Kimley-Horn & Associates, Inc.
Updated by Urban Collage, Inc December 2008.



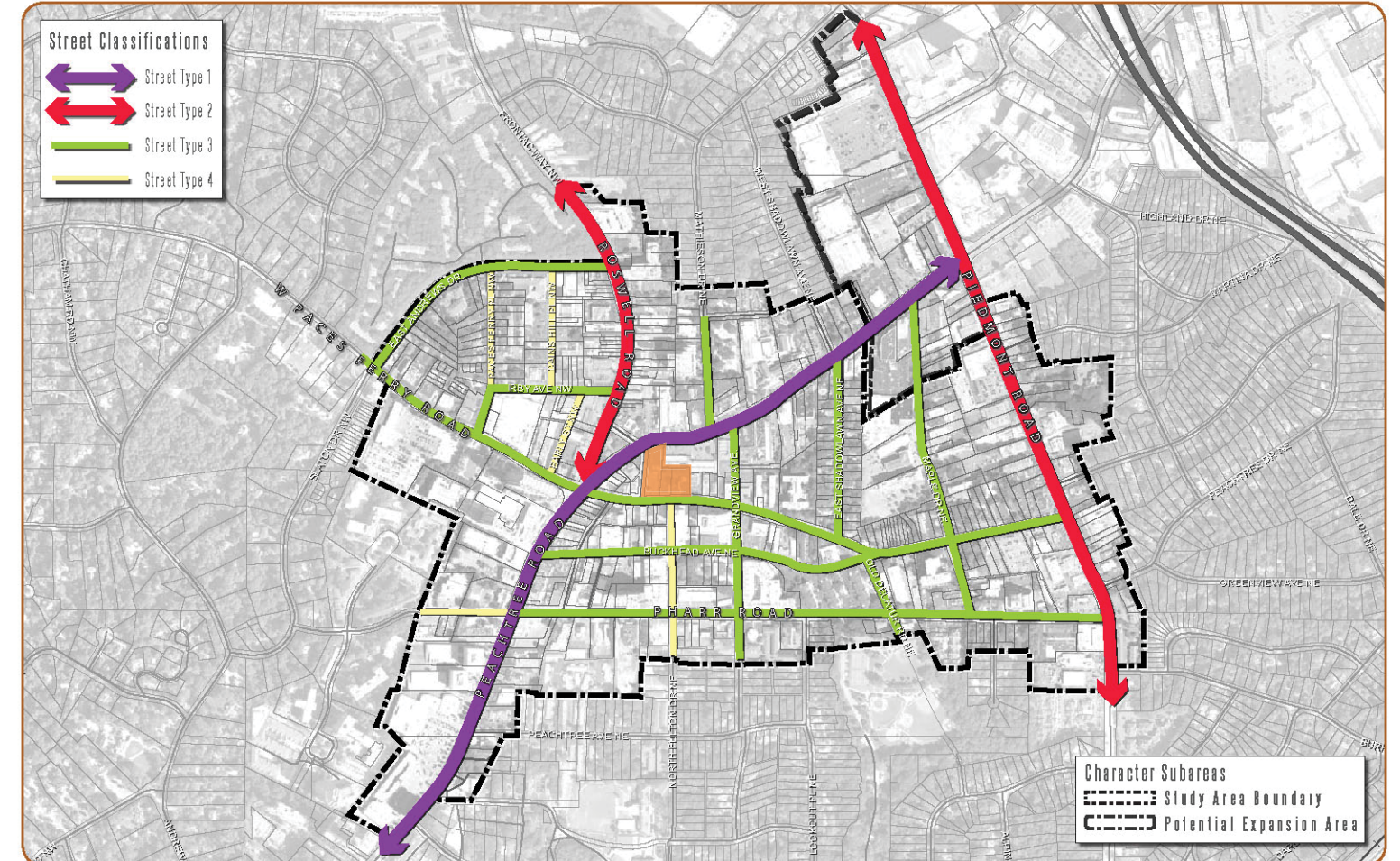
TYPE 4 STREET

Illustration from Buckhead Village Streetscape Design Standards
May 2006 by EDAW and Kimley-Horn & Associates, Inc.
Updated by Urban Collage, Inc December 2008.

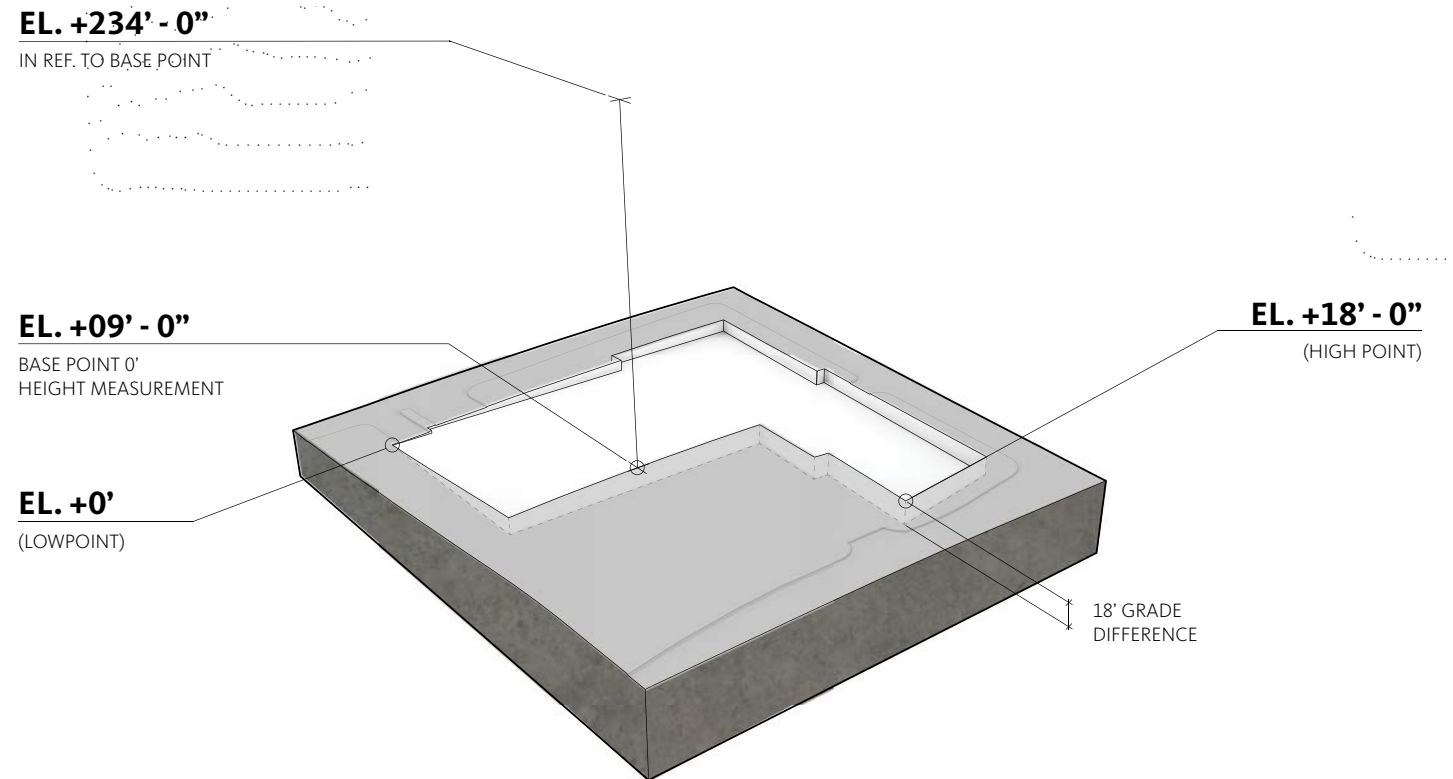


Typical with 4 travel lanes
TYPE 3 STREET

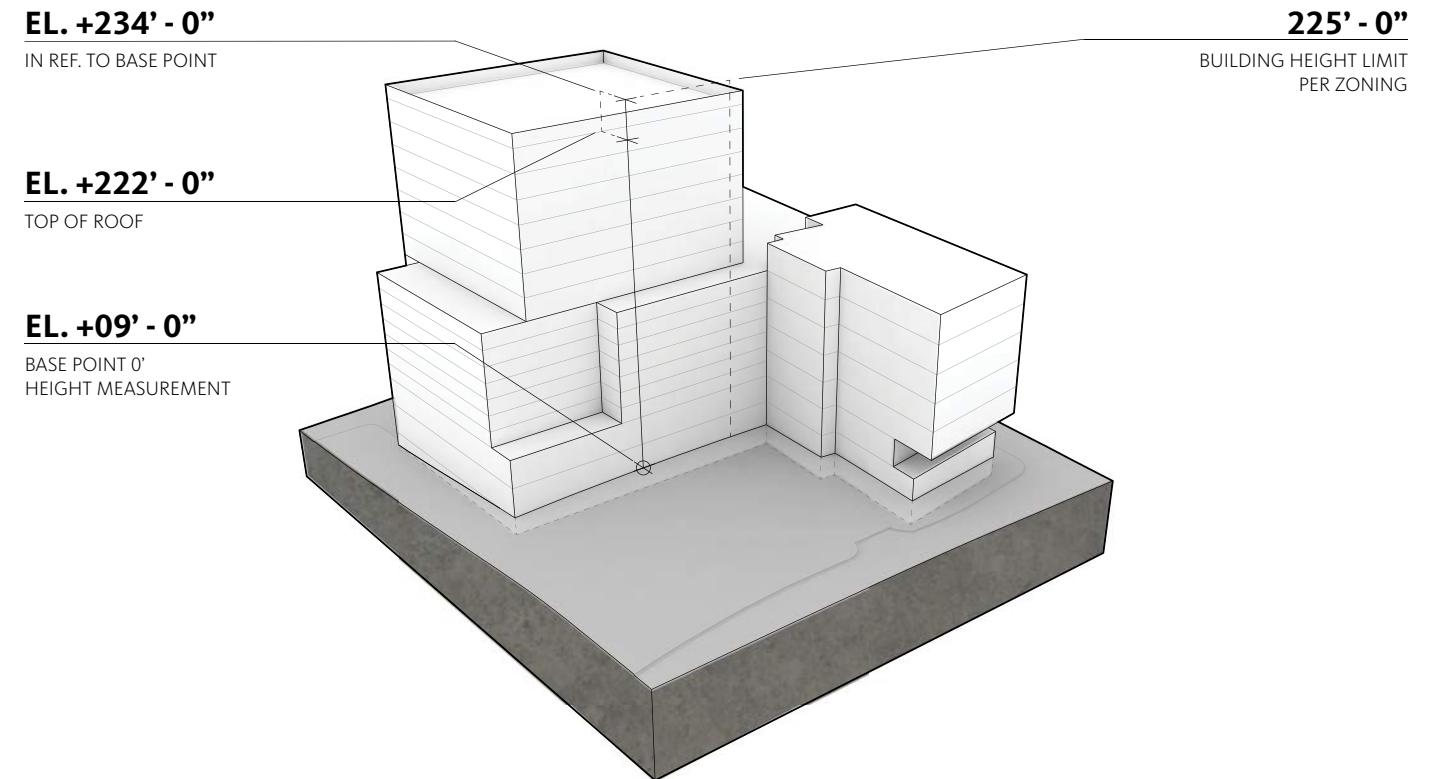
Illustration from Buckhead Village Streetscape Design Standards
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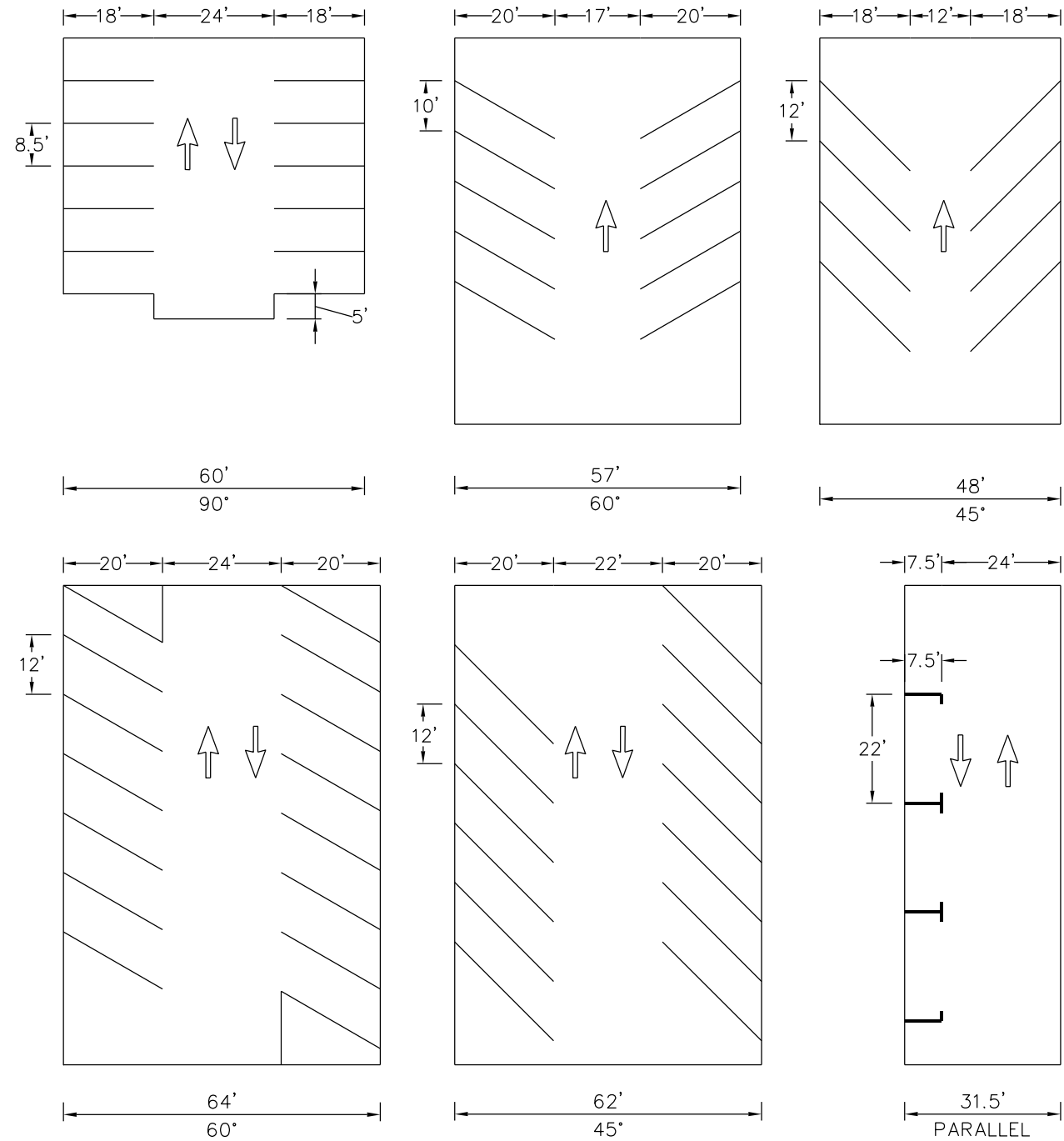
BUILDING HEIGHT LIMIT ZONING ANALYSIS



12' UNDER BUILDING HEIGHT LIMIT



PARKING MODULES



1. MINIMUM PARKING STALL WIDTHS ARE 8.5' FOR STANDARD VEHICLES & 8.0' FOR COMPACT VEHICLES
2. PARKING STALL LENGTHS ARE 18' FOR STANDARD VEHICLES AND 16' FOR COMPACT VEHICLES
3. COMPACT PARKING STALLS TOTAL SHALL NOT EXCEED 25% OF TOTAL PARKING

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

City of Atlanta



STANDARD DETAILS

PARKING MODULE

REV.

DATE: UNK

ORIG. DATE: FEB 2013

SCALE: N.T.S.



BUILDING ELEVATION BOLLING WAY VIEW

WEST ELEVATION

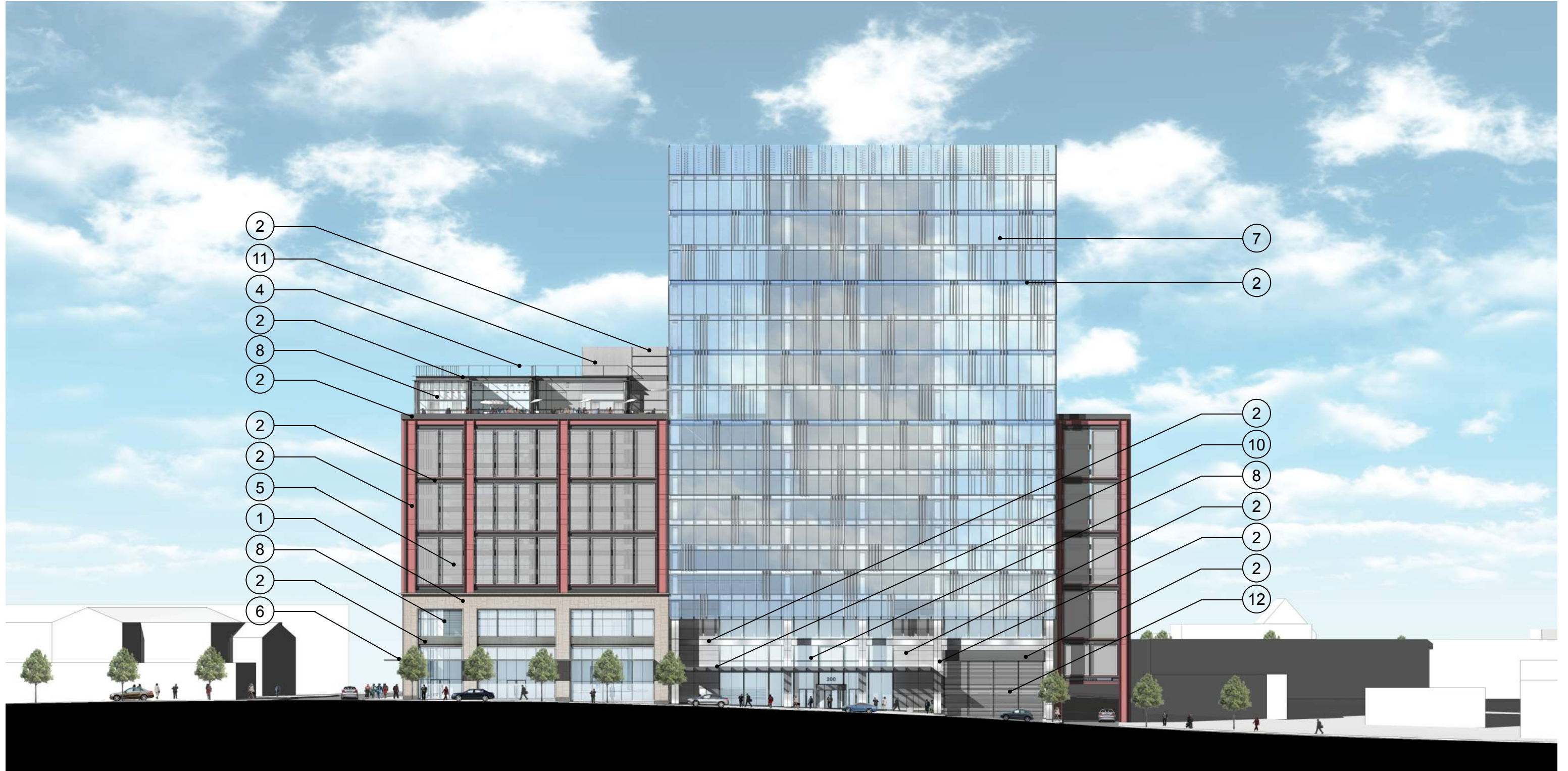


- | | | |
|-------------------------------------|-----------------------|------------------------|
| 1. Stone | 6. Metal Canopy | 11. Stucco |
| 2. Metal Panel | 7. Glass Curtain-Wall | 12. Metal Roll-up Door |
| 3. Metal Panel, Ribbed | 8. Glass | |
| 4. Metal Railing | 9. Glass Guardrail | |
| 5. Metal Mesh Screen in Metal Frame | 10. Glass Canopy | |



BUILDING ELEVATION EAST PACES FERRY RD. VIEW

SOUTH ELEVATION

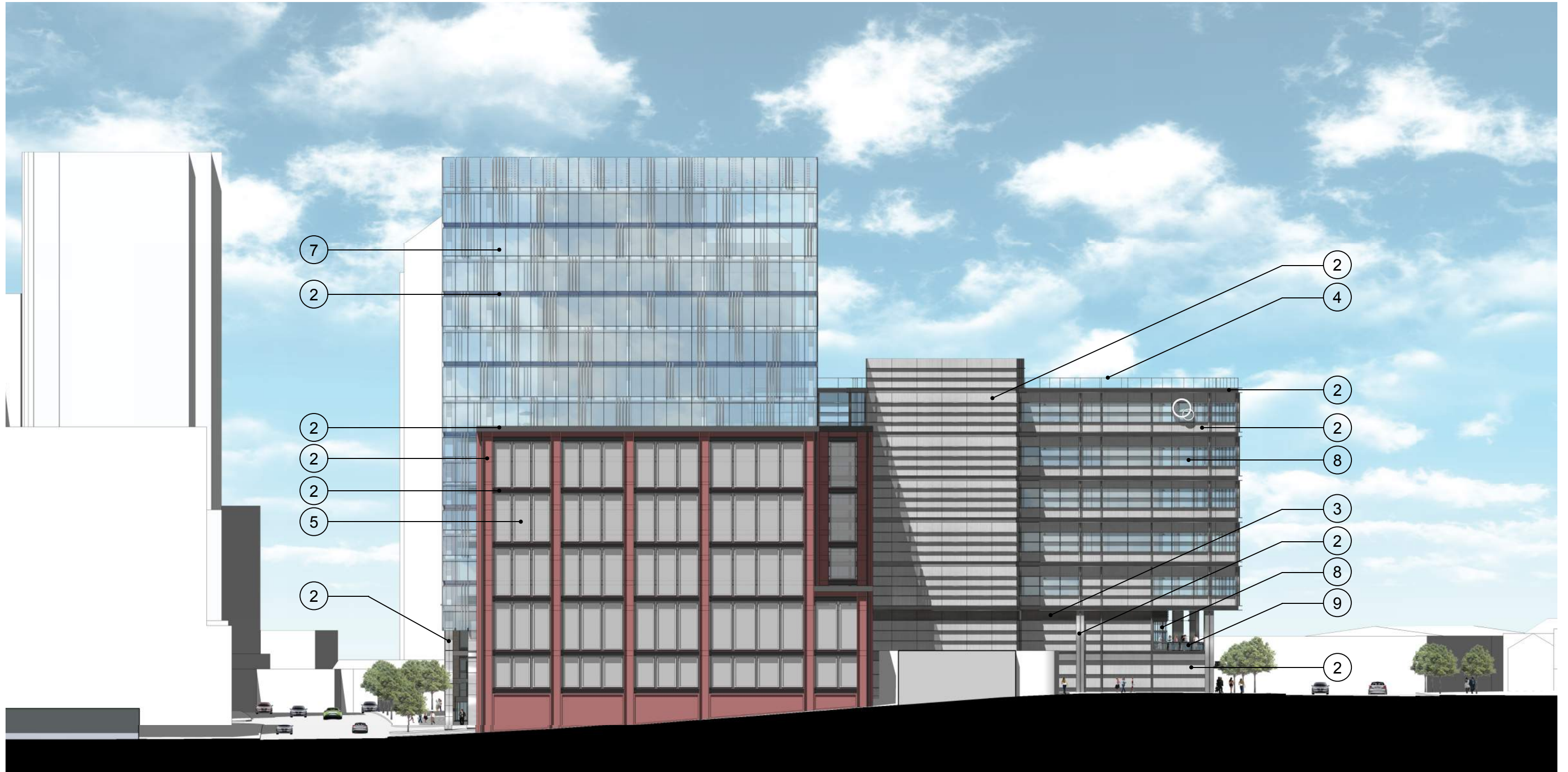


- | | | |
|-------------------------------------|-----------------------|------------------------|
| 1. Stone | 6. Metal Canopy | 11. Stucco |
| 2. Metal Panel | 7. Glass Curtain-Wall | 12. Metal Roll-up Door |
| 3. Metal Panel, Ribbed | 8. Glass | |
| 4. Metal Railing | 9. Glass Guardrail | |
| 5. Metal Mesh Screen in Metal Frame | 10. Glass Canopy | |



BUILDING ELEVATION

EAST ELEVATION

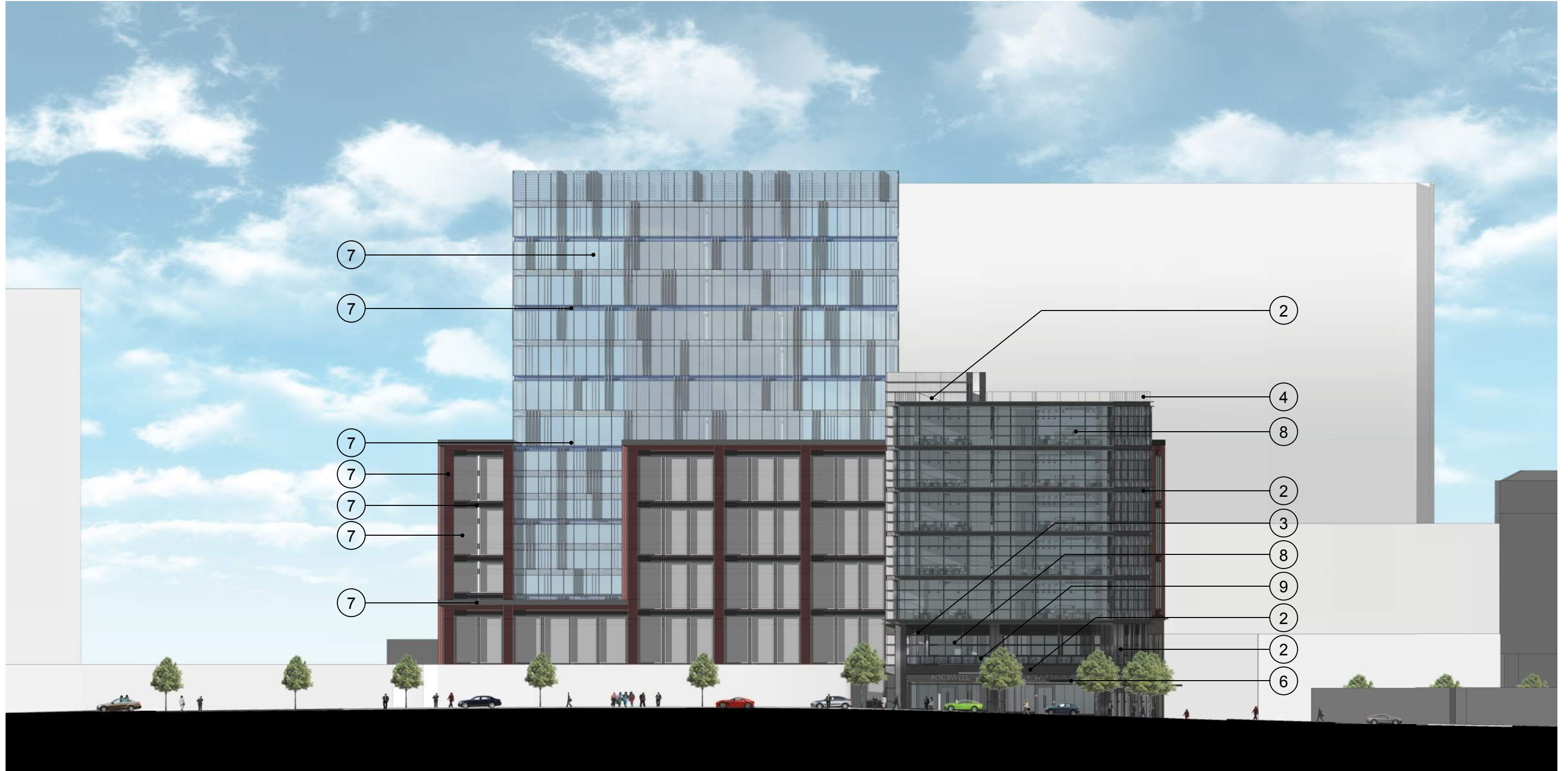


- | | | |
|-------------------------------------|-----------------------|------------------------|
| 1. Stone | 6. Metal Canopy | 11. Stucco |
| 2. Metal Panel | 7. Glass Curtain-Wall | 12. Metal Roll-up Door |
| 3. Metal Panel, Ribbed | 8. Glass | |
| 4. Metal Railing | 9. Glass Guardrail | |
| 5. Metal Mesh Screen in Metal Frame | 10. Glass Canopy | |



BUILDING ELEVATION PEACHTREE RD. VIEW

NORTH ELEVATION



- | | | |
|-------------------------------------|-----------------------|------------------------|
| 1. Stone | 6. Metal Canopy | 11. Stucco |
| 2. Metal Panel | 7. Glass Curtain-Wall | 12. Metal Roll-up Door |
| 3. Metal Panel, Ribbed | 8. Glass | |
| 4. Metal Railing | 9. Glass Guardrail | |
| 5. Metal Mesh Screen in Metal Frame | 10. Glass Canopy | |



**STREET VIEW
CREATIVE OFFICE ON NW CORNER**

BOLLING WAY VIEW



STREET VIEW

EAST PACES FERRY RD. VIEW



STREET VIEW

EAST PACES FERRY RD. VIEW



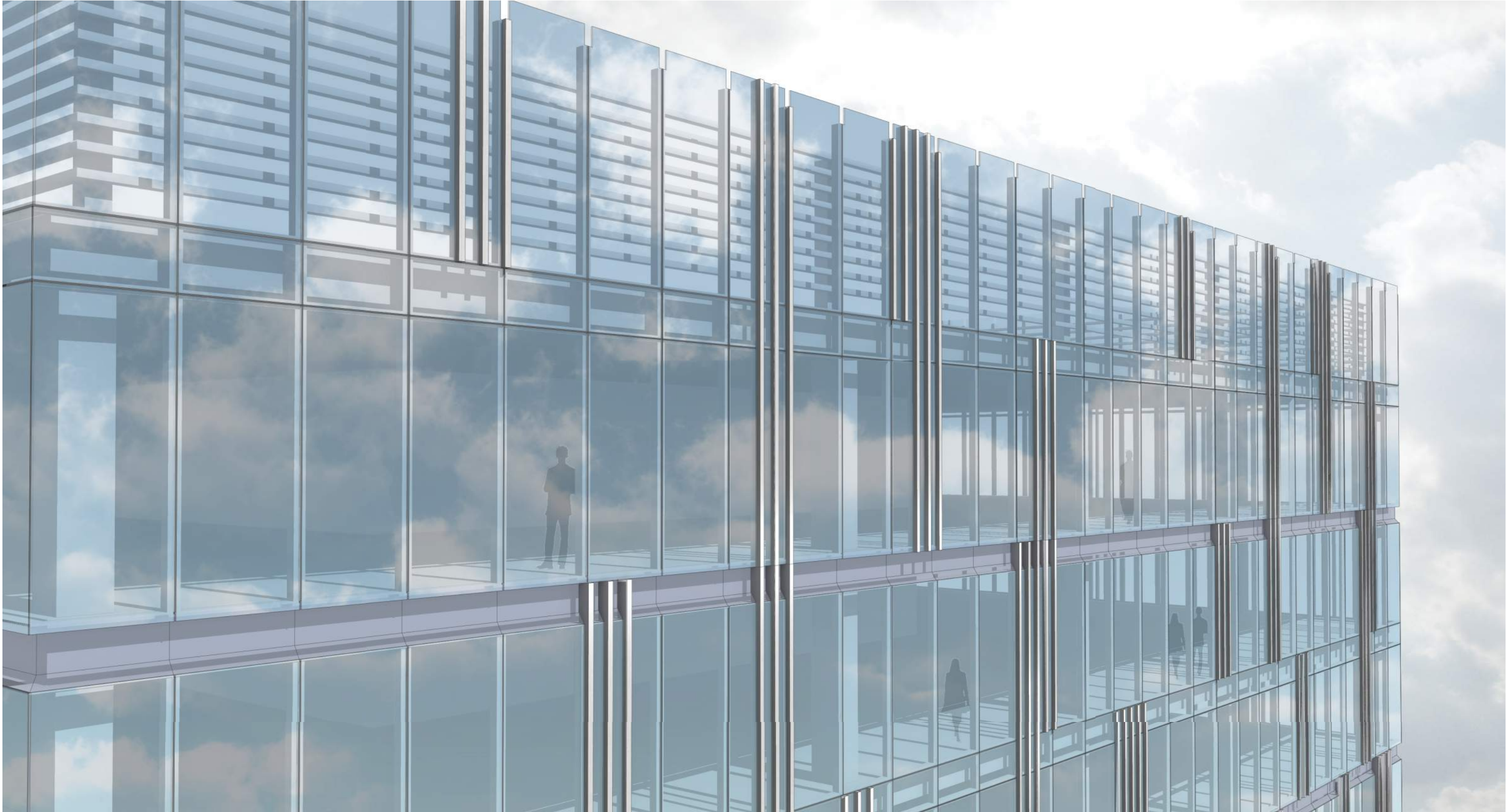
STREET VIEW

PEACHTREE RD. VIEW



**OFFICE CURTAIN-WALL
SKIN STUDIES**

**OPTION A
DETAIL VIEW**



**OFFICE CURTAIN-WALL
SKIN STUDIES**

**OPTION A
DETAIL VIEW**



OFFICE CURTAIN-WALL SKIN STUDIES

OPTION B DETAIL VIEW



OFFICE CURTAIN-WALL SKIN STUDIES

OPTION B EAST PACES FERRY RD. VIEW



**OFFICE CURTAIN-WALL
SKIN STUDIES**

**OPTION B
PEACHTREE VIEW**



**OFFICE CURTAIN-WALL
SKIN STUDIES**

**OPTION C
DETAIL VIEW**





**OFFICE CURTAIN-WALL
SKIN STUDIES**

**OPTION C
PEACHTREE VIEW**

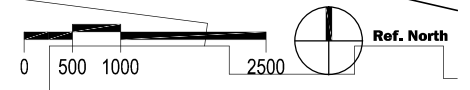


FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.



RETAIL LEVEL B0 +00'



FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.

TYPE 1 STREET

LINE OF OVERHANG ABOVE
7' AMENITY ZONE
13' WALK ZONE
5' SUPPLEMENTAL FURNITURE ZONE

4' AMENITY ZONE
6' WALK ZONE

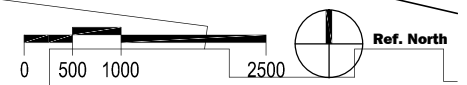
2 CAR STACKING DEPTH
PUBLIC ELEVATORS

BOLLING WAY
NO STREET CLASSIFICATION



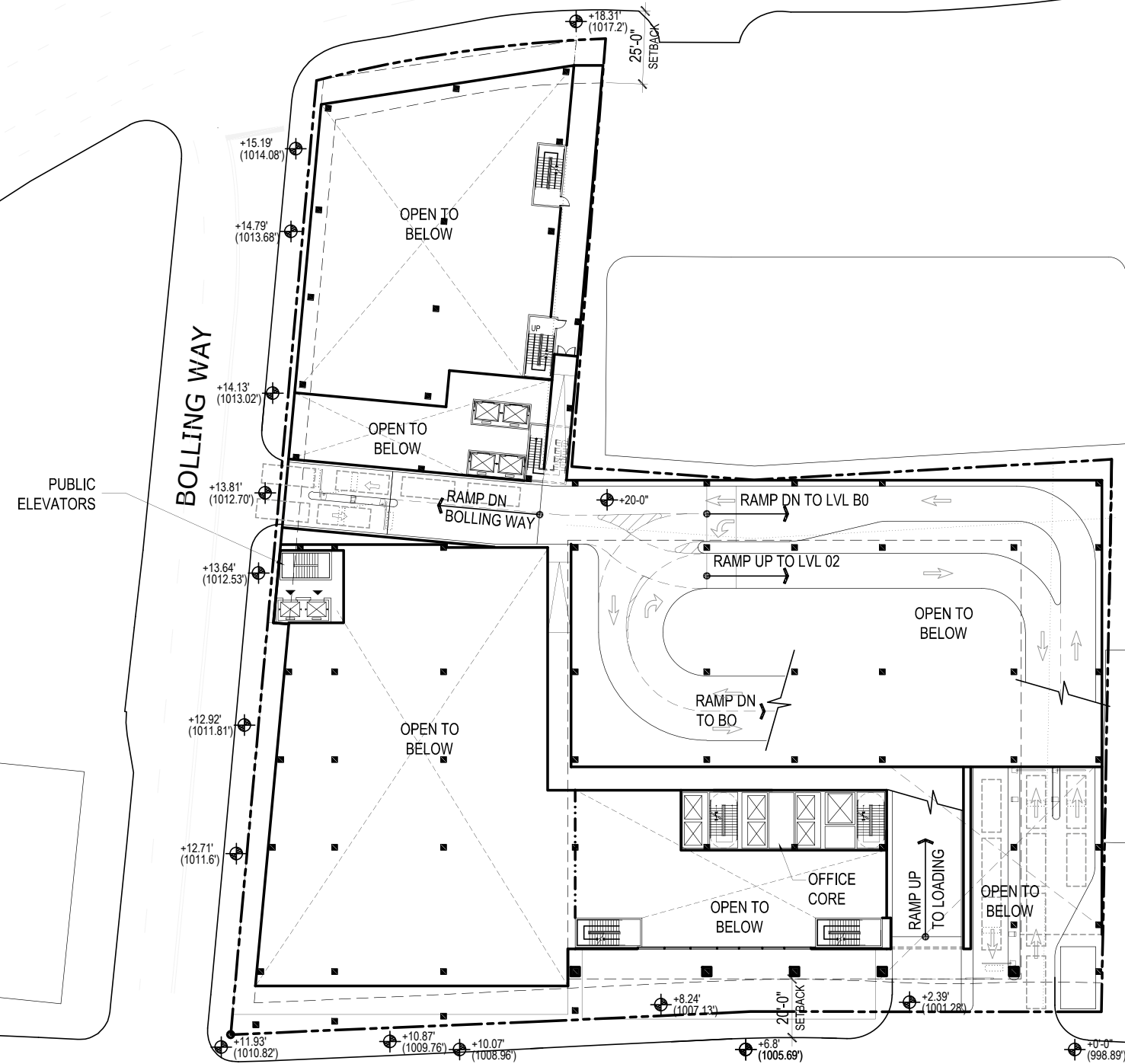
TYPE 3 STREET EAST PACES FERRY ROAD

RETAIL LEVEL 01 +12'



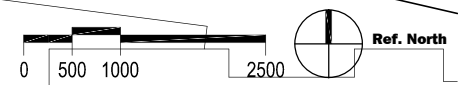
FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.



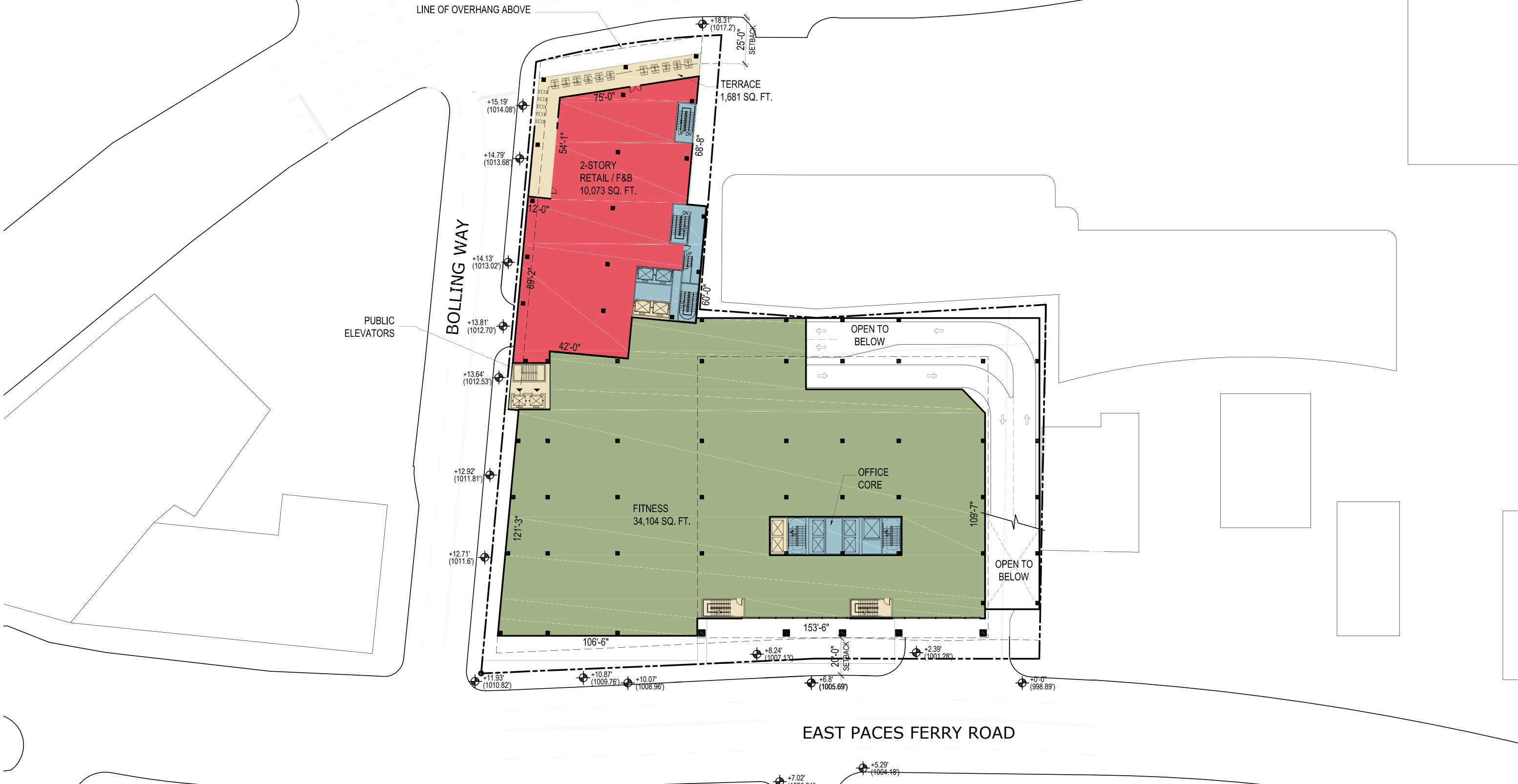
EAST PACES FERRY ROAD

RETAIL MEZZ 01 +20'

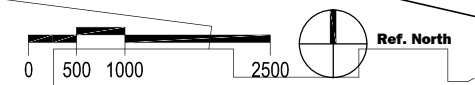


FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.



RETAIL LEVEL 02 +36'



FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.

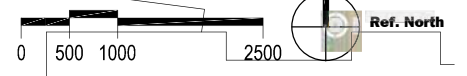
PUBLIC
ELEVATORS

BOLLING WAY



EAST PACES FERRY ROAD

LEVEL 03 +54'



FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.



14,649 SF USABLE
OPEN AREA

CREATIVE
OFFICE
13,398 SQ. FT.

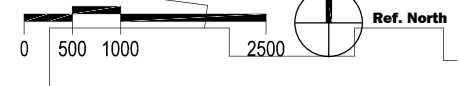
ACTIVITY
DECK
7,390 SQ. FT.

PARKING DECK BELOW

SPEC OFFICE
23,250 SQ. FT.

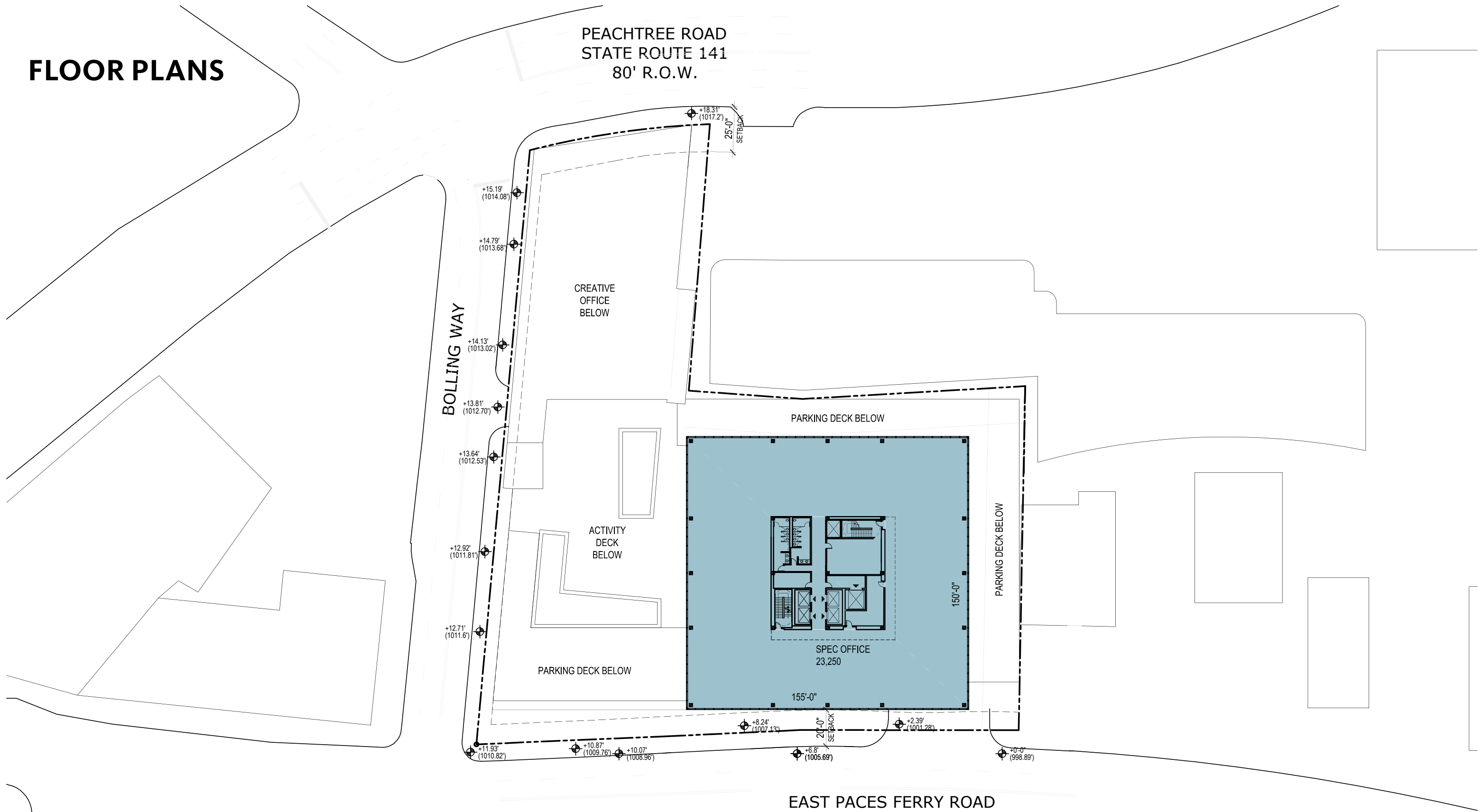
EAST PACES FERRY ROAD

OFFICE LEVEL 01 +124'

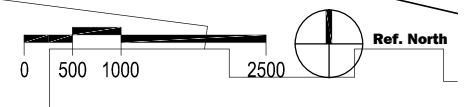


FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.

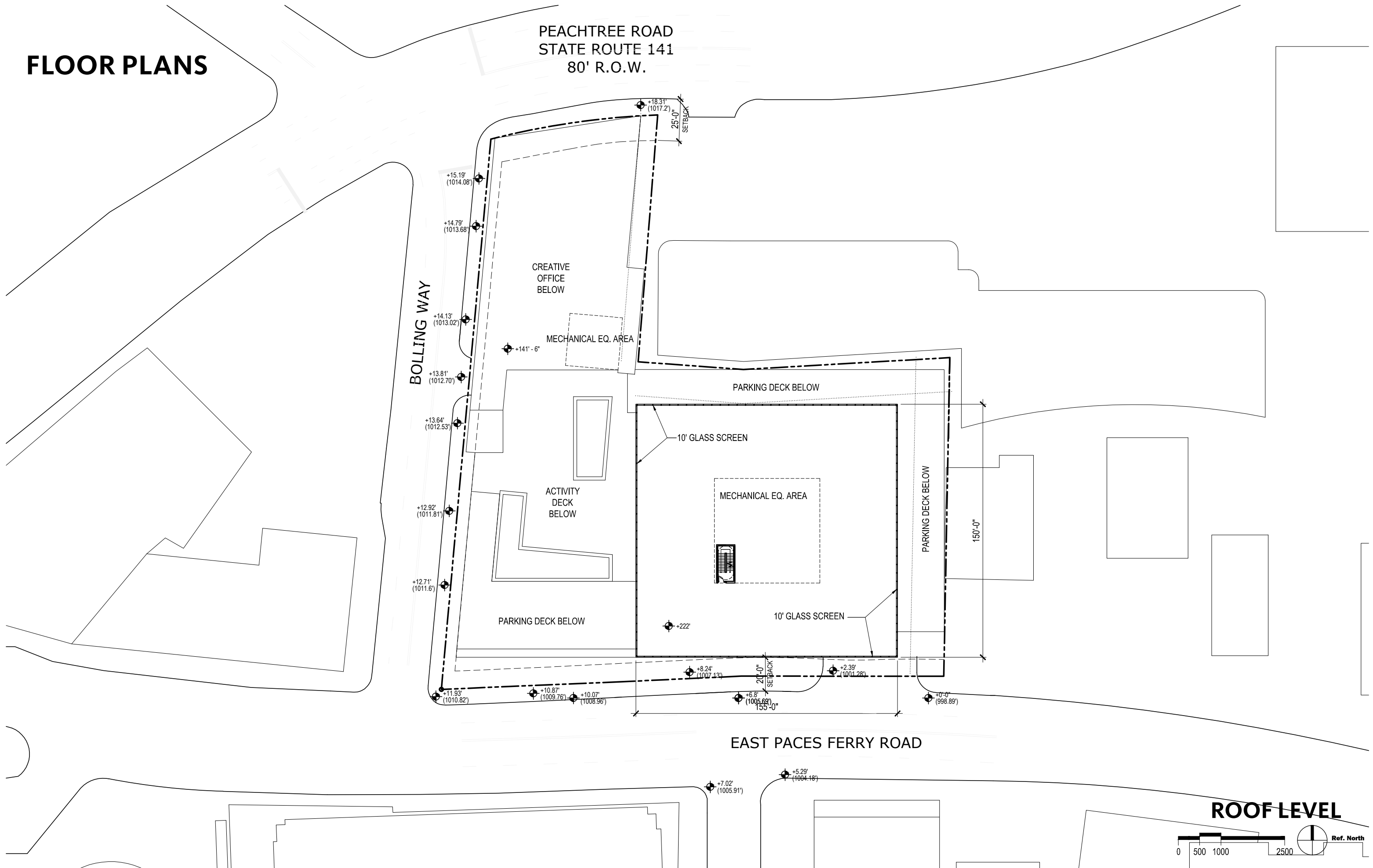


TYPICAL OFFICE LEVEL



FLOOR PLANS

PEACHTREE ROAD
STATE ROUTE 141
80' R.O.W.



EAST PACES FERRY ROAD

ROOF LEVEL

