

BUCKET SHOP PATIO REPLACEMENT

3475 LENOX ROAD NE

ATLANTA, GEORGIA

GENERAL NOTES

THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.

ALL CHANGES OF QUANTITY, MATERIALS, AND REPAIR SHALL BE APPROVED BY ENGINEER AND PROPERTY MANAGEMENT.

ALL REPAIR PRODUCTS TO BE STORED, HANDLED AND APPLIED PER MANUFACTURERS RECOMMENDATIONS.

PROVIDE AND ASSUME COMPLETE RESPONSIBILITY FOR SUCH SAFETY PROGRAM AND FACILITIES AS WILL ADEQUATELY PROTECT WORKMEN, THE PUBLIC AND OTHERS WHO MAY PROPERLY BE ABOUT THIS SITE.

PROVIDE ADDITIONAL STORAGE AT NO COST TO OWNER IN THE EVENT THAT ADDITIONAL STORAGE AREA IS REQUIRED BEYOND THAT PROVIDED AT PROJECT SITE.

PROPER STORAGE OF MATERIALS IS THE SOLE RESPONSIBILITY OF CONTRACTOR. PROTECT ALL MATERIALS SUSCEPTIBLE TO MOISTURE. KEEP ALL LABELS INTACT AND LEGIBLE, CLEARLY SHOWING THE PRODUCT, MANUFACTURER, AND OTHER PERTINENT INFORMATION.

FURNISH AND MAINTAIN TEMPORARY RAMPS, SCAFFOLDS, HOISTS, OR CHUTES AS REQUIRED FOR PROPER EXECUTION OF WORK. SUCH APPARATUS, EQUIPMENT, AND CONSTRUCTION SHALL MEET REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL SAFETY AND LABOR LAWS.

PROVIDE BARRICADES AS REQUIRED TO PROTECT NATURAL RESOURCES, SITE IMPROVEMENTS, EXISTING PROPERTY, ADJACENT PROPERTY, AND PASSERS BY. REMOVE GUARDRAILS AND BARRICADES AT COMPLETION OF CONSTRUCTION.

WHERE PEDESTRIAN TRAFFIC IS THROUGH OR ADJACENT TO WORK AREAS, PROVIDE NECESSARY GUARDRAILS AND BARRICADES TO PROTECT PEDESTRIANS AND TO PREVENT PEDESTRIAN ACCESS TO WORK AREAS.

CONFINE APPARATUS AND OPERATIONS TO LIMIT DEFINED BY THE OWNER AND MAKE ALL REASONABLE EFFORTS TO AVOID INTERFERING WITH ACTIVITIES NORMALLY CARRIED ON AT THE SITE. ENFORCE OWNER'S INSTRUCTIONS REGARDING SIGNS, FIRES, PARKING, SMOKING, ETC.

TO MAINTAIN EXTENT REASONABLY POSSIBLE, KEEP THE BUILDING AND GROUNDS FREE OF DEBRIS AND IN AN ORDERLY CONDITION AT ALL TIMES. AVOID ACCUMULATIONS OF COMBUSTIBLE MATERIALS. DO NOT ALLOW WASTE MATERIALS, RUBBISH, AND DEBRIS TO ACCUMULATE AND BECOME AN UNSIGHTLY OR DANGEROUS CONDITION. REMOVE WASTE MATERIALS, RUBBISH, AND DEBRIS FROM SITE AND LEGALLY DISPOSE OF AT PUBLIC OR PRIVATE DUMPING AREAS OFF OWNER'S PROPERTY. KEEP STREETS AND ACCESS TO SITE FREE OF RUBBISH AND DEBRIS.

SCOPE OF WORK

RELOCATE EXISTING PATIO FURNITURE TO ON-SITE LOCATION DESIGNATED BY PROPERTY MANAGEMENT.

REMOVE PERIMETER STEEL FENCE AND STORE ON-SITE PRIOR TO DEMOLITION OF CONCRETE. DEMOLITION ACTIVITIES SHALL BE PERFORMED ON SUNDAYS AND DURING WEEKDAY MORNINGS.

COORDINATE WITH ARBORGAURD TO PROTECT ADJACENT LANDSCAPING DURING DEMOLITION AND CONSTRUCTION.

REMOVE EXISTING CONCRETE SLAB AS DESIGNATED ON PLAN. DRAINAGE SYSTEM TO REMAIN.

SUPPLEMENT SUBGRADE WITH COMPACTED NO. 57 STONE AS REQUIRED IF DEPRESSED ELEVATIONS OBSERVED FOLLOWING DEMOLITION.

INSTALL ISOLATION JOINT AT INTERSECTION WITH BUILDING AND AT PERIMETER OF COLUMNS

INSTALL CONCRETE SLAB AS SPECIFIED ON PLANS TO MATCH EXISTING DIMENSIONS, ELEVATION, AND FINISH. SLAB SHALL DRAIN AWAY FROM BUILDING TOWARDS EXISTING DRAINS.

INSTALL COVE SEALANT JOINT AT PERIMETER OF EXISTING CONCRETE COLUMNS AND AT INTERSECTION WITH WINDOW FRAMES.

RE-INSTALL PERIMETER STEEL FENCE.

MATERIAL NOTES

WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM A185.

JOINT SEALANT SHALL BE DOW CORNING 795.

BACKER ROD SHALL CONFORM TO REQUIREMENTS OF SEALANT MANUFACTURER.

CONCRETE SHALL HAVE MINIMUM 4,000 PSI STRENGTH AT 28 DAYS. AIR ENTRAINED 5% +/-1.5%

STEEL PLATE SHALL CONFORM TO ASTM A36.

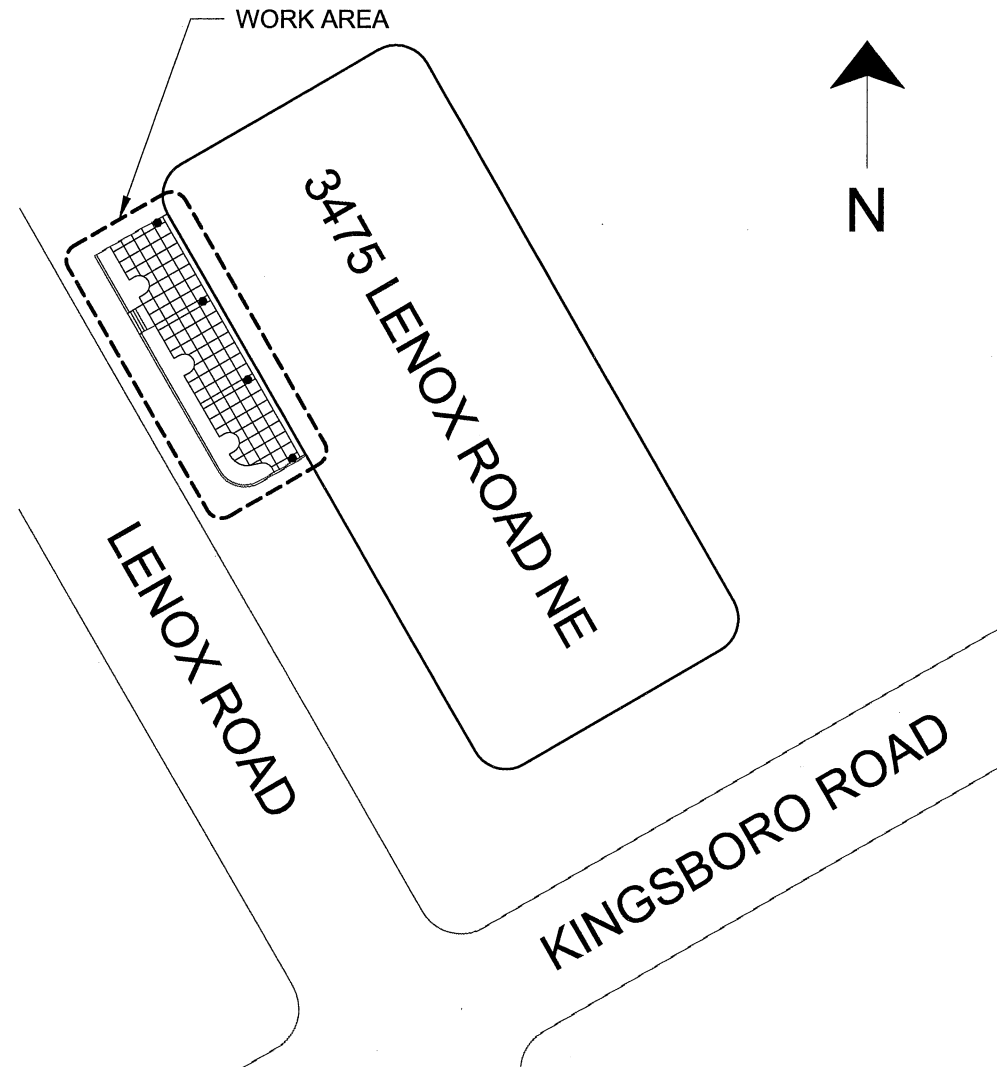
REINFORCING STEEL SHALL MEET ASTM A615 GRADE 60, DEFORMED.

BOLTS SHALL CONFORM TO ASTM A307.

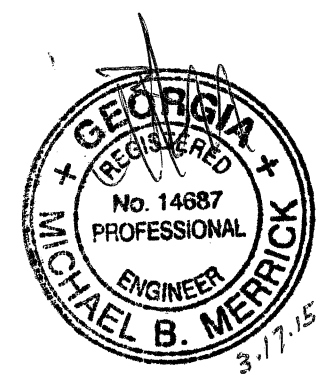
REPAIR PRODUCTS IDENTIFIED ON PLANS AND ABOVE INDICATE THE TYPE AND MINIMUM QUALITY. ALTERNATE PRODUCTS MUST BE SUBMITTED WITH BID FORM FOR APPROVAL.

SHEET LIST

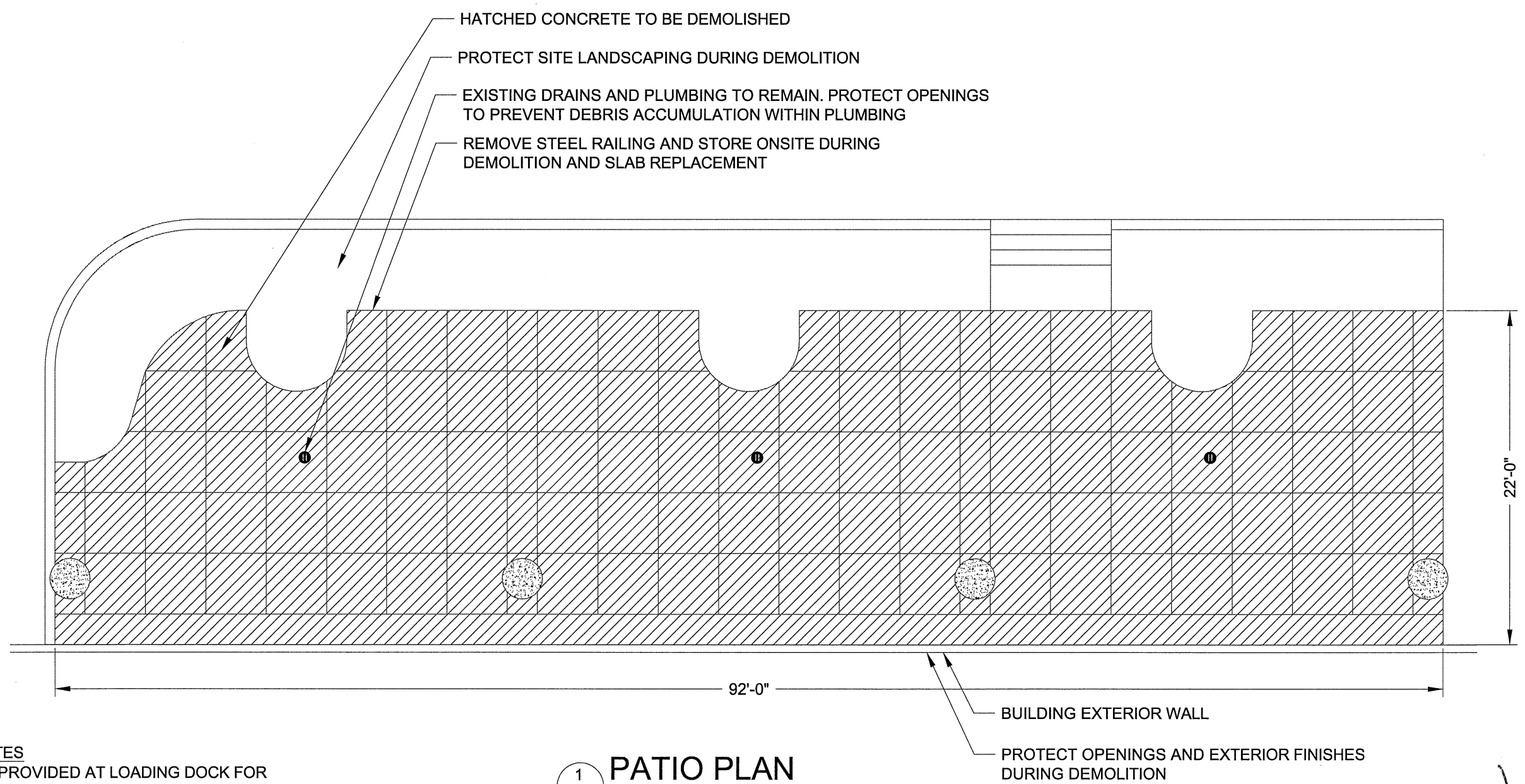
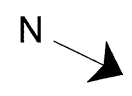
- S1 GENERAL NOTES
- S2 DEMOLITION PLAN
- S3 REPLACEMENT PLAN



1 KEY PLAN
S1 SCALE: 1/64"=1'-0"



<p>S1</p> <p>SHEET NO.</p>	<p>03-17-15</p> <p>BMR MBM</p> <p>15-4-3238</p> <p>AS NOTED</p>
<p>DATE: 03-17-15</p> <p>DRAWN BY: BMR</p> <p>REVIEWED BY: MBM</p> <p>PROJECT NO.: 15-4-3238</p> <p>SCALE: AS NOTED</p>	<p>BUCKET SHOP SLAB</p> <p>ONE LIVE OAK</p> <p>ATLANTA, GEORGIA</p> <p>GENERAL NOTES</p>
<p>PENTA ENGINEERING GROUP, INC.</p> <p>4000 MILLER COURT WEST</p> <p>NORCROSS, GEORGIA 30071</p> <p>TELEPHONE: (678) 282-1999</p>	



- HATCHED CONCRETE TO BE DEMOLISHED
- PROTECT SITE LANDSCAPING DURING DEMOLITION
- EXISTING DRAINS AND PLUMBING TO REMAIN. PROTECT OPENINGS TO PREVENT DEBRIS ACCUMULATION WITHIN PLUMBING
- REMOVE STEEL RAILING AND STORE ONSITE DURING DEMOLITION AND SLAB REPLACEMENT

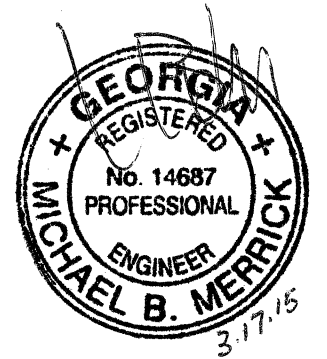
- BUILDING EXTERIOR WALL
- PROTECT OPENINGS AND EXTERIOR FINISHES DURING DEMOLITION

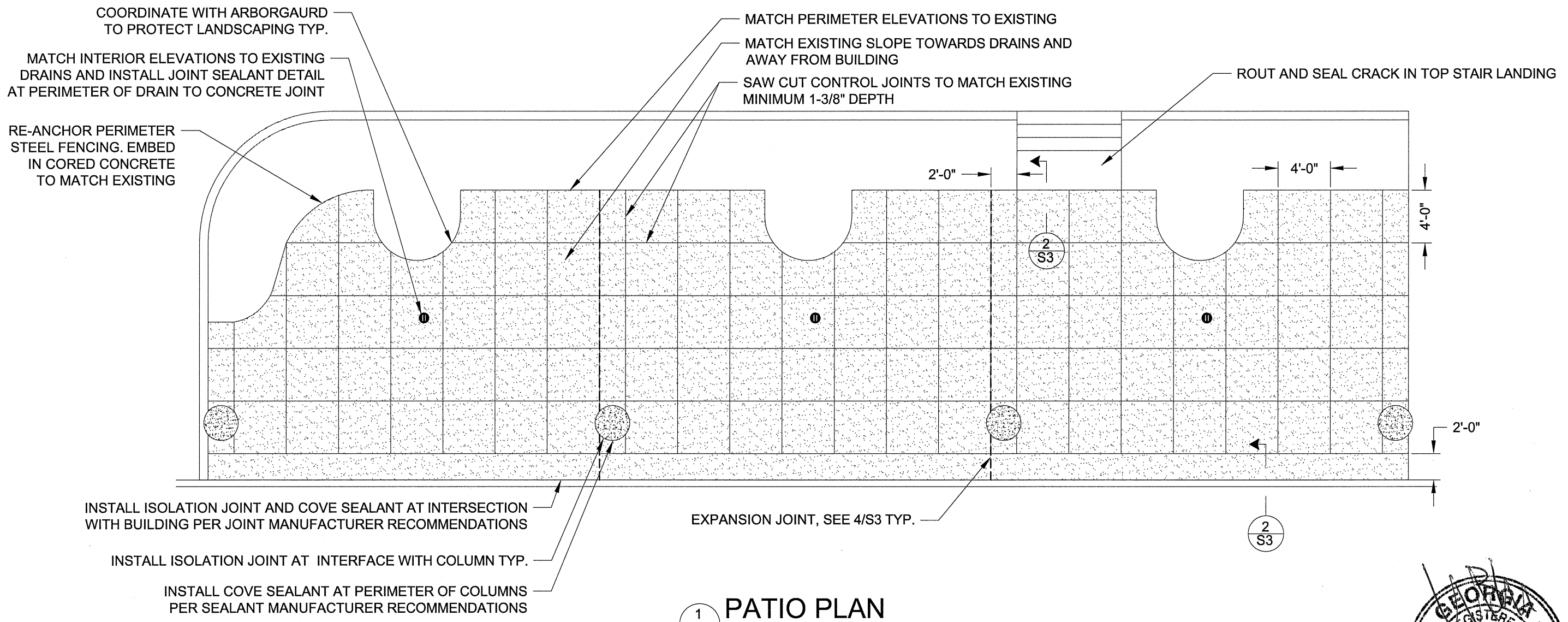
1 PATIO PLAN
 S2 SCALE: 1/8"=1'-0"

DEMOLITION NOTES
 SPACE WILL BE PROVIDED AT LOADING DOCK FOR CONTRACTOR DUMPSTER.

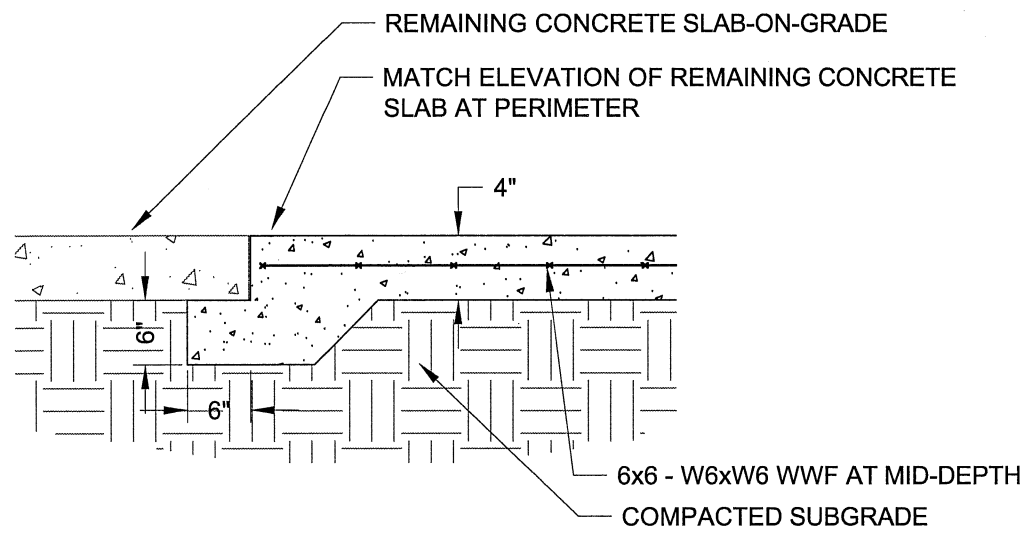
DEMOLITION SHALL TAKE PLACE DURING WEEKDAY MORNINGS AND SUNDAYS ACCORDING TO NOISE RESTRICTIONS. ADDITIONAL WORK DAY CONSTRAINTS MAY BE ENFORCED BY PROPERTY.

PROTECT ADJACENT LANDSCAPING AND BUILDING FINISHES DURING CONCRETE DEMOLITION.

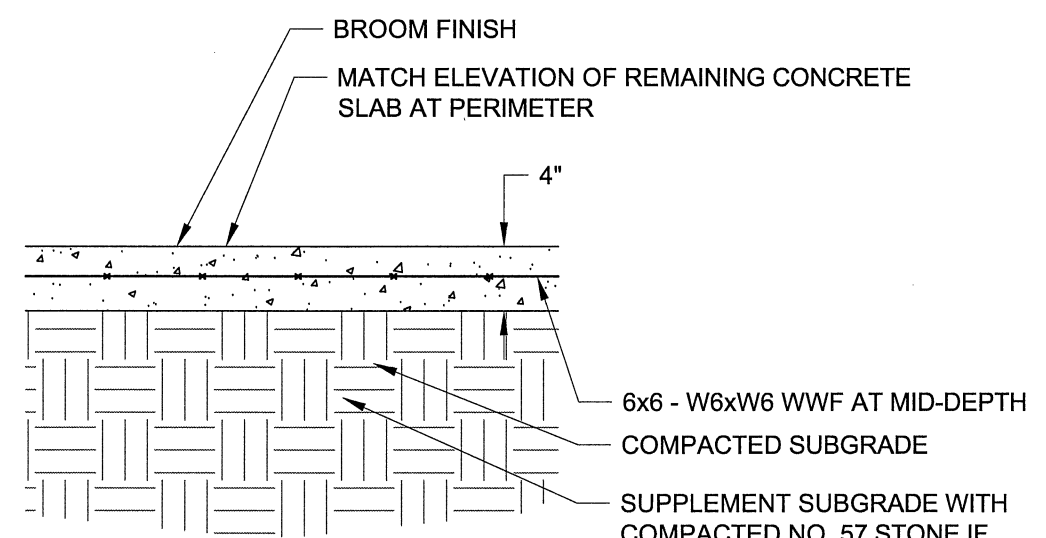




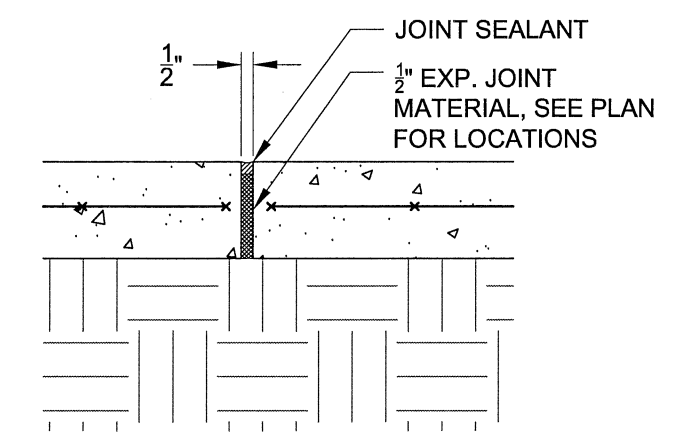
1 PATIO PLAN
S3 SCALE: 1/8"=1'-0"



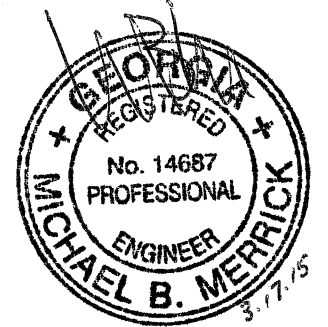
2 EDGE SECTION
S3 SCALE: 1"=1'-0"



3 SLAB SECTION
S3 SCALE: 1"=1'-0"



4 EXPANSION JOINT
S3 SCALE: 1-1/2"=1'-0"



DATE: 03-17-15
DRAWN BY: BMR
REVIEWED BY: MBM
PROJECT NO.: 15-4-9238
SCALE: AS NOTED

BUCKET SHOP SLAB
ONE LIVE OAK
ATLANTA, GEORGIA
REPLACEMENT PLAN

PENTA ENGINEERING GROUP, INC.
4000 MILLER COURT WEST
NORCROSS, GEORGIA 30071
TELEPHONE: (678) 282-1999

S3
SHEET NO.

File No.: SAP-15-087 Date of Completed Submittal: 7-1-15 Reviewed by: T.T.

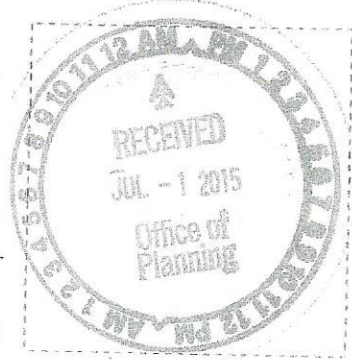


APPLICATION FOR A SPECIAL ADMINISTRATIVE PERMIT (SAP)
For SPI, Beltline Overlay, LW, MR, MRC, and NC Zoning Districts
City of Atlanta, Office of Planning (404/330-6145)

APPLICANT Steve Williams (Judy Davis)
*Applicants must appear in person to file an application. Applications by mail or courier will not be accepted.
COMPANY Humphries and Company
ADDRESS 4581 South Cobb Drive Ste. 200
PHONE NO. 770 434 2930 EMAIL stevew@humpandcomp.com

PROPERTY LANDOWNER One Live Oak Owner, LLC
ADDRESS 680 Fifth Avenue 19th floor, New York, NY 10019
PHONE NO. 212-906-4312 EMAIL sdenbow@highbrookinvestors.com

ADDRESS OF PROPERTY 3475 Lenox Road NE Atlanta GA 30328



Is property within the BeltLine Overlay District? Yes No

Zoning Classification SP-12 Land District SA1 Land Lot 45 Council District 17th NPU

INSTRUCTIONS (approved SAP plans shall be included in Building Permit Application submittal to the Office of Buildings):

- Demolition Permits: Applications for demolition permits shall not be approved until the SAP is approved.
- Signage: SAP approval for free-standing/monument and/or projecting structures only. Signage approval issued by Office of Buildings.
- Photographs: For alterations to existing building facades to document existing conditions.
- Submittal Package Requirements (See detailed checklist):
 - Project Summary: Describe all new construction, alterations, repairs or other changes to the exterior of existing structures or to the site. Requests for administrative variations must be accompanied by a written justification for each variation requested.
 - Property Survey: Submit two (2) copies. Lot consolidation, replatting or subdivision may be required prior to approval of SAP.
 - Site Plan (released for construction and sealed) and Building Elevations:
 - Initial Plan Submission: Two (2) copies for initial review (four copies that require DRI & NPU review). Also, copies of applicable Rezoning Legislation, Special Use Permit, Variance or Special Exception letters from the Board of Zoning Adjustment.
 - Final Plan Submission (after staff review) incorporating staff comments: 11 copies of site plan and 5 copies of elevations.
 - Other information: Additional plans or documents may be required at the discretion of the Office of Planning.
 - Property Owner Authorization: Submit required notarized owner consent per attached form.
 - Notice to Applicant: Submit attached form with signature and date.
- Additional Submittal Requirements (as applicable):
 - BeltLine, NC-10, NC-11, NC-12 Districts: Pre-application conference with Planning Staff is required prior to SAP submittal. **INCLUDE EXTRA COPY OF SUBMITTAL PACKAGE** for the required 21-day NPU review period as detailed below:
 - Mail a copy of the SAP application and plans which are stamped received by the Office of Planning to the NPU.
 - Submit a copy of U.S. Postal Service Certificate of Mailing within 5 business days of SAP application submittal.
 - Submit notarized Affidavit of NPU Notification within 5 business days of SAP application submittal.
 - Development Review Committee (DRC): Projects within SPIs 1, 9, 12, 15, 16, 17 districts may require review by DRC.
 - Development of Regional Impact (DRI) Study: Developments either; over 300,000 sf; or greater than 400 residential units; or a mixed-use development with more than 222 residential units require a DRI approval by GRТА and ARC.
 - Initial submission: DRI Form 1 with the SAP application. Planning staff will then submit information to GRТА and ARC.
 - Final submission: Copy of the DRI Notice of Decision letter shall be printed on the final site plan submission.
- Fees (non-refundable): Payable to the "City of Atlanta" in the form of cash, credit card, personal or cashier check, or money order.
 - Exterior demo, outdoor dining new/expansion, or non-expansion: \$250.
 - Developments < 50,000 sqft of floor area: \$500.
 - Developments between 50,000 and 250,000 sqft of floor area: \$1,000.
 - Developments ≥ 250,000 sqft of floor area: \$1,500.

I HEREBY AUTHORIZE CITY STAFF TO INSPECT PREMISES OF ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE THAT ALL STATEMENTS HEREIN ATTACHED & SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date 6/30/2015 Signature of Applicant Judy Davis 404-787-4564 jidavis@cityofatlanta.com

The City Code provides that Planning Director shall review each request for an SAP within 30 days of a filing of a completed* application. (Atlanta Code Chapter 16, Section 16-25). * Note: NPU/DRC notification and review, as applicable, are required to complete the SAP application.

(FOR OFFICE OF PLANNING OFFICE USE ONLY)

The above request for a Special Administrative Permit (SAP) was approved or denied on _____
See attached Special Administrative Permit Approval Form(s) for detailed approval information.

Signed for Director, Office of Planning _____

Staff Reviewer - Print Name _____



City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Notarized authorization by Property Landowner

File # SAP-15-087

(Required only if applicant is not the owner of the property subject to the application)

TYPE OF APPLICATION: Special Administrative Permit

I, SCOTT Deabow SWEAR THAT I AM THE LANDOWNER
owner(s) name

OF THE PROPERTY LOCATED AT: 3475 Lenox, Atlanta, GA

AS SHOWN IN THE RECORDS OF FULTON COUNTY, GEORGIA
 WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE
 PERSON NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS
 APPLICATION.

NAME OF APPLICANT (PRINT CLEARLY):

Steve Williams(Judy Davis)

ADDRESS: 4581 South Cobb Drive , Ste 200
Smyrna GA 30080

TELEPHONE: 770 434 1980 EMAIL: stevew@humpandcomp.com

[Signature]
 Signature of Property Landowner

SCOTT Deabow
 Print Name of Property Landowner

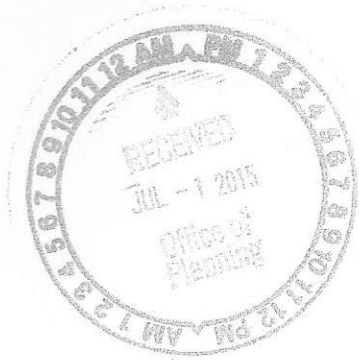
Personally Appeared
 Before Me

[Signature]

Who Swears That The
 Information Contained
 In this Authorization
 Is True and Correct
 To The Best of His or Her
 Knowledge and Belief.

[Signature]
 Signature of Notary Public

Date: [Signature]





City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION

Notice to Applicants

File # SAP-15-087

The applicant hereby acknowledges notification that in the process of design review in connection with the issuance of a **Special Administrative Permit (SAP)**, the City of Atlanta Office of Planning (OOP) will only review such documents as are deemed necessary for the approval of a project concept in compliance with the district regulations set forth in the City of Atlanta Zoning Code. Such documents may include, without limitation, the elevations of the structures proposed and site plans specifying the arrangement of such structures and other features of the project, but generally will not include a full set of construction drawings. This level of review is for the purpose of determining compliance with those sections of the Zoning Code applying to the district where the project is located or to be located and to allow the applicant the flexibility to receive approval for a project concept without the requirement that a full set of construction drawings, that would otherwise be necessary to obtain a building permit, be prepared, presented and reviewed.

It is the applicant's duty to ensure that all drawings or plans, that may be required for further permitting of the actual construction of the project, will result in a finished project that complies with the elevations, site plan and other plans on which the SAP was granted. The applicant is further notified that neither the Office of Buildings nor any of the other City of Atlanta agencies that review any other part of the overall project plans for compliance to building codes, zoning codes, the tree preservation, the riparian buffers ordinance, land disturbance regulations, drainage and sewer capacity or any other regulations in effect at the time of plan review have the authority to approve any changes to the exterior appearance of structures or site plans in a SAP.

It is the responsibility of the applicant to ensure that any changes required, requested, or allowed by any other City agency or any other agency reviewing the plans during any part of the building permit process will not alter the exterior appearance of any structure or cause the relocation, rearrangement and/or reorientation of any feature of the site plan. Therefore, it is important for the applicant to be aware that even changes which may be in compliance with other codes, including without limitation, an increase to the height of the structure, whether resulting from changes to the foundation plan or the grading plan of the site, alterations to the interior layout of the structure that affect the location or size of exterior doors or windows, or changes to the method of construction for any floor of a structure or the roof of any structure, may affect the exterior appearance in a manner which could cause the finished structure to be out of compliance with the elevations approved by the OOP.

The applicant is further put on notice that the location of any feature specified on the site plan is not to be changed from that location which is specified on the site plan approved by the OOP. This includes, without limitation, any such changes that might affect the setbacks of any structure, the orientation of structures or features on the lot, including, without limitation, accessory buildings, the location and size of driveways, walkways, fences, parking pads, parking spaces, loading zones and service areas. It shall be the responsibility of the applicant to ensure that any changes required by any agency reviewing plans for the project remain consistent with the site plan and elevations approved by the OOP. It shall be the responsibility of the applicant, not the OOP, to monitor any plan changes during the permitting of the project to be sure that such changes do not affect the elevations and site plan approved by the OOP at the time of issuance of the SAP.

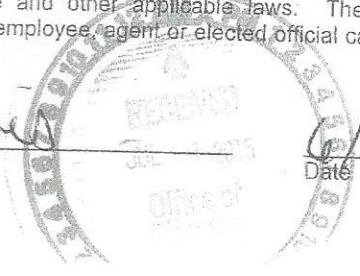
It is also the responsibility of the applicant to ensure that any changes made on site during the construction of the project, regardless of whether such changes are approved by a City building inspector, or representative of another City agency as being in compliance with the building codes or other applicable codes, do not result in a change to the exterior appearance of a structure or in a change to the site plan. The City of Atlanta Zoning Ordinance provides a process under which changes to the elevations and site plan in a SAP may be approved, however such approval is not guaranteed and the applicant is hereby notified that such changes are based on the application of the district regulations and not on the fact that a hardship, financial or otherwise may result if such permission is not given. The duty to adequately monitor the construction of the project to ensure compliance to the approved SAP and or any other City permit shall at all times be on the applicant, who assumes all risk of loss, financial or otherwise, from enforcement actions that result from the failure to comply with the SAP or any other City permit.

The applicant acknowledges that relief from any stop work order or other enforcement action, whether resulting from action taken by the OOP staff, the Office of Buildings staff or by the staff of any other City agency, must be appealed within the time and in the manner provided by the City Code. The applicant further acknowledges that the decision to apply to the OOP for permission to alter the approved plans is not an appeal of a stop work order or other enforcement action. The applicant acknowledges that it is solely within their own discretion to choose a process to resolve any dispute arising from the interpretation of any ordinance, the issuance of a stop work order or any other enforcement action and that the resolution of any such matter shall be made in compliance with the City Code and other applicable laws. The applicant further acknowledges that no written or oral representation of any City officer, employee, agent or elected official can waive or modify the City Code.

Judy Davis
Applicant Printed Name

Judy Davis
Applicant Signature

6/23/2015
Date





City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications

* File # SAP-15-081

These forms are intended to assist applicants in preparing the required submission materials for a Special Administrative Permit approval. In addition to these forms to be completed by the applicant, all applicable specifications should be shown on the site plan in chart form. Items omitted will delay the plan review process. Refer to City of Atlanta Zoning Code (Chapters 8, 19, and 28) for clarification.

Definitions and Methods of Calculation				
<ul style="list-style-type: none"> • <u>Net Lot Area (NLA)</u> = length of property line X width of property line • <u>GLA for corner lots</u> = (NLA) + [(street "A" right-of-way width +2) X (street "A" length of property line)] + [(street "B" right-of-way width +2) X (street "B" length of property line)] + [(street "A" right-of-way width +2) X (street "B" right-of-way width +2)] • <u>GLA (with only one front yard adjacent to street)</u> = (NLA) + [(street right-of-way width +2) X (length of front property line)] • GLA may include half of the right-of-way (including streets, parks, lakes and cemeteries) up to 50 feet in width. • GLA shall not be used for calculating FAR for properties within single-family or two-family-zoned subareas of SPI districts. • <u>Building Lot Coverage provided</u> = (net lot area minus area of building footprint) ÷ (net lot area) 				
* Lot Size (in square footage) 201,488				
Gross Land Area (GLA)		2.22 acres		
Net Lot Area (NLA)		2.22 acres		
* Floor Area Ratio (FAR) – as applicable. Check which used for residential: <input type="checkbox"/> GLA, or <input type="checkbox"/> NLA				
	Residential FAR Ratio	Residential Square Footage	Non-Residential FAR Ratio	Non-Residential Square Footage
Base Allowed				2,330 at exterior patio
Base Provided				
Bonus Allowed				
Bonus Provided				
Bonus FAR Program (check bonus utilized if applicable)				
Transit Station <input type="checkbox"/>	Ground Floor Retail <input type="checkbox"/>	Open Space and New Streets <input type="checkbox"/>	Community Center Facilities <input type="checkbox"/>	Workforce Housing <input type="checkbox"/>
Residential Units			Total Provided:	
Number of Units Provided (without bonus)				
Number of Bonus Units Provided (without workforce housing)				
Number of Bonus Workforce Housing Units Provided (20% required)				
Total Number of Units per Acre				
Building Coverage <input type="checkbox"/> or Lot Coverage <input type="checkbox"/> (check applicable as required per zoning district)				
	Percentage (%)		Square Footage	
Max. Permitted				
Provided				
Fenestration (% of each street-fronting facade calculated separately, per district regulations)				
	Residential Façade Percentage (%)		Non-residential Façade Percentage (%)	
	on Local Street	on Arterial/Collector	on Local Street	on Arterial/Collector
Min. Required				
Provided (specify for each street)				





City of Atlanta Office of Planning
SPECIAL ADMINISTRATIVE PERMIT (SAP) APPLICATION
Development Controls Specifications

File # SAP-15-087

Residential Open Space Requirements (refer to Chapter 28 for clarification)

Definitions and Methods of Calculation

- **LUI** = Land Use Intensity Ratios Table (per Section 16-08 R-G District Regulations)
- **TOSR** are calculated only for residential developments. TOSR includes the total horizontal area of uncovered open space plus ½ of the total horizontal area of covered open space subject to the limitations in Section 16-28.010 (4). Covered total open space is the open space closed to the sky but having two clear unobstructed open or partially open (50% or more) sides.
 - TOSR required = (LUI table) X (GLA).
 - TOSR provided = (GLA) – (area of building footprint) + (combined area of balconies and rooftop terraces).
- **UOSR** requirements are calculated using the residential FAR (of the corresponding net lot or GLA lot sized used to calculate FAR) for both residential and mixed-use developments. It does not include areas for vehicles. However, newly created on-street parking (outside of existing travel lanes) and new streets may be counted towards the UOSR calculations as specified in the district regulations.
 - UOSR required = (LUI table) X (the corresponding lot size used to calculate FAR).
 - If GLA is used for USOR, then the amount provided shall be = (NLA) – (area of building footprint + surface area of parking lots, and driveways) + (balconies, rooftop terraces, and landscaped areas on sidewalks within the adjacent right-of-way).

N/A

TOSR: Total Open Space Requirements for Residential Only Projects

(Not required in SPI-9, SPI-16, SPI-17, SPI-18, SPI-20, SPI-21, MRC, MR, or LW districts, or in mixed-use developments.)

	Ratio	Total Square Footage
Minimum Required		
Provided		

Square Footage breakout of UNCOVERED TOSR amount provided by the following:

GLA minus building square footage	
Open exterior balconies (per Section 16-28 or district regs)	
Roof area improved as recreation space	

Square Footage breakout of COVERED TOSR amount provided by the following:

Areas closed to the sky (roof) but having two sides with a minimum of 50% open	
--	--

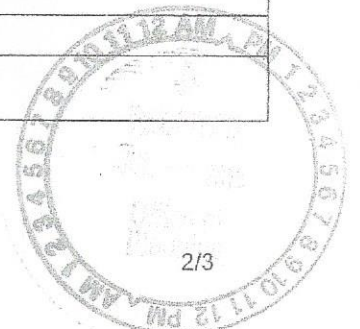
UOSR: Usable Open Space Requirements for Residential and or Mixed-use Developments

(These are areas not counted towards Public Space Requirements)

	Ratio	Total Square Footage
Minimum Required	N/A	
Provided		

Square Footage Breakdown of UOSR amounts provided by the following:

Balconies	
Rooftop Terraces	
Landscaped Areas and Plazas	
Portions of Sidewalks on Private Property	
Portions of Landscaped Areas in Right-of-way adjacent to Property	



This drawing and the intellectual property it represents are the sole property of Dillman Companies, Inc., no portion of it may be reproduced, copied, or used for pricing without written permission.

Decorative Finishes:

Color selection is subject to change without notice. Color selection is subject to change without notice. Color selection is subject to change without notice.

White (S6)

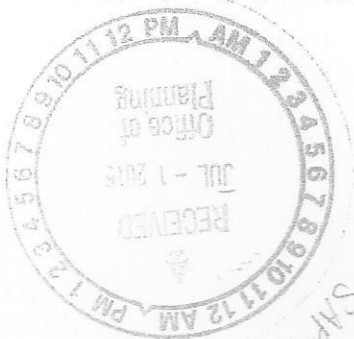
Construction Specifications

141 surface applied cut vinyl

23'-3"

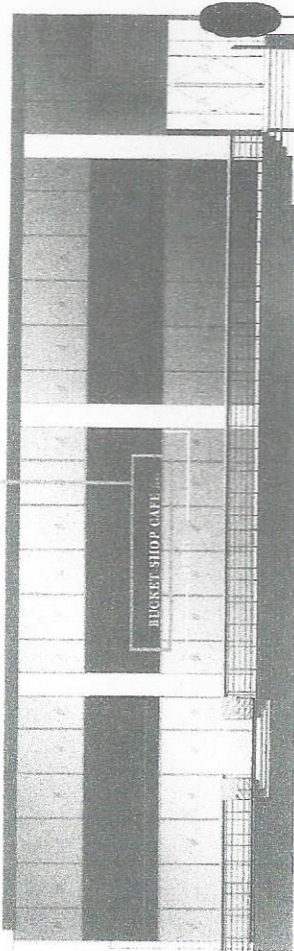
BUCKET SHOP CAFE EST. 1969

1'-2"



SAP-15-087

RECOMMENDED PLACEMENT FOR ALTERNATIVE LOGOMARK



TOTAL AWNING SIZE: 26 FEET
EQUIDISTANT 22' SPACE TO 11' 6" AWNING

Awning Vinyl
Scale: 3/8" = 1'-0"

**DENNISE
COMPANIES**
www.dillman.com
314.411.7444

Copyright © 2015 Dillman Companies, Inc. All rights reserved. This drawing is the property of Dillman Companies, Inc. and is not to be reproduced, copied, or used for pricing without written permission. Color selection is subject to change without notice. Color selection is subject to change without notice. Color selection is subject to change without notice.

MA

The Bucket Shop
Atlanta, GA

11079

MD

MD

06.28.2015

MA

14

Various 1x1

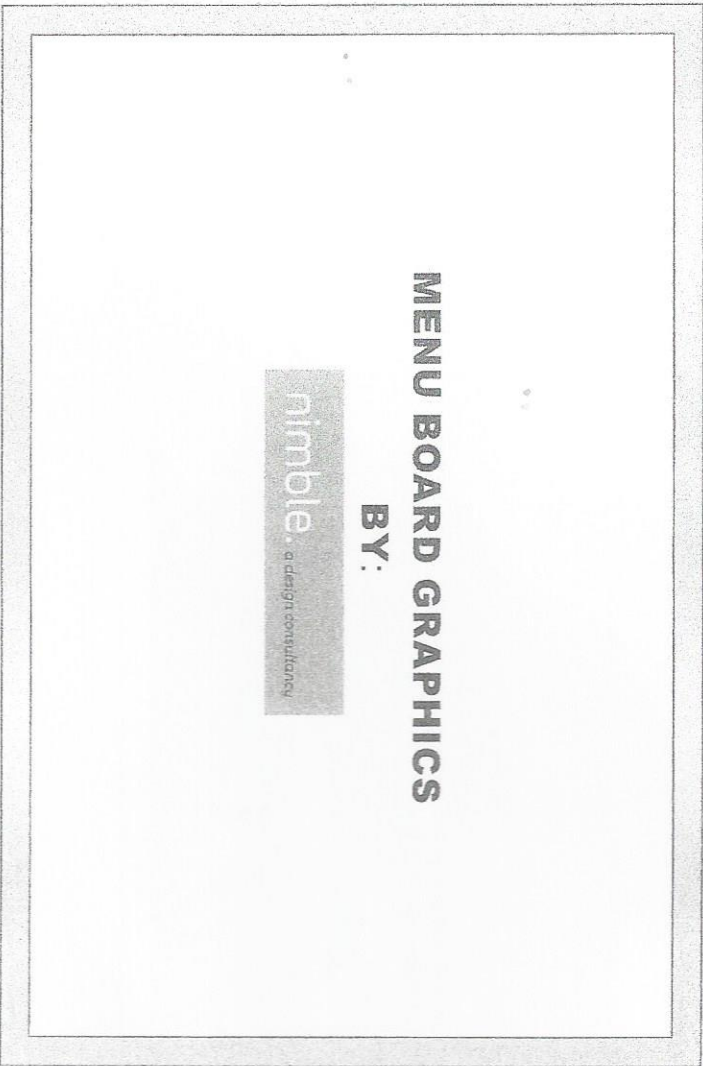
● Color
○ Profile
○ Material

Awning Vinyl

4

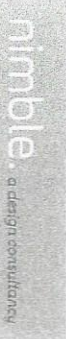
This drawing and the subject of property it represents are the sole property of Denny, Inc. and permission is hereby granted for reproduction, creation or use for printing without written permission.

36"



MENU BOARD GRAPHICS

BY:



End View



24.00"

Menu Box w/ Menu Board
Scale: 3/8" = 1'-0"

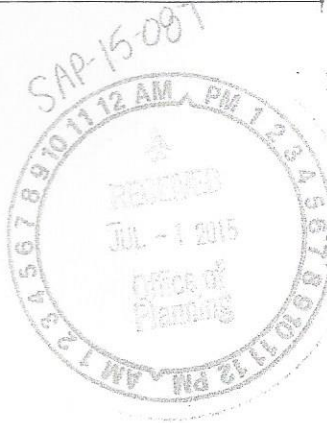
Orders & Printing

1. All orders are subject to change without notice. All artwork must be submitted in a timely manner. 2. All artwork must be submitted in a timely manner. 3. All artwork must be submitted in a timely manner.

Digitally Printed Image (color match not required)

Construction Specifications

1. 18" clear acrylic fins w/ second surface digitally printed graphics on lens for identification.



DENISE
C O M P A N Y
12300 B.L. 24.48
www.denny.com

Copyright © 2015 Denny, Inc. All rights reserved. This drawing is the property of Denny, Inc. and permission is hereby granted for reproduction, creation or use for printing without written permission.

11/11/15

The Budget Shop
Atlanta, GA

Quantity of Material
11079

Backlog Received Date
MD

Design or
material

Date
09.29.2015

Business Date
BA

0

14

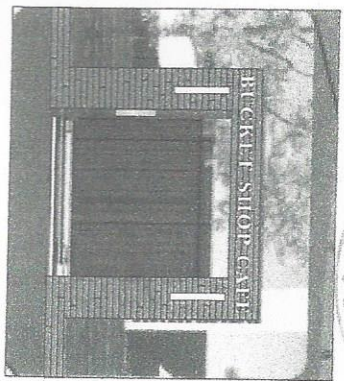
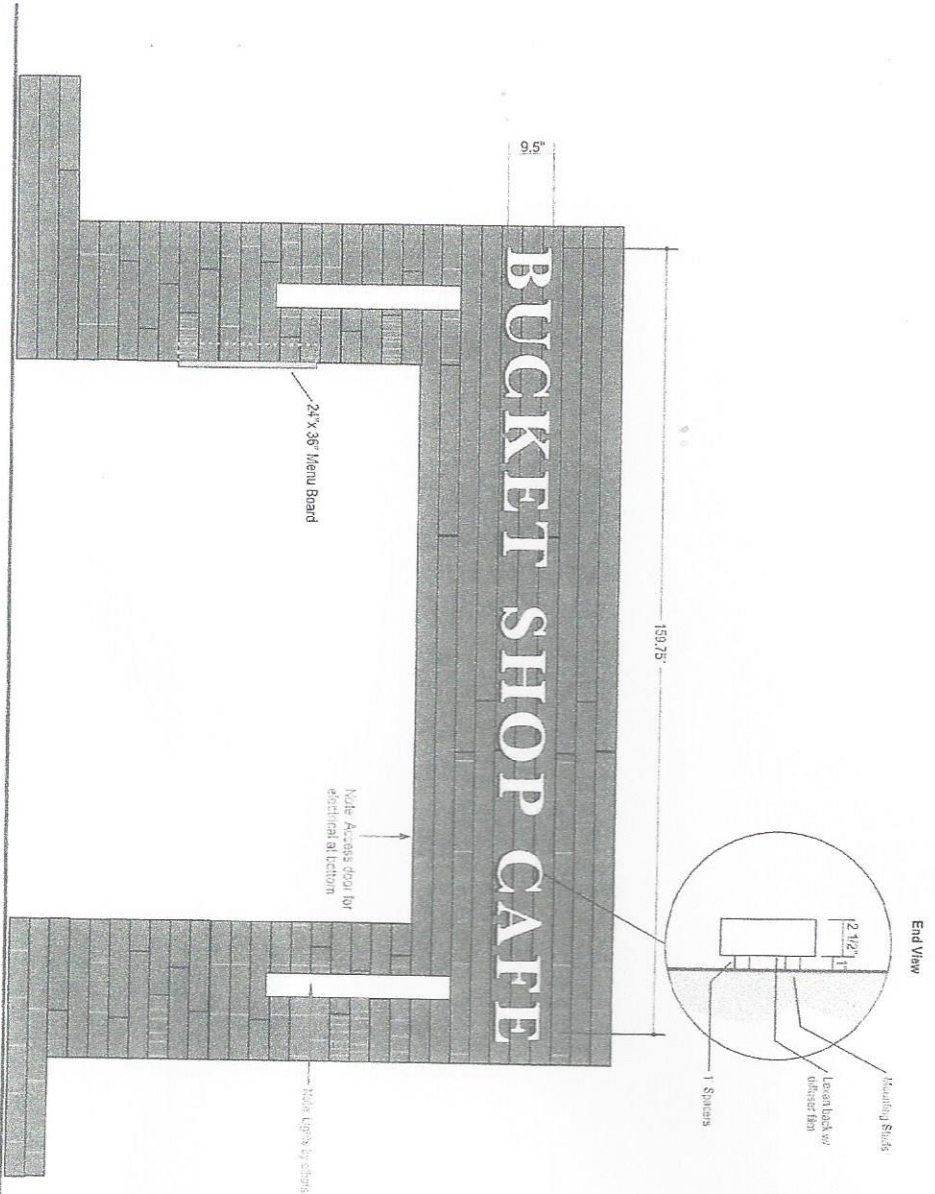
Customer Approval

Planner's
Marcus WJ

- Concepts
- Plotting
- Production

WCP/ML

This drawing and its related property it represents and the title property of the design company. No part of it may be reproduced, stored, or used for printing without written permission.



Channel Letters (Superimposed)
Scale: NTS

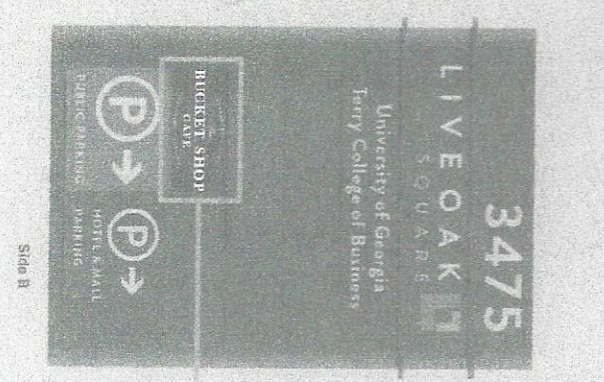
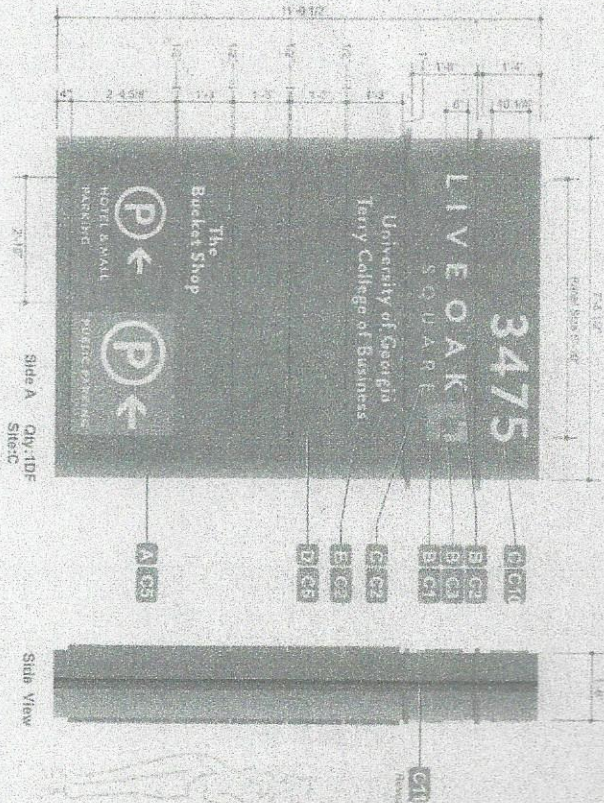
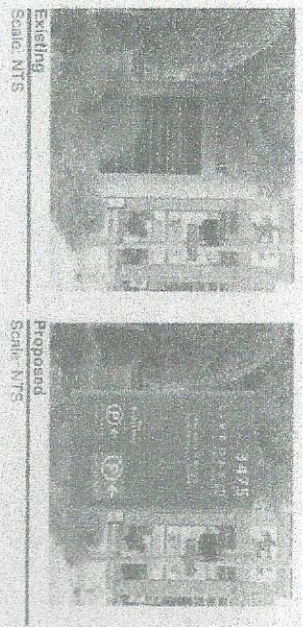
Channel Letters
Scale: 1/2" = 1'-0"

Channel Letters



<p>DENSITE L. M. J. A. N. T. E. R. 4180 W. 17th St. Miami, FL 33142 (305) 351-1100</p>		<p>Completed Design and/or as the result of design. Changes to the design or materials are not included in the price. All materials are to be purchased and installed by the client. The client is responsible for obtaining all necessary permits and approvals. The client is responsible for providing all necessary information and materials for production of the final product. All items are subject to change without notice.</p>
<p>Project/Drawn by The Bucket Shop Atlanta, GA</p>		<p>Project/Drawn by N/A</p>
<p>Approved by [Signature]</p>	<p>Approved by [Signature]</p>	<p>Approved by [Signature]</p>
<p>Date 05/26/2015</p>	<p>Date 05/26/2015</p>	<p>Date 05/26/2015</p>
<p>Project/Drawn by The Bucket Shop</p>	<p>Project/Drawn by The Bucket Shop</p>	<p>Project/Drawn by The Bucket Shop</p>
<p>Design File 14</p>	<p>Design File 14</p>	<p>Design File 14</p>
<p>Customer Approval [Signature]</p>	<p>Customer Approval [Signature]</p>	<p>Customer Approval [Signature]</p>
<p>Printed Version IV1</p>	<p>Printed Version IV1</p>	<p>Printed Version IV1</p>

This drawing and the intellectual property it represents are the sole property of Denny's Corporation. It may not be reproduced, altered or used for printing without written permission.



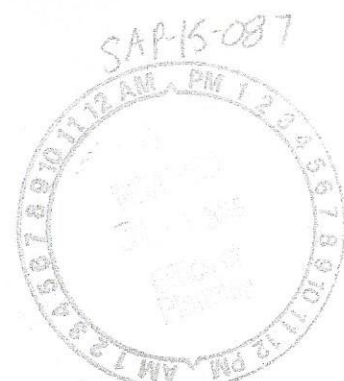
Monument (Tenant Panel)
Scale: 3/8" = 1'

Color & Finish

- Color: Pantone 448 C
- Finish: Matte

Dimensions & Specifications

- Height: 7.3' (7' 3")
- Width: 11.6' (11' 6")
- Material: Aluminum Composite Material (ACM)
- Weight: 150 lbs



Torretti Sign

DENNY'S CORPORATION
 100 Peachtree Street, N.E.
 Atlanta, GA 30309
 Phone: 404.521.2439
 Fax: 404.521.2449
 www.dennys.com

Copyright © 2015 Denny's Corporation
 All rights reserved. This drawing is the property of Denny's Corporation and is confidential. It may not be reproduced, altered or used for printing without written permission.

Project Name & Address:
 The Bucket Shop
 Atlanta, GA

Managerial Company:
 HIA

Design & Fabrication:
 Torretti Sign
 11079

Material:
 Aluminum Composite Material (ACM)

Dimensions:
 7.3' x 11.6'

Date:
 05.26.2015

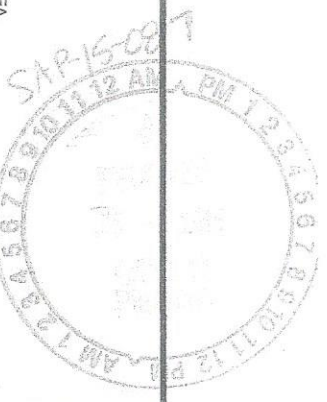
File Name:
 1A

Notes:
 1. See drawing for details.

Values:
 1M

BUCKET SHOP PATIO REPLACEMENT

3475 LENOX ROAD NE ATLANTA, GEORGIA



DATE: 03-17-15
DRAWN BY: BMR
REVIEWED BY: MBM
PROJECT NO.: 15-4-3238
SCALE: AS NOTED

S1

SHEET NO.

SCOPE OF WORK

RELOCATE EXISTING PATIO FURNITURE TO ON-SITE LOCATION DESIGNATED BY PROPERTY MANAGEMENT.

REMOVE PERIMETER STEEL FENCE AND STORE ON-SITE PRIOR TO DEMOLITION OF CONCRETE. DEMOLITION ACTIVITIES SHALL BE PERFORMED ON SUNDAYS AND DURING WEEKDAY MORNINGS.

COORDINATE WITH ARBORGAURD TO PROTECT ADJACENT LANDSCAPING DURING DEMOLITION AND CONSTRUCTION.

REMOVE EXISTING CONCRETE SLAB AS DESIGNATED ON PLAN. DRAINAGE SYSTEM TO REMAIN.

SUPPLEMENT SUBGRADE WITH COMPACTED NO. 57 STONE AS REQUIRED IF DEPRESSED ELEVATIONS OBSERVED FOLLOWING DEMOLITION.

INSTALL ISOLATION JOINT AT INTERSECTION WITH BUILDING AND AT PERIMETER OF COLUMNS

INSTALL CONCRETE SLAB AS SPECIFIED ON PLANS TO MATCH EXISTING DIMENSIONS, ELEVATION, AND FINISH. SLAB SHALL DRAIN AWAY FROM BUILDING TOWARDS EXISTING DRAINS.

INSTALL COVE SEALANT JOINT AT PERIMETER OF EXISTING CONCRETE COLUMNS AND AT INTERSECTION WITH WINDOW FRAMES.

RE-INSTALL PERIMETER STEEL FENCE.

MATERIAL NOTES

WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM A185.

JOINT SEALANT SHALL BE DOW CORNING 795.

BACKER ROD SHALL CONFORM TO REQUIREMENTS OF SEALANT MANUFACTURER.

CONCRETE SHALL HAVE MINIMUM 4,000 PSI STRENGTH AT 28 DAYS. AIR ENTRAINMENT 5% +/-1.5%

STEEL PLATE SHALL CONFORM TO ASTM A36.

REINFORCING STEEL SHALL MEET ASTM A615 GRADE 60, DEFORMED.

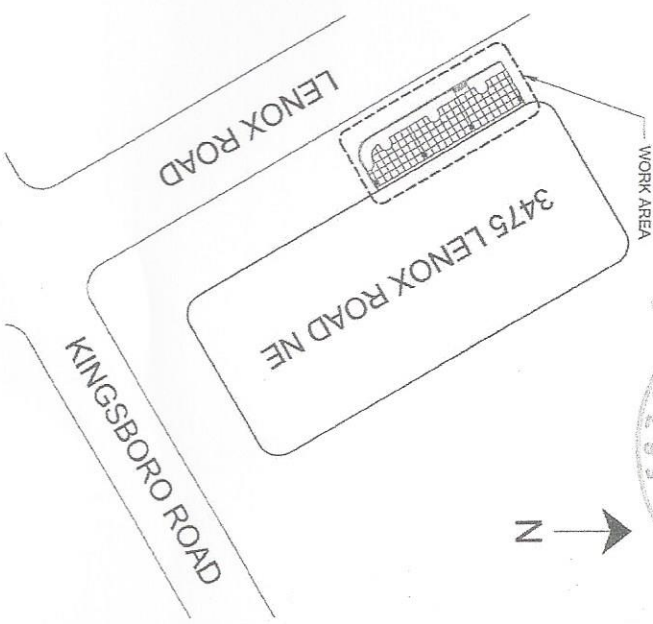
BOLTS SHALL CONFORM TO ASTM A307.

REPAIR PRODUCTS IDENTIFIED ON PLANS AND ABOVE INDICATE THE TYPE AND MINIMUM QUALITY. ALTERNATE PRODUCTS MUST BE SUBMITTED WITH BID FORM FOR APPROVAL.

SHEET LIST

- S1 GENERAL NOTES
- S2 DEMOLITION PLAN
- S3 REPLACEMENT PLAN

1
KEY PLAN
SCALE: 1/64" = 1'-0"



GENERAL NOTES

THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.

ALL CHANGES OF QUANTITY, MATERIALS, AND REPAIR SHALL BE APPROVED BY ENGINEER AND PROPERTY MANAGEMENT.

ALL REPAIR PRODUCTS TO BE STORED, HANDLED AND APPLIED PER MANUFACTURERS RECOMMENDATIONS.

PROVIDE AND ASSUME COMPLETE RESPONSIBILITY FOR SUCH SAFETY PROGRAM AND FACILITIES AS WILL ADEQUATELY PROTECT WORKMEN, THE PUBLIC AND OTHERS WHO MAY PROPERLY BE ABOUT THIS SITE.

PROVIDE ADDITIONAL STORAGE AT NO COST TO OWNER IN THE EVENT THAT ADDITIONAL STORAGE AREA IS REQUIRED BEYOND THAT PROVIDED AT PROJECT SITE.

PROPER STORAGE OF MATERIALS IS THE SOLE RESPONSIBILITY OF CONTRACTOR. PROTECT ALL MATERIALS SUSCEPTIBLE TO MOISTURE. KEEP ALL LABELS INTACT AND LEGIBLE. CLEARLY SHOWING THE PRODUCT, MANUFACTURER, AND OTHER PERTINENT INFORMATION.

FURNISH AND MAINTAIN TEMPORARY RAMPS, SCAFFOLDS, HOISTS, OR CHUTES AS REQUIRED FOR PROPER EXECUTION OF WORK. SUCH APPARATUS, EQUIPMENT AND CONSTRUCTION SHALL MEET REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL SAFETY AND LABOR LAWS.

PROVIDE BARRICADES AS REQUIRED TO PROTECT NATURAL RESOURCES, SITE IMPROVEMENTS, EXISTING PROPERTY, ADJACENT PROPERTY, AND PASSERS BY, REMOVE GUARDRAILS AND BARRICADES AT COMPLETION OF CONSTRUCTION.

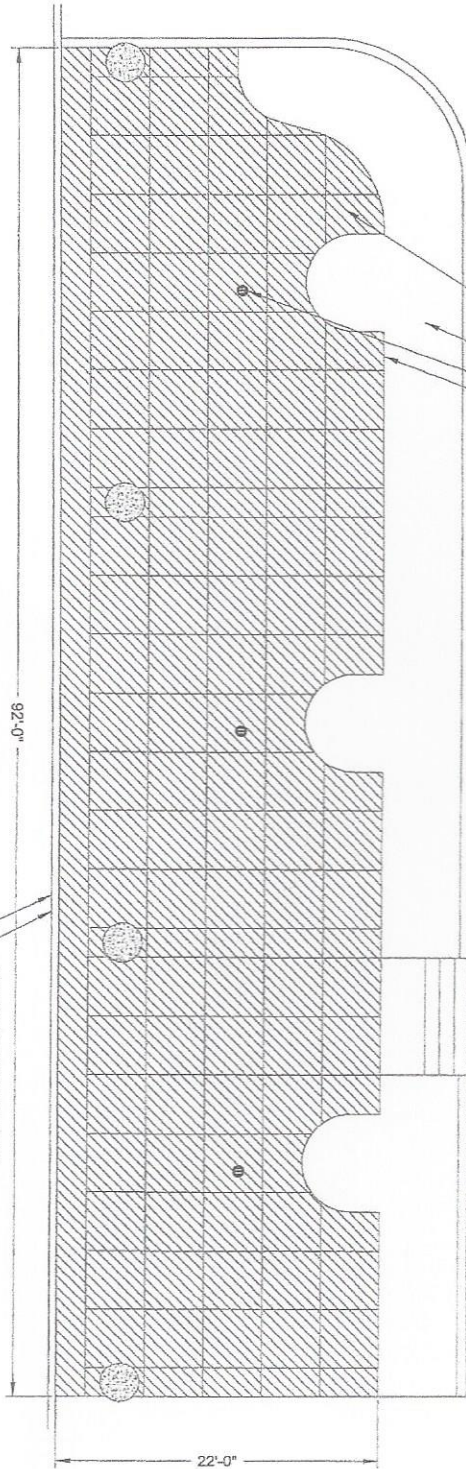
WHERE PEDESTRIAN TRAFFIC IS THROUGH OR ADJACENT TO WORK AREAS, PROVIDE NECESSARY GUARDRAILS AND BARRICADES TO PROTECT PEDESTRIANS AND TO PREVENT PEDESTRIAN ACCESS TO WORK AREAS.

CONFINED APPARATUS AND OPERATIONS TO LIMIT DEFINED BY THE OWNER AND MAKE ALL REASONABLE EFFORTS TO AVOID INTERFERING WITH ACTIVITIES NORMALLY CARRIED ON AT THE SITE. ENFORCE OWNER'S INSTRUCTIONS REGARDING SIGNS, FIRES, PARKING, SMOKING, ETC.

TO MAINTAIN EXTENT REASONABLY POSSIBLE, KEEP THE BUILDING AND GROUNDS FREE OF DEBRIS AND IN AN ORDERLY CONDITION AT ALL TIMES. AVOID ACCUMULATIONS OF COMBUSTIBLE MATERIALS. DO NOT ALLOW WASTE MATERIALS, RUBBISH, AND DEBRIS TO ACCUMULATE AND BECOME AN UNSIGHTLY OR DANGEROUS CONDITION. REMOVE WASTE MATERIALS, RUBBISH, AND DEBRIS FROM SITE AND LEGALLY DISPOSE OF AT PUBLIC OR PRIVATE DUMPING AREAS OFF OWNERS PROPERTY. KEEP STREETS AND ACCESS TO SITE FREE OF RUBBISH AND DEBRIS.

<p>PENTA ENGINEERING GROUP, INC.</p> <p>4000 MILLER COURT WEST NORCROSS, GEORGIA 30071 TELEPHONE: (678) 282-1999</p>	<p>BUCKET SHOP SLAB ONE LIVE OAK ATLANTA, GEORGIA</p>	<p>DATE: 03-17-15 DRAWN BY: BMR REVIEWED BY: MBM PROJECT NO.: 15-4-3238 SCALE: AS NOTED</p>	<p style="font-size: 2em; font-weight: bold;">S1</p> <p>SHEET NO.</p>
	<p>GENERAL NOTES</p>		

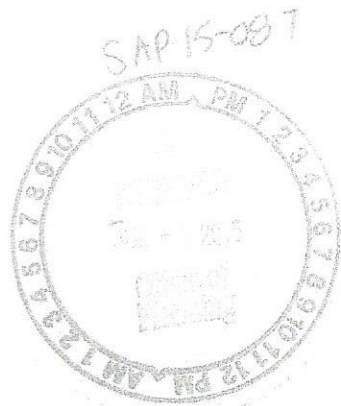
HATCHED CONCRETE TO BE DEMOLISHED
 PROTECT SITE LANDSCAPING DURING DEMOLITION
 EXISTING DRAINS AND PLUMBING TO REMAIN. PROTECT OPENINGS
 TO PREVENT DEBRIS ACCUMULATION WITHIN PLUMBING
 REMOVE STEEL RAILING AND STORE ONSITE DURING
 DEMOLITION AND SLAB REPLACEMENT



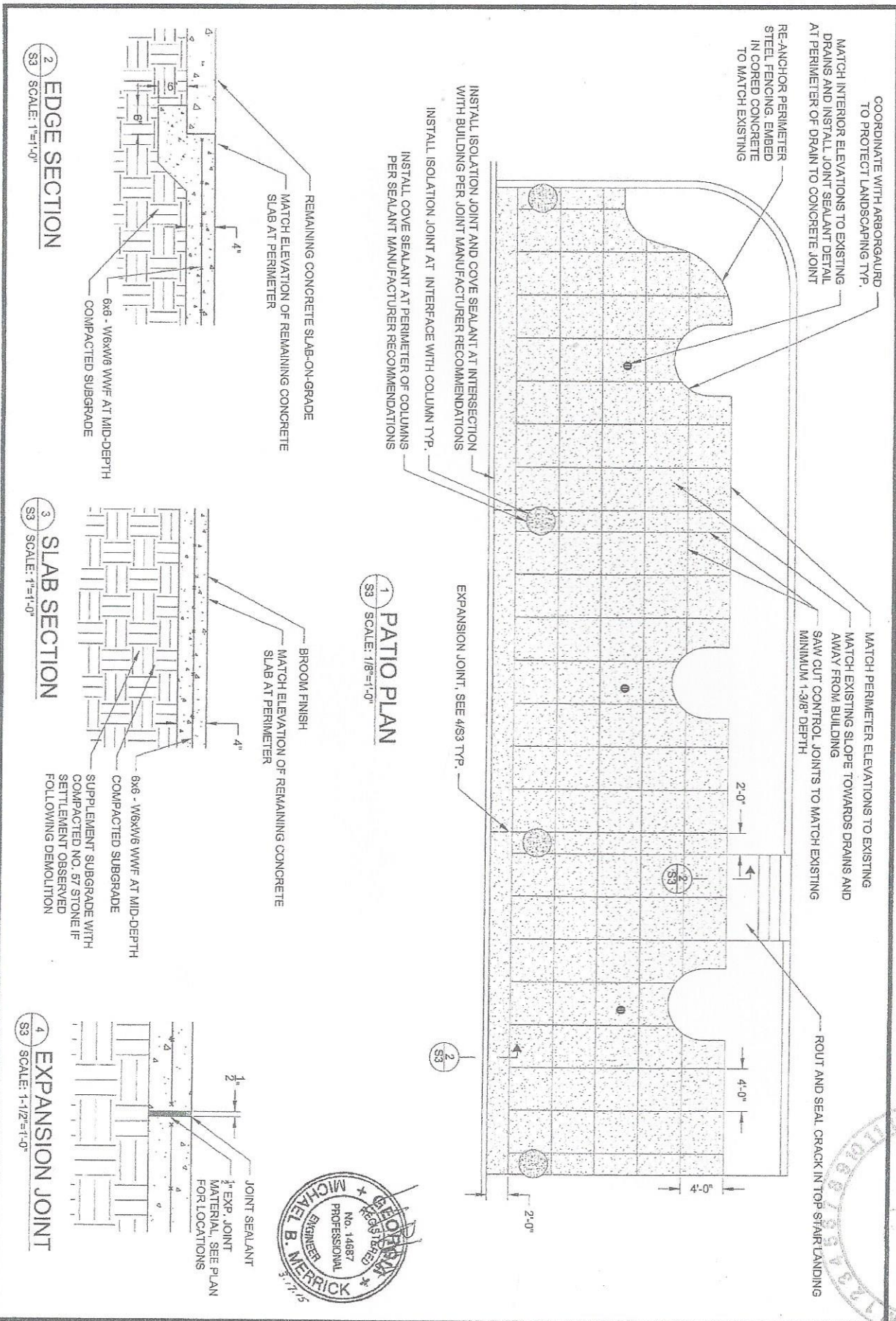
1 PATIO PLAN
 S2 SCALE: 7/8"=1'-0"

DEMOLITION NOTES
 SPACE WILL BE PROVIDED AT LOADING DOCK FOR
 CONTRACTOR DUMPSTER.
 DEMOLITION SHALL TAKE PLACE DURING WEEKDAY MORNINGS AND
 SUNDAYS ACCORDING TO NOISE RESTRICTIONS. ADDITIONAL WORK
 DAY CONSTRAINTS MAY BE ENFORCED BY PROPERTY.
 PROTECT ADJACENT LANDSCAPING AND BUILDING FINISHES DURING
 CONCRETE DEMOLITION.

BUILDING EXTERIOR WALL
 PROTECT OPENINGS AND EXTERIOR FINISHES
 DURING DEMOLITION



PENTA ENGINEERING GROUP, INC. 4000 MILLER COURT WEST NORCROSS, GEORGIA 30071 TELEPHONE: (678) 282-1999	BUCKET SHOP SLAB ONE LIVE OAK ATLANTA, GEORGIA	DATE: 03-17-15 DRAWN BY: BMR REVIEWED BY: MBM	S2 SHEET NO.
	DEMOLITION PLAN	PROJECT NO.: 15-4-3238 SCALE: AS NOTED	



2 EDGE SECTION
S3 SCALE: 1"=1'-0"

3 SLAB SECTION
S3 SCALE: 1"=1'-0"

1 PATIO PLAN
S3 SCALE: 1/8"=1'-0"

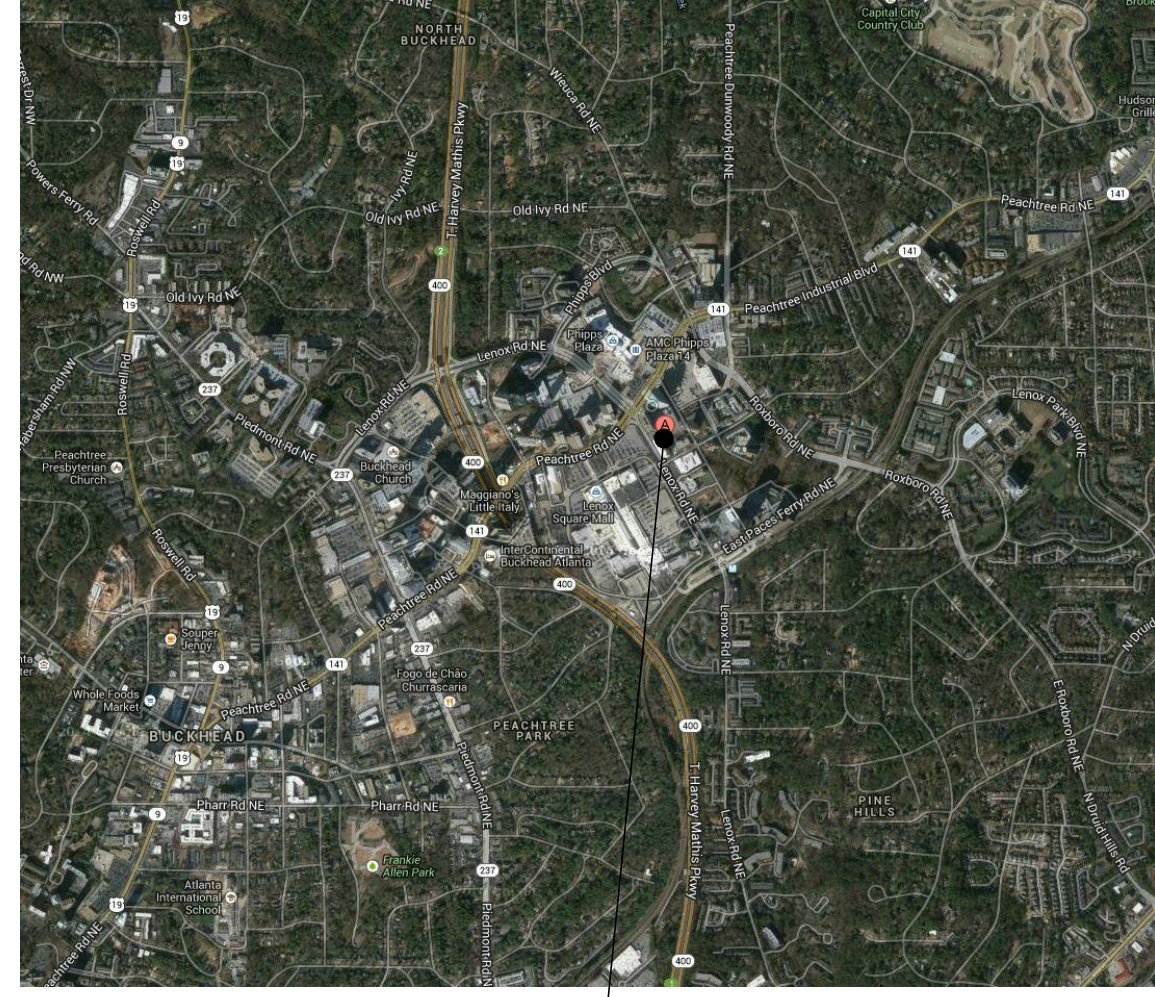
4 EXPANSION JOINT
S3 SCALE: 1-1/2"=1'-0"



SAP-15-08
11:08 AM
1:12 PM

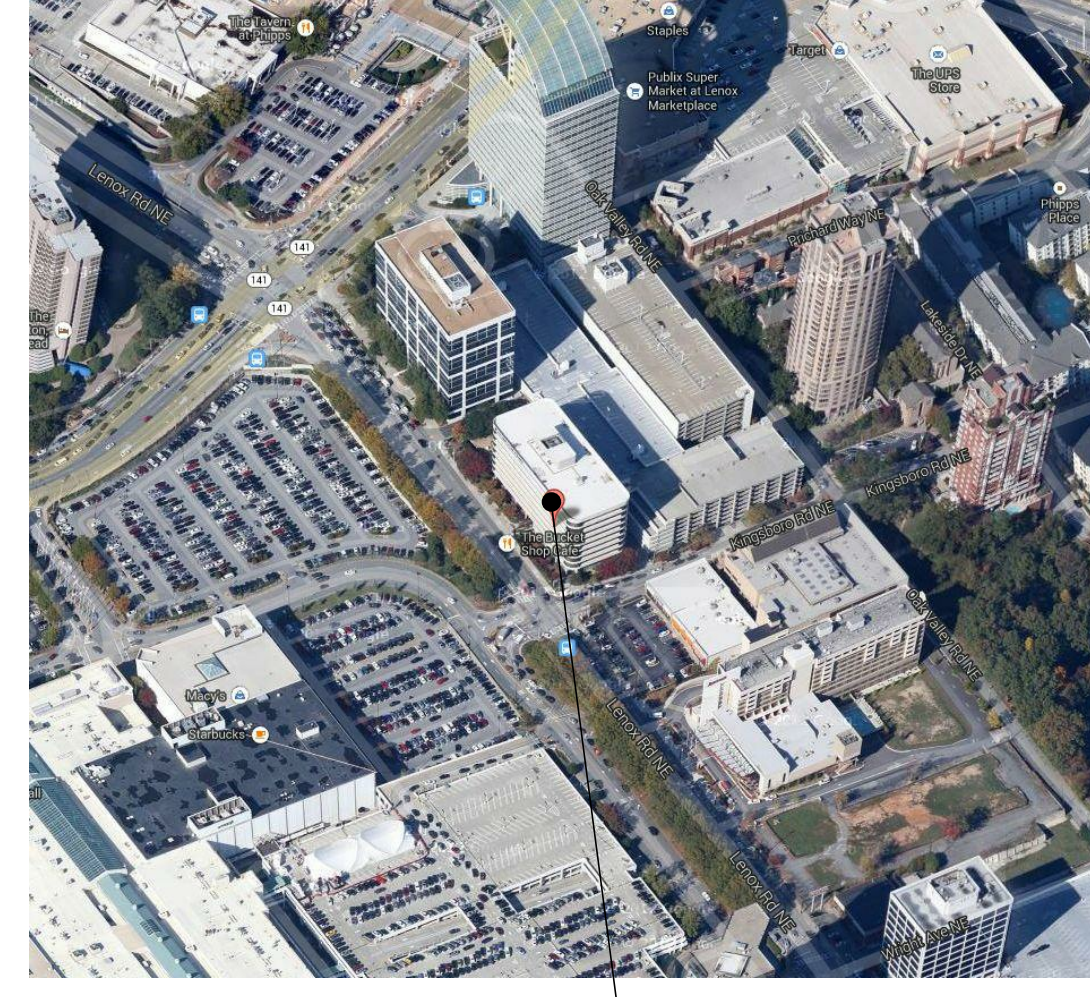
PENTA ENGINEERING GROUP, INC. 4000 MILLER COURT WEST NORCROSS, GEORGIA 30071 TELEPHONE: (678) 282-1999	BUCKET SHOP SLAB ONE LIVE OAK ATLANTA, GEORGIA	DATE: 03-17-15 DRAWN BY: BMR REVIEWED BY: MBM PROJECT NO.: 15-4-3238 SCALE: AS NOTED	S3 SHEET NO.
	REPLACEMENT PLAN		

LOCATION MAP



PROJECT LOCATION

VICINITY MAP



PROJECT LOCATION

PROJECT INFORMATION

PROJECT ADDRESS:
3475 LENOX RD. NE
ATLANTA, GA 30326

EXISTING BUILDING CONSTRUCTION:
CONSTRUCTION TYPE 1B, SPRINKLERED

BUILDING OCCUPANCY:
BUSINESS OCCUPANCY

OWNER:
HIGHBROOK INVESTMENT MANAGEMENT, LP
680 FIFTH AVENUE, 19TH FLOOR
NEW YORK, NY 10019

PROJECT DESCRIPTION:
EXTERIOR BUILDING RENOVATION. WORK TO INCLUDE PAINTING THE EXSTING CONCRETE BUILDING STRUCTURE, NEW METAL ACCESSORY ATTACHMENS AT THE WINDOWS, NEW BUILDING SIGNAGE PYLON, NEW WOOD RAILING, AND DECORATIVE TRIM WORK..

EXISTING BUILDING:
BUILDING HEIGHT - 140 FT. (10 STORIES)
BUILDING TOTAL AREA - 207,173 SF. (EXCLUDING PENTHOUSE)

APPLICABLE CODES

- BUILDING CODE:** INTERNATIONAL BUILDING CODE, 2012 EDITION WITH GEORGIA AMENDMENTS (2013)
- FIRE CODE:** INTERNATIONAL FIRE CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2013)
- PLUMBING CODE:** INTERNATIONAL PLUMBING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2013)
- MECHANICAL CODE:** INTERNATIONAL MECHANICAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2013)
- GAS CODE:** INTERNATIONAL FUEL GAS CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2013)
- ELECTRICAL CODE:** NATIONAL ELECTRICAL CODE, 2011 EDITION
- ENERGY CODE:** INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2011) (2012)
- LIFE SAFETY CODE:** NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 LIFE SAFETY CODE, 2013 EDITION WITH GEORGIA AMENDMENTS
- ACCESSIBILITY CODE:** 2010 STANDARDS FOR ACCESSIBLE DESIGN

09/26/2014 ISSUED FOR CONSTRUCTION

SHEET NUMBER	SHEET DESCRIPTION
A0	COVER
A.000	PROJECT INFORMATION
A.050	SITE PLAN
A.051	ENLARGED SITE PLAN AND ELEVATION - PART A
A.052	ENLARGED SITE PLAN - PART B AND ELEVATION
A.054	ARCHWAY IN FRONT OF BUCKET SHOP AT LENOX ROAD

ONE LIVE OAK

3475 Lenox Rd NE
Atlanta, GA 30326

999 Peachtree Street NE
Suite 1400
Atlanta, GA 30309
Tel: 404.507.1000
Fax: 404.507.1001

Gensler



PROJECT SCOPE FOR EXTERIOR WORK:
WORK TO INCLUDE PAINTING THE EXSTING CONCRETE BUILDING STRUCTURE, NEW METAL ACCESSORY ATTACHMENS AT THE WINDOWS, NEW BUILDING SIGNAGE PYLON, NEW WOOD RAILING, AND DECORATIVE TRIM WORK.

Revision	Date	Description	By	Check

09/26/14	ISSUED FOR CONSTRUCTION		

Seal/Signature _____



Project Name
One Live Oak Interior Renovation

Project Number
13.2234.000

Description
PROJECT INFORMATION

Scale
12" = 1'-0"

A.000

© 2014 Gensler

ONE LIVE OAK

3475 Lenox Rd NE
Atlanta, GA 30326

999 Peachtree Street NE
Suite 1400
Atlanta GA 30309
Tel: 404.507.1000
Fax: 404.507.1001

Gensler



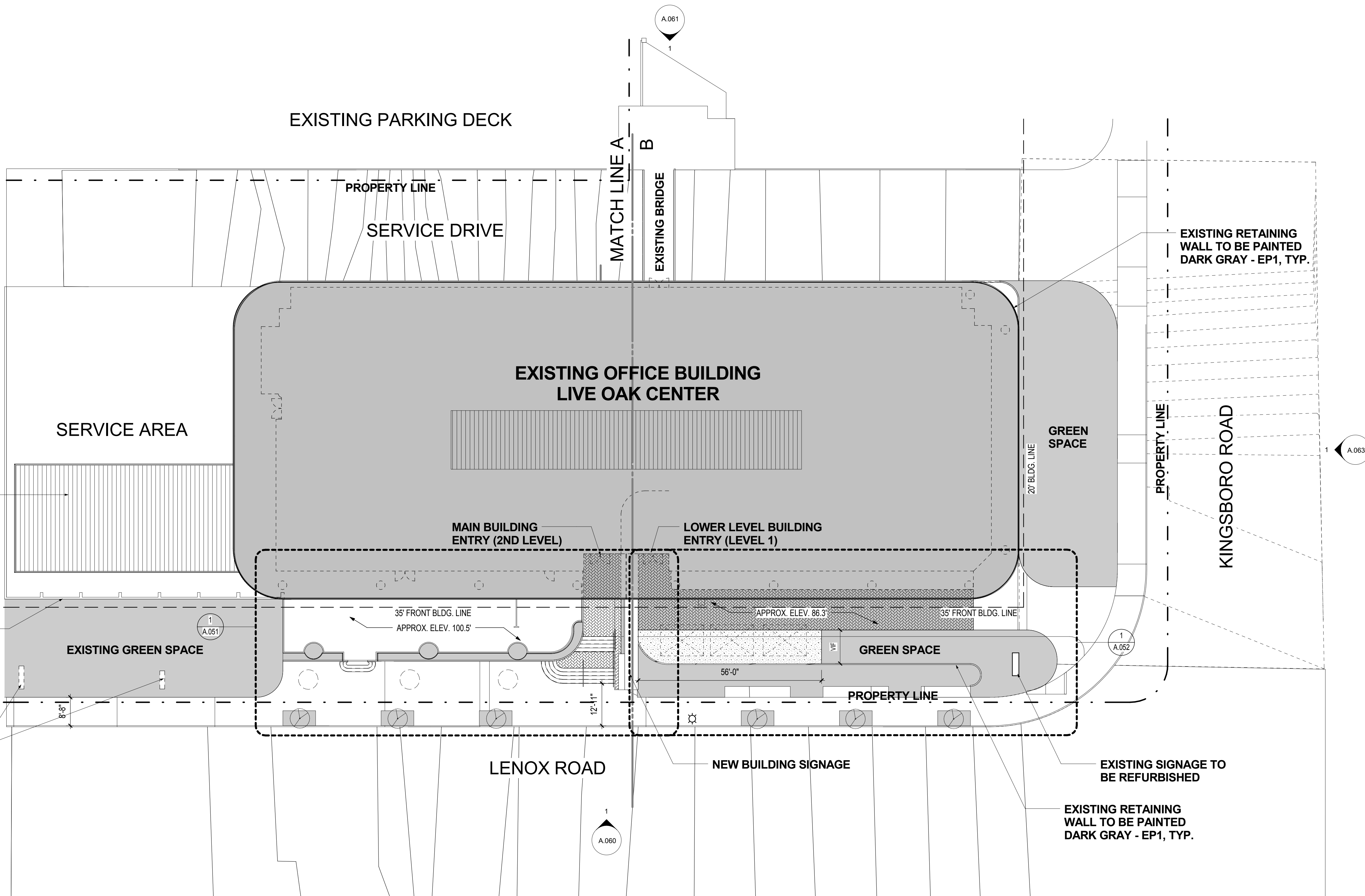
Revision	Date	Description	By	Check
1	06/15/15	ISSUED FOR CONSTRUCTION		
	10/22/14	ISSUED FOR PERMIT CLARIFICATION		
	09/26/14	ISSUED FOR CONSTRUCTION		

Seal/Signature



Project Name	One Live Oak Interior Renovation
Project Number	13.2234.000
Description	SITE PLAN
Scale	As indicated

A.050
© 2009 Gensler



SITE PLAN

SCALE: 1/16" = 1'-0" REFERENCE SHEET: n/a

DRAWING NOTES

- A. NO CHANGE TO OR ADDITION OF STREET LIGHTS, TRANSFORMERS, AC UNITS, OR SIMILAR MECHANICAL EQUIPMENT.
- B. NO CHANGE TO BUILDING HEIGHT OR EXISTING FENESTRATION PERCENTAGE.
- C. ALL EXISTING GLAZING AND FENESTRATION TO REMAIN AS IS.
- D. EXISTING IRRIGATION SYSTEM FOR LANDSCAPING AREA TO REMAIN.
- E. U.O.N. ALL EXPOSED EXTERIOR CONCRETE SURFACES SHALL BE PAINTED GREY-EP1.

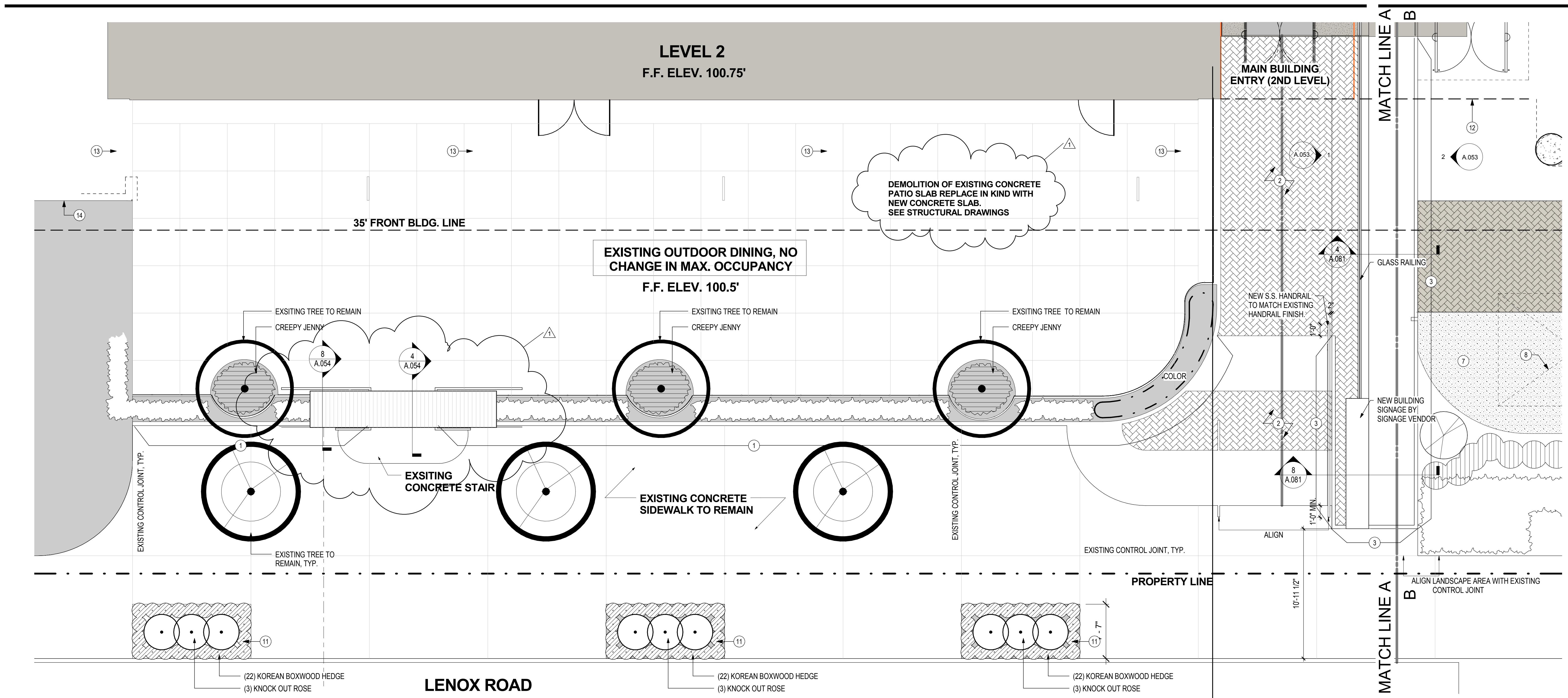
SHEET NOTES

- (N) INDICATES SHEET NOTE
EVERY SHEET NOTE MAY NOT APPEAR ON THIS PAGE

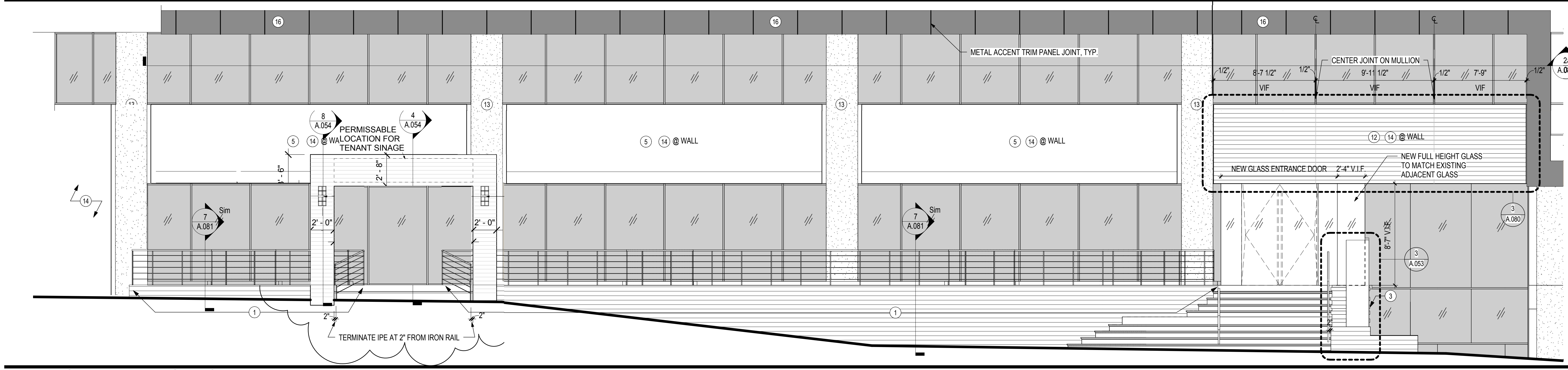
LEGEND

PLOT DATE: 6/15/2015 5:24:49 PM
FILE PATH AND NAME: \\gensler-ad\projects\RevitUserModels\21512\CENTRAL_OLO_13.2234_000_2014_Emma Caldwell.rvt

1



SITE PLAN - PART A
 SCALE: 1/4" = 1'-0" REFERENCE SHEET: A.050



ENLARGED ELEVATION - SITE PLAN PART A
 SCALE: 1/4" = 1'-0" REFERENCE SHEET: A.060

DRAWING NOTES

- A. NO CHANGE TO OR ADDITION OF STREET LIGHTS, TRANSFORMERS, AC UNITS, OR SIMILAR MECHANICAL EQUIPMENT.
- B. NO CHANGE TO BUILDING HEIGHT OR EXISTING FENESTRATION PERCENTAGE.
- C. ALL EXISTING GLAZING AND FENESTRATION TO REMAIN AS IS.
- D. EXISTING IRRIGATION SYSTEM FOR LANDSCAPE AREA TO REMAIN.
- E. U.O.N. ALL EXPOSED EXTERIOR CONCRETE SURFACES SHALL BE PAINTED GREY-EP1.

SHEET NOTES

- (P) INDICATES SHEET NOTE
 EVERY SHEET NOTE MAY NOT APPEAR ON THIS PAGE
- 1 NEW IPE WOOD SCREEN APPLIED TO EXISTING RETAINING WALL. IPE SCREEN COVERING EXTENT OF EXISTING RETAINING WALL TO RECEIVE PARGE COAT TO REMOVE GROOVES & PAINT DARK GRAY, EP1.
 - 2 REMOVE AND REPLACE WITH NEW PAVERS - BELDEN, EBONY BLACK PAVERS, 2 1/4" X 3 5/8" X 7 5/8"
 - 3 NEW WOOD SCREEN TO COVER EXISTING PLANTERS.
 - 5 EXISTING AWNINGS RECOVERED IN NEW FABRIC. FRAMEWORK TO REMAIN.
 - 6 PAINT EXISTING BRICK PAVERS WITH PPG PERMA CRETE, COLOR: 555-7 BLACK FOREST
 - 7 NEW PATIO WITH PERVIOUS PAVER - BELGARD ECO DUBLIN PAVERS, COLOR- GREY GRANITE, SEE CIVIL DWGS.
 - 8 NEW WOOD BENCH WITH CANOPIES, N.I.C.
 - 9 EXISTING SIGNAGE TO BE REFURBISHED BY SIGANGE VENDOR.
 - 11 NEW TREE WELL AT STREET.
 - 12 NEW WOOD LOUVERED AWNING OVER ENTRY DOOR
 - 13 PAINT EXTERIOR COLUMNS WITH WHITE PAINT - SHERWIN WILLIAMS CONFLX XL - WHITE
 - 14 PAINT EXTERIOR WITH GREY PAINT - SHERWIN WILLIAMS CONFLX XL, COLOR: IRON ORE SW 7069
 - 15 INFILL EXISTING LANDSCAPE AREA WITH NEW SIDEWALK
 - 16 METAL ACCENT TRIM

LEGEND

Ref. North

ONE LIVE OAK

3475 Lenox Rd NE
 Atlanta, GA 30326

Gensler

999 Peachtree Street NE
 Suite 1400
 Atlanta GA 30309
 Tel: 404.507.1000
 Fax: 404.507.1001

**NO TREE GREATER THAN 6" IN DIA.
 SHALL BE REMOVED**

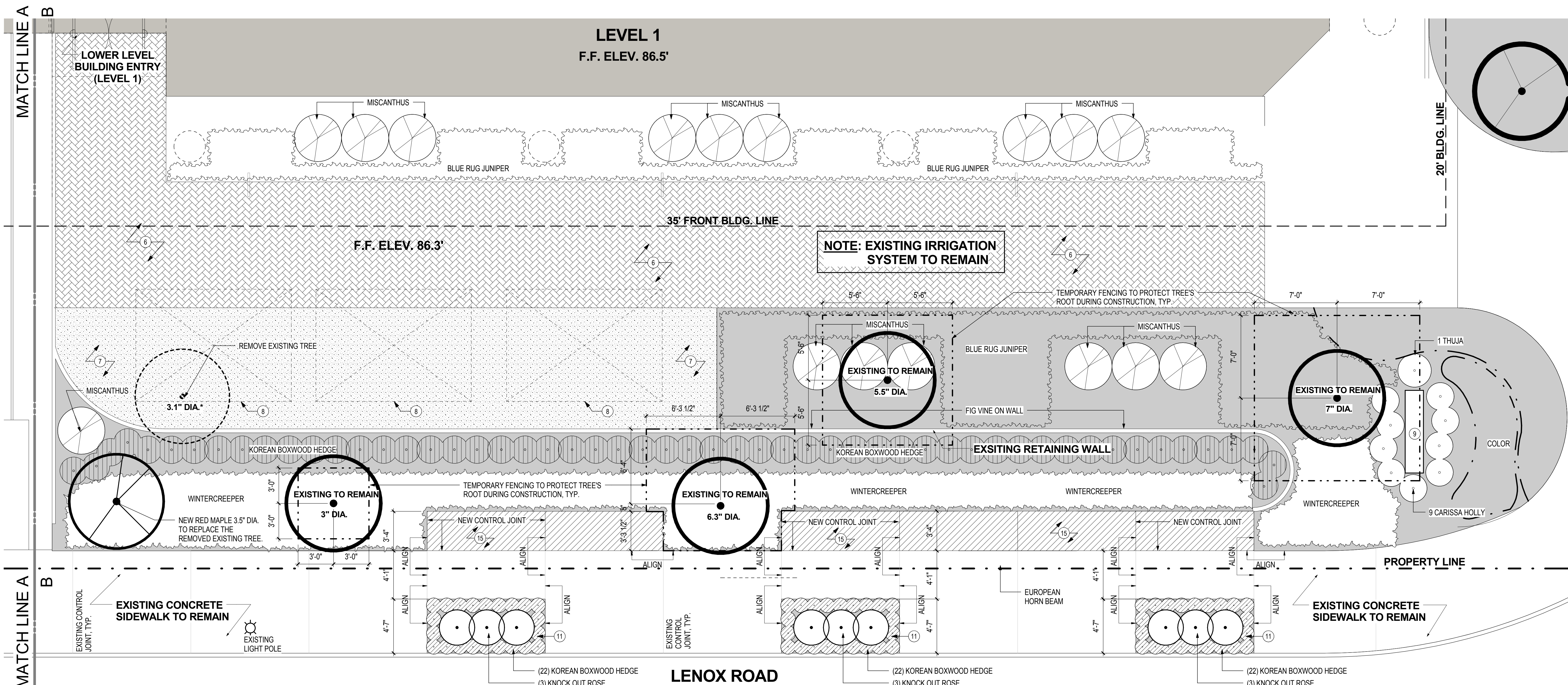
Revision	Date	Description	By	Check

09/26/14	ISSUED FOR CONSTRUCTION			
10/22/14	ISSUED FOR PERMIT CLARIFICATION			
02/11/15	SITE PLAN REVISION			
1	06/15/15	ISSUED FOR CONSTRUCTION		

Seal/Signature

Project Name	One Live Oak Interior Renovation
Project Number	13.2234.000
Description	ENLARGED SITE PLAN AND ELEVATION - PART A
Scale	As indicated

A.051
 © 2009 Gensler



ONE LIVE OAK

3475 Lenox Rd NE
Atlanta, GA 30326

999 Peachtree Street NE
Suite 1400
Atlanta GA 30309
Tel: 404.507.1000
Fax: 404.507.1001

Gensler

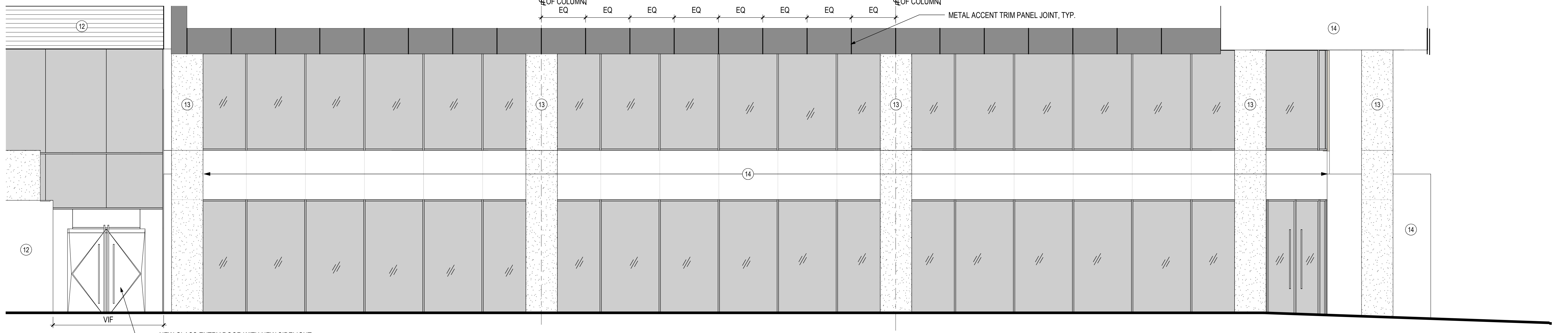


NO TREE GREATER THAN 6\"/>

Revision	Date	Description	By	Check

Revision	Date	Description	By	Check
	09/26/14	ISSUED FOR CONSTRUCTION		
	10/22/14	ISSUED FOR PERMIT CLARIFICATION		
	02/11/15	SITE PLAN REVISION		
1	06/15/15	ISSUED FOR CONSTRUCTION		

SITE PLAN - PART B
SCALE: 1/4" = 1'-0" REFERENCE SHEET: A.050

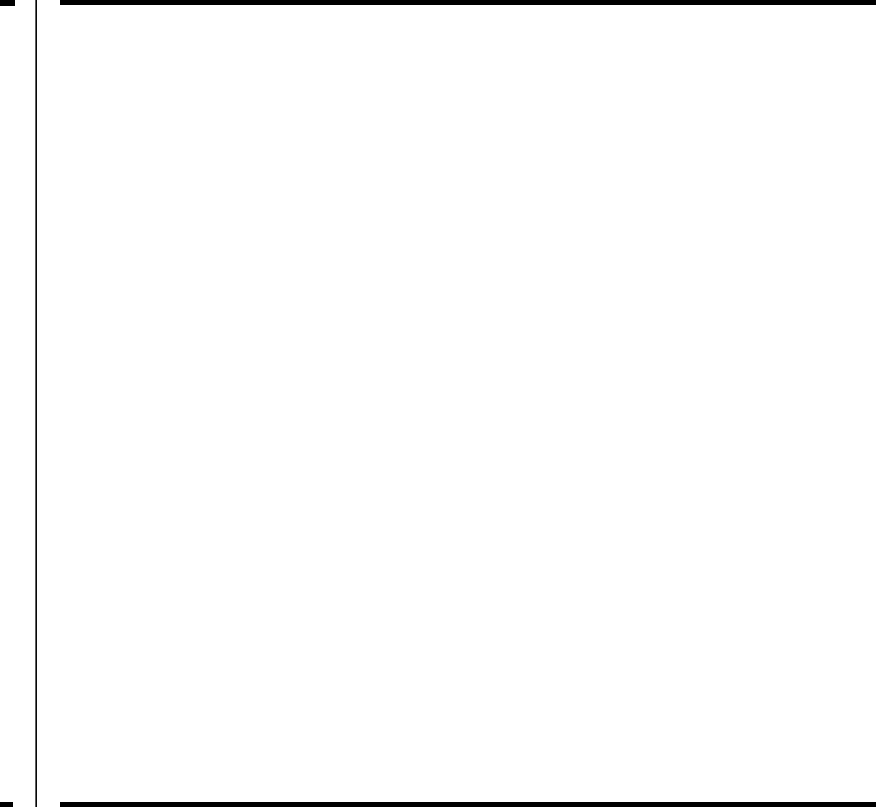


ENLARGED ELEVATION - SITE PLAN PART B
SCALE: 1/4" = 1'-0" REFERENCE SHEET: A.060

- DRAWING NOTES**
- A. NO CHANGE TO OR ADDITION OF STREET LIGHTS, TRANSFORMERS, AC UNITS, OR SIMILAR MECHANICAL EQUIPMENT.
 - B. NO CHANGE TO BUILDING HEIGHT OR EXISTING FENESTRATION PERCENTAGE.
 - C. ALL EXISTING GLAZING AND FENESTRATION TO REMAIN AS IS.
 - D. EXISTING IRRIGATION SYSTEM FOR LANDSCAPING AREA TO REMAIN.
 - E. U.O.N. ALL EXPOSED EXTERIOR CONCRETE SURFACES SHALL BE PAINTED GREY-EP1.

- SHEET NOTES**
- (N) INDICATES SHEET NOTE
 - EVERY SHEET NOTE MAY NOT APPEAR ON THIS PAGE
 - 1 NEW IPE WOOD SCREEN APPLIED TO EXISTING RETAINING WALL. IPE SCREEN COVERING EXTENT OF EXISTING RETAINING WALL TO RECEIVE PARGE COAT TO REMOVE GROOVES & PAINT DARK GRAY, EP1.
 - 2 REMOVE AND REPLACE WITH NEW PAVERS - BELDEN, EBONY BLACK PAVERS, 2 1/4" X 3 5/8" X 7 5/8"
 - 3 NEW WOOD SCREEN TO COVER EXISTING PLANTERS.
 - 5 EXISTING AWNINGS RECOVERED IN NEW FABRIC. FRAMEWORK TO REMAIN.
 - 6 PAINT EXISTING BRICK PAVERS WITH PPG PERMA CRETE, COLOR: 555-7 BLACK FOREST
 - 7 NEW PATIO WITH PERVIOUS PAVER - BELGARD ECO DUBLIN PAVERS, COLOR: GREY GRANITE, SEE CIVIL DWGS.
 - 8 NEW WOOD BENCH WITH CANOPIES, N.I.C.
 - 9 EXISTING SIGNAGE TO BE REFURBISHED BY SIGANGE VENDOR.
 - 11 NEW TREE WELL AT STREET.
 - 12 NEW WOOD LOUVERED AWNING OVER ENTRY DOOR
 - 13 PAINT EXTERIOR COLUMNS WITH WHITE PAINT - SHERWIN WILLIAMS CONFLX XL - WHITE
 - 14 PAINT EXTERIOR WITH GREY PAINT - SHERWIN WILLIAMS CONFLX XL, COLOR: IRON ORE SW 7069
 - 15 INFILL EXISTING LANDSCAPE AREA WITH NEW SIDEWALK
 - 16 METAL ACCENT TRIM

LEGEND



Seal/Signature
Stephen T. Swicegood
STEPHEN T. SWICEGOOD
REGISTERED ARCHITECT
REG. NO. 20200

Project Name
One Live Oak Interior Renovation

Project Number
13.2234.000

Description
ENLARGED SITE PLAN - PART B AND ELEVATION

Scale
As indicated

A.052
© 2009 Gensler

PLOTTING DATE: 6/15/2015 5:25:02 PM
 FILE PATH AND NAME: \\gensler-ad\projects\Revit\UserModels\21512\CENTRAL_OLO_13.2234_000_2014_Emma Caldwell.rvt

DRAWING NOTES

ONE LIVE OAK

3475 Lenox Rd NE
Atlanta, GA 30326

999 Peachtree Street NE
Suite 1400
Atlanta GA 30309
Tel: 404.507.1000
Fax: 404.507.1001

Gensler

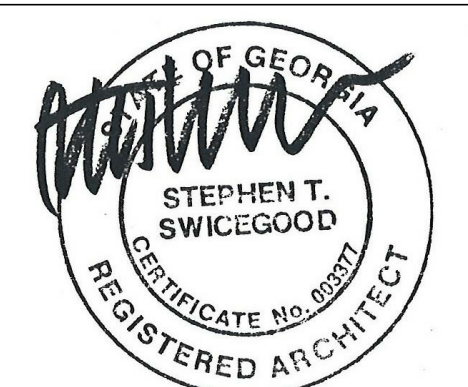
SHEET NOTES

INDICATES SHEET NOTE

Revision	Date	Description	By	Check

Revision	Date	Description	By	Check
1	06/15/15	ISSUED FOR CONSTRUCTION		
2	12/18/2018	ISSUED FOR CONSTRUCTION		

Seal/Signature

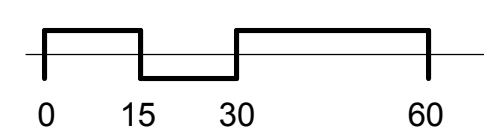


Project Name
One Live Oak Interior Renovation

Project Number
13.2234.000

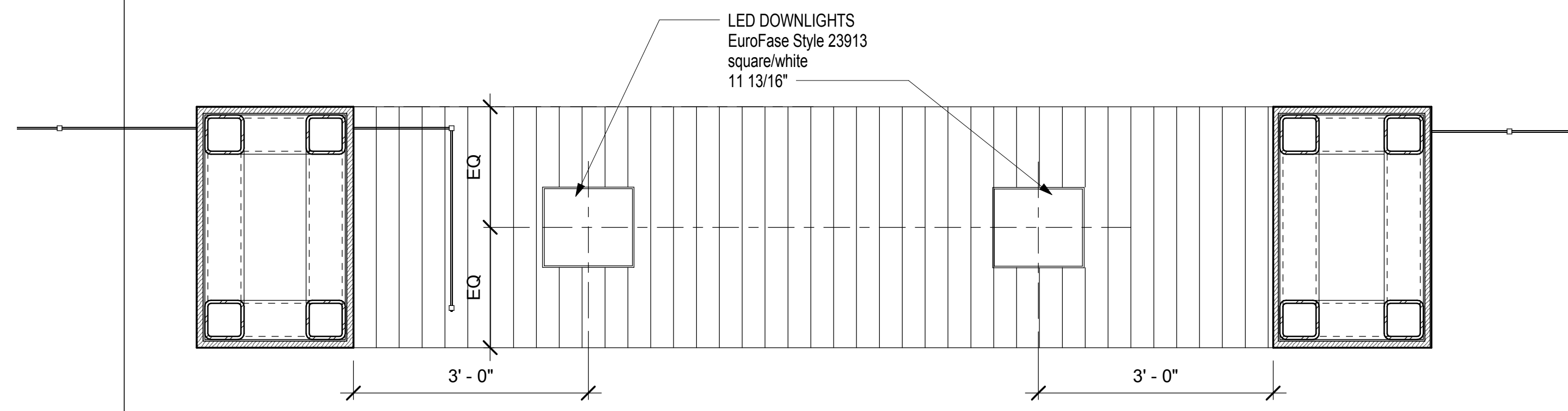
Description
ARCHWAY IN FRONT OF BUCKET SHOP AT LENOX ROAD

Scale
As indicated

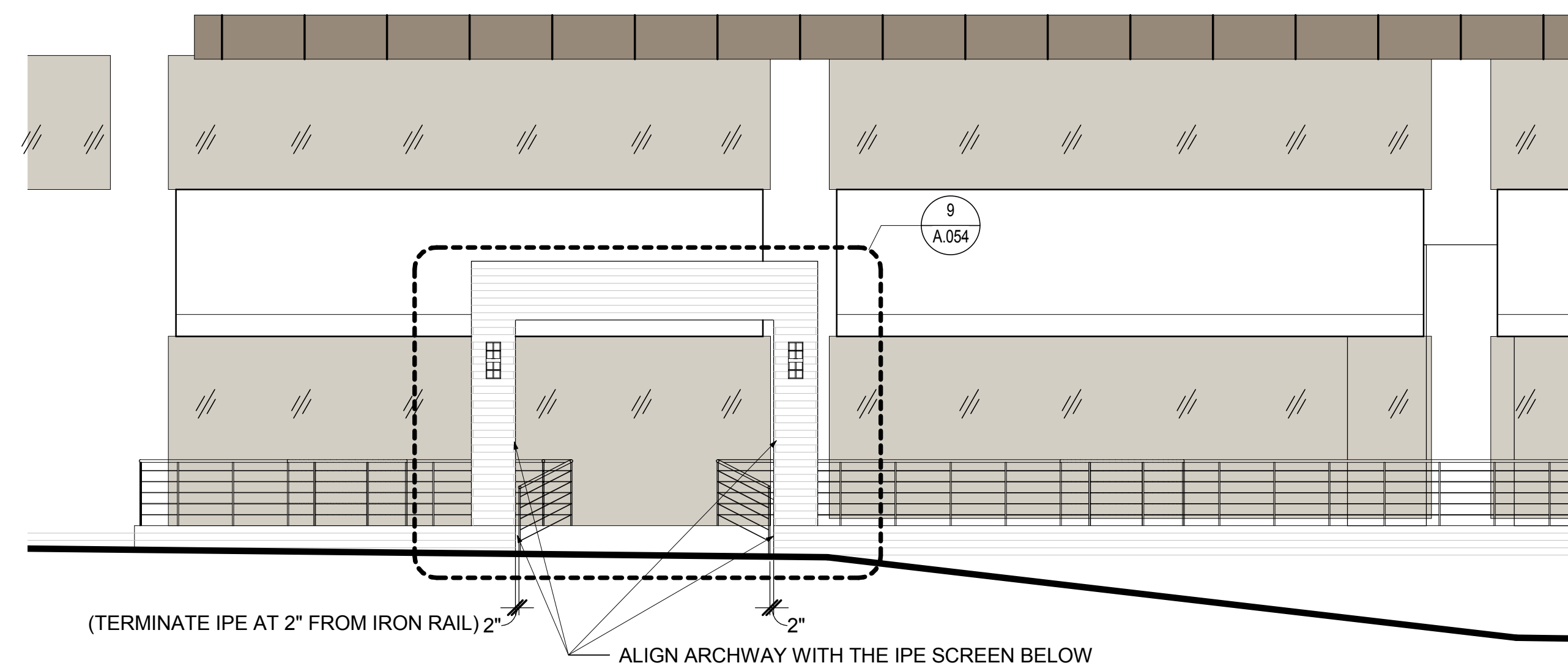


A.054

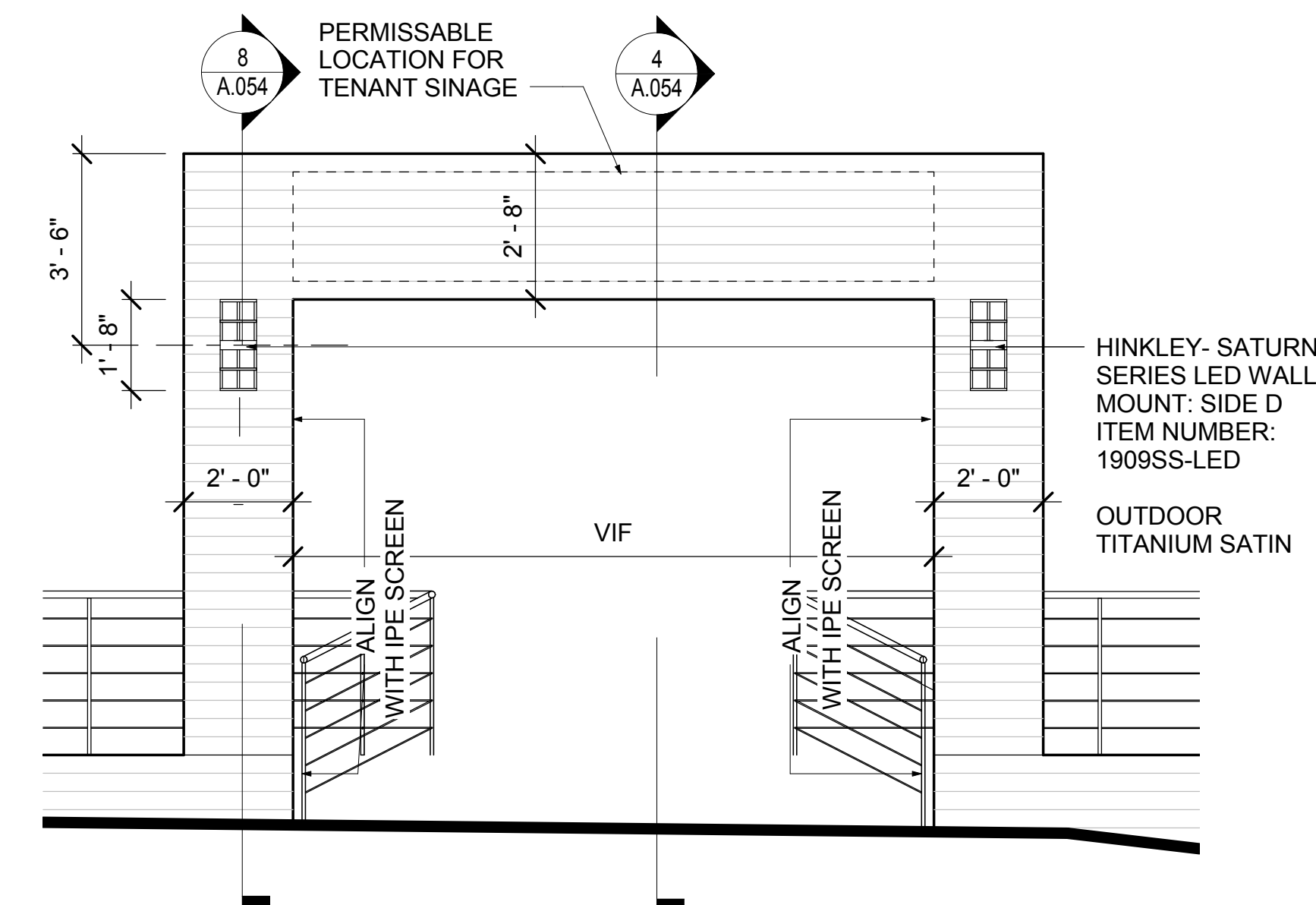
© 2014 Gensler



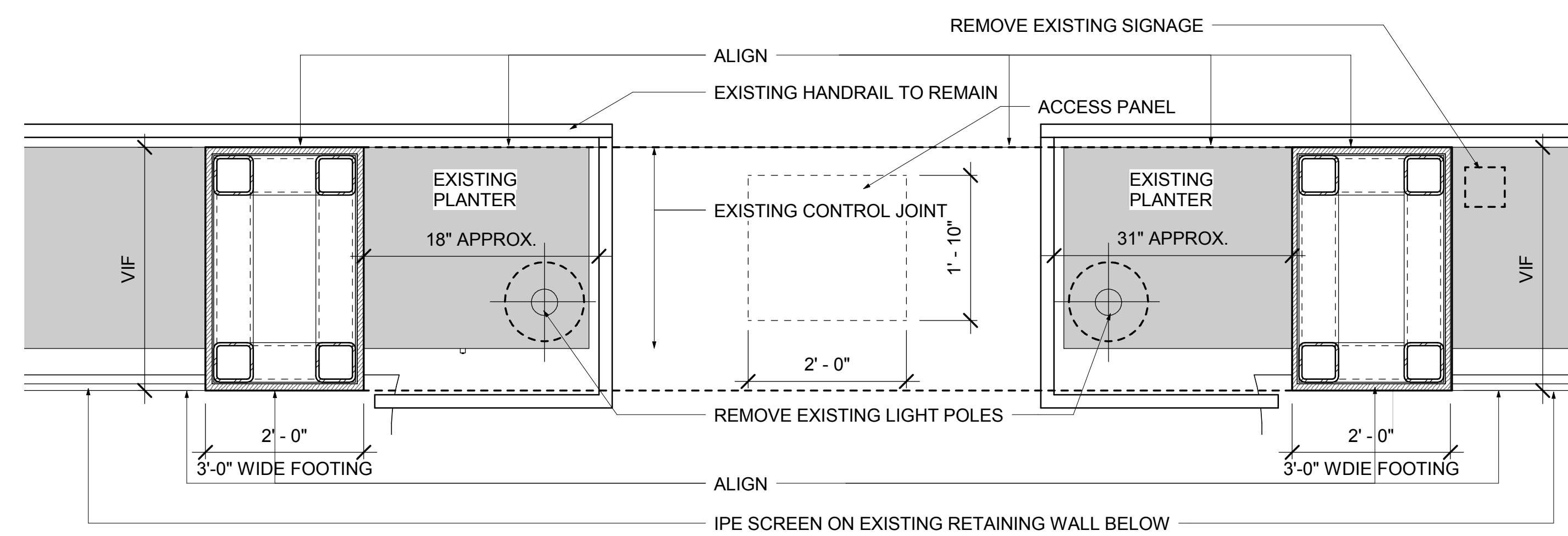
UNDERSIDE OF ARCHWAY - REFLECTED CEILING PLAN
SCALE: 3/4" = 1'-0" REFERENCE SHEET: A.050 **3**



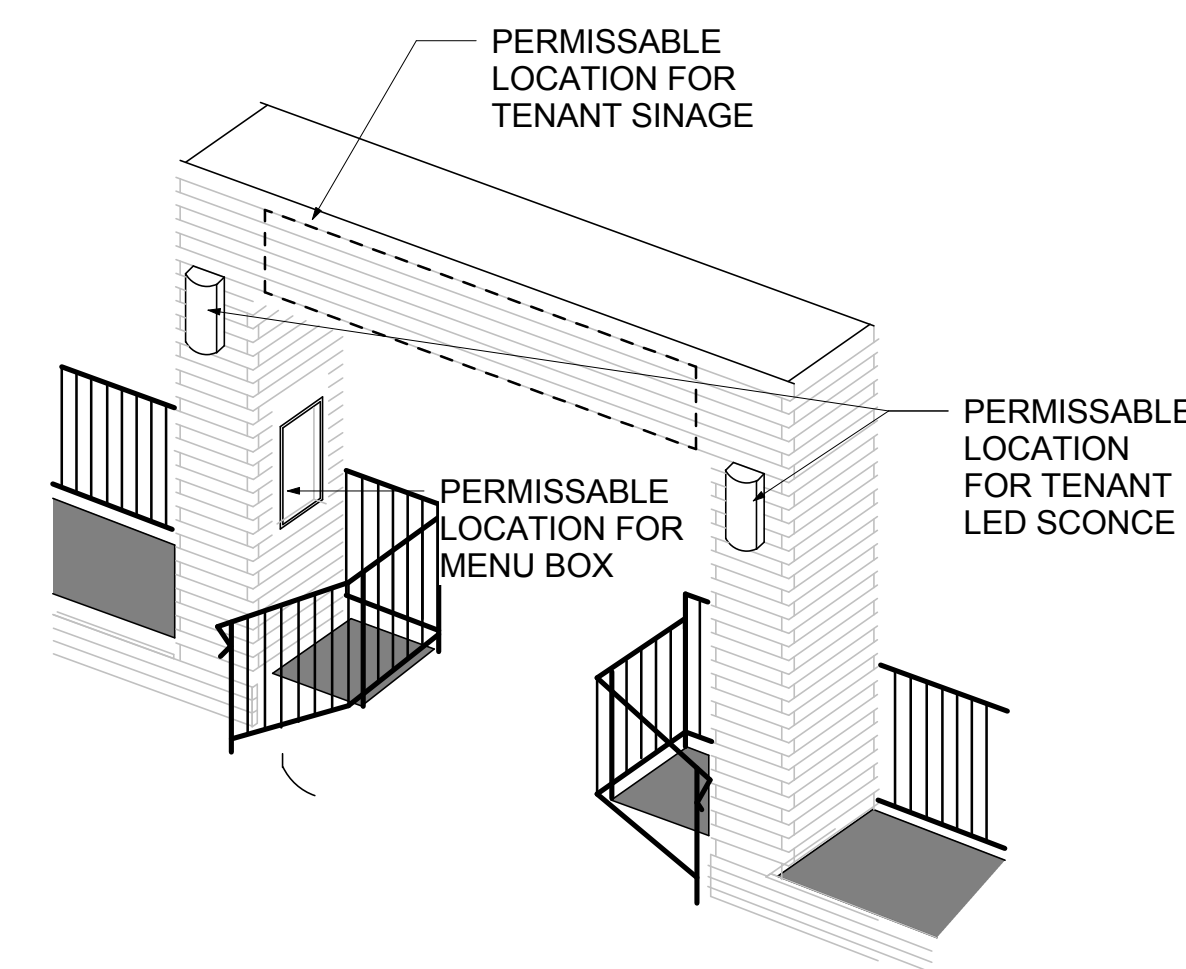
ELEVATION AT LENOX ROAD
SCALE: 3/16" = 1'-0" REFERENCE SHEET: **1**



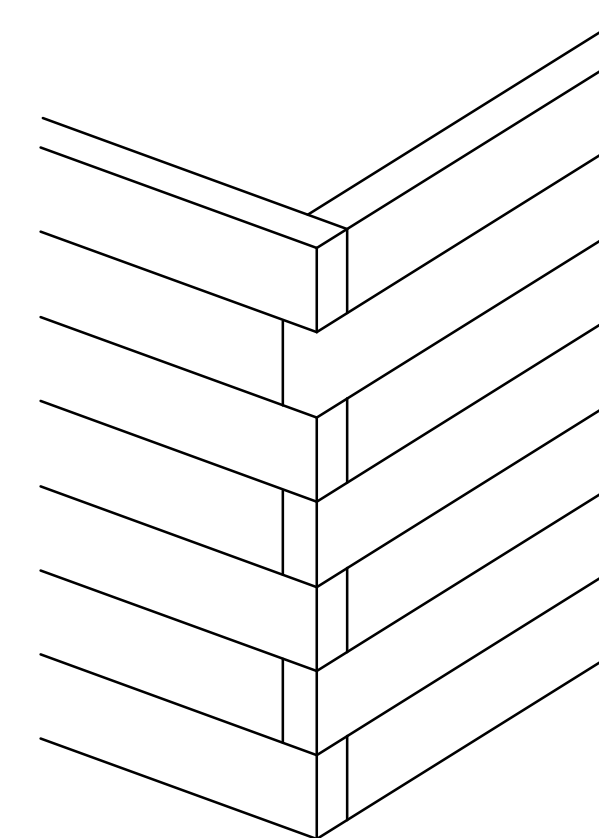
ARCHWAY ELEVATION
SCALE: 3/8" = 1'-0" REFERENCE SHEET: A.054 **9**



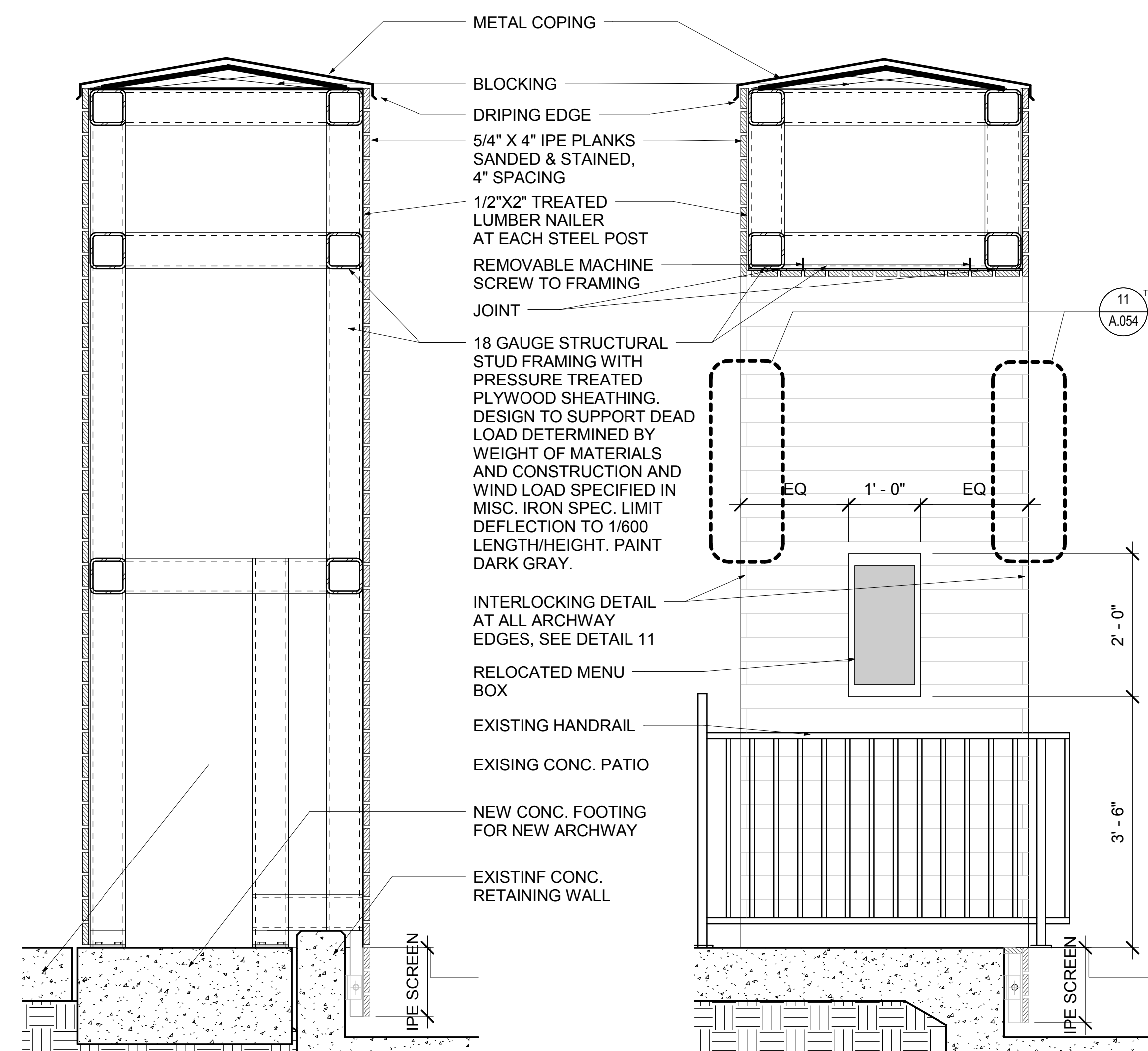
ARCHWAY - PLAN
SCALE: 3/4" = 1'-0" REFERENCE SHEET: **2**



ARCHWAY ISOMETRIC
SCALE: REFERENCE SHEET: n/a **10**

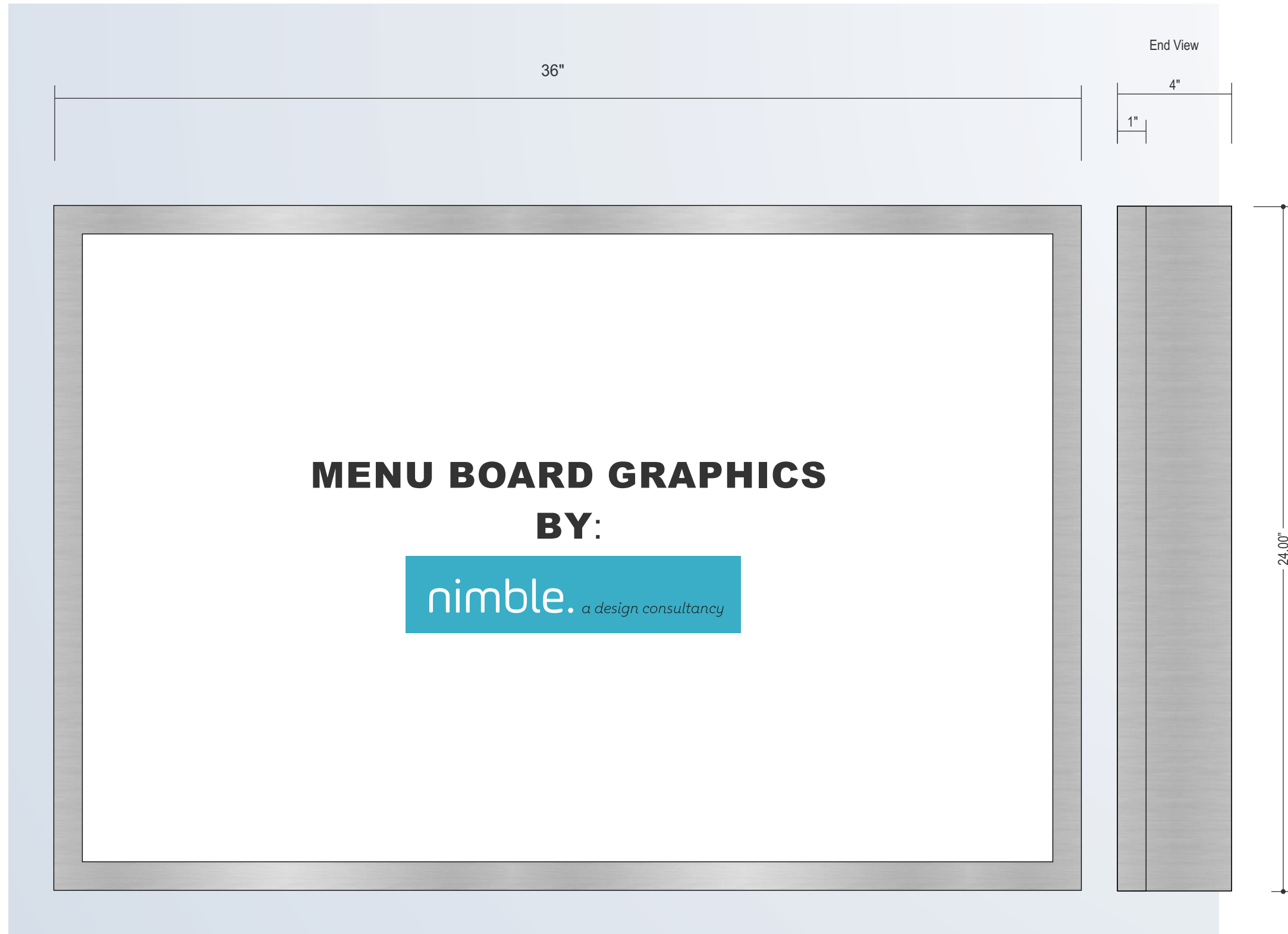


INTERLOCKING DETAIL
SCALE: 1 1/2" = 1'-0" REFERENCE SHEET: A.054 **11**



SECTION DETAIL
SCALE: 3/4" = 1'-0" REFERENCE SHEET: A.051 **8**


SECTION DETAIL
SCALE: 3/4" = 1'-0" REFERENCE SHEET: A.051 **4**



Menu Box w/ Menu Board
Scale: 3" = 1'-0"

Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or actual sample. Client to either provide samples or specifications for custom colors prior to production or approve DeNyse color samples or color specifications

V1  Digitally Printed Image (color match not required)

Construction Specifications

- A** Aluminum Fabricated cabinet internally illuminated w/ LED's
- B** 1/8" clear acrylic face w/ second surface digitally printed graphics on lexan for interchangeability

© Copyright 2015 All designs and drawings are the sole property of DeNyse Companies, Inc., and may not be reproduced, published, changed or used in any way without written permission and consent. In addition, all ideas, contents of proposals, and all specifications of any project entered into with DeNyse Companies, Inc. are all rights reserved. The described information may not be used in securing price comparisons. Violators will be prosecuted to the full extent of the law.

Management Company
N/A

Property Name & Address
The Bucket Shop
Atlanta, GA

Opportunity Number
11079

DeNyse Representative
MD

Designer
mad

Date
05.26.2015

Revision Date

0	NA

Design Time
14

Customer Approval

Filename
Various 1v1

- Concept
- Preliminary
- Production

© Copyright 2015 All designs and drawings are the sole property of DeNyse Companies, Inc., and may not be reproduced, published, changed or used in any way without written permission and consent. In addition, all ideas, contents of proposals, and all specifications of any project entered into with DeNyse Companies, Inc. are all rights reserved. The described information may not be used in securing price comparisons. Violators will be prosecuted to the full extent of the law.

Management Company
 N/A

Property Name & Address
 The Bucket Shop
 Atlanta, GA

Opportunity Number
 11079

DeNyse Representative
 MD

Designer
 mad

Date
 05.26.2015

Revision Date

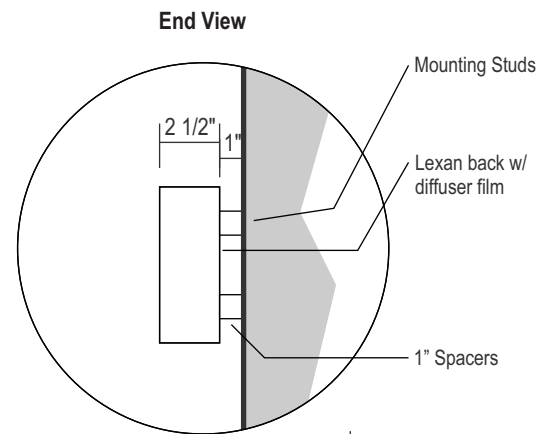
0	NA

Design Time
 14

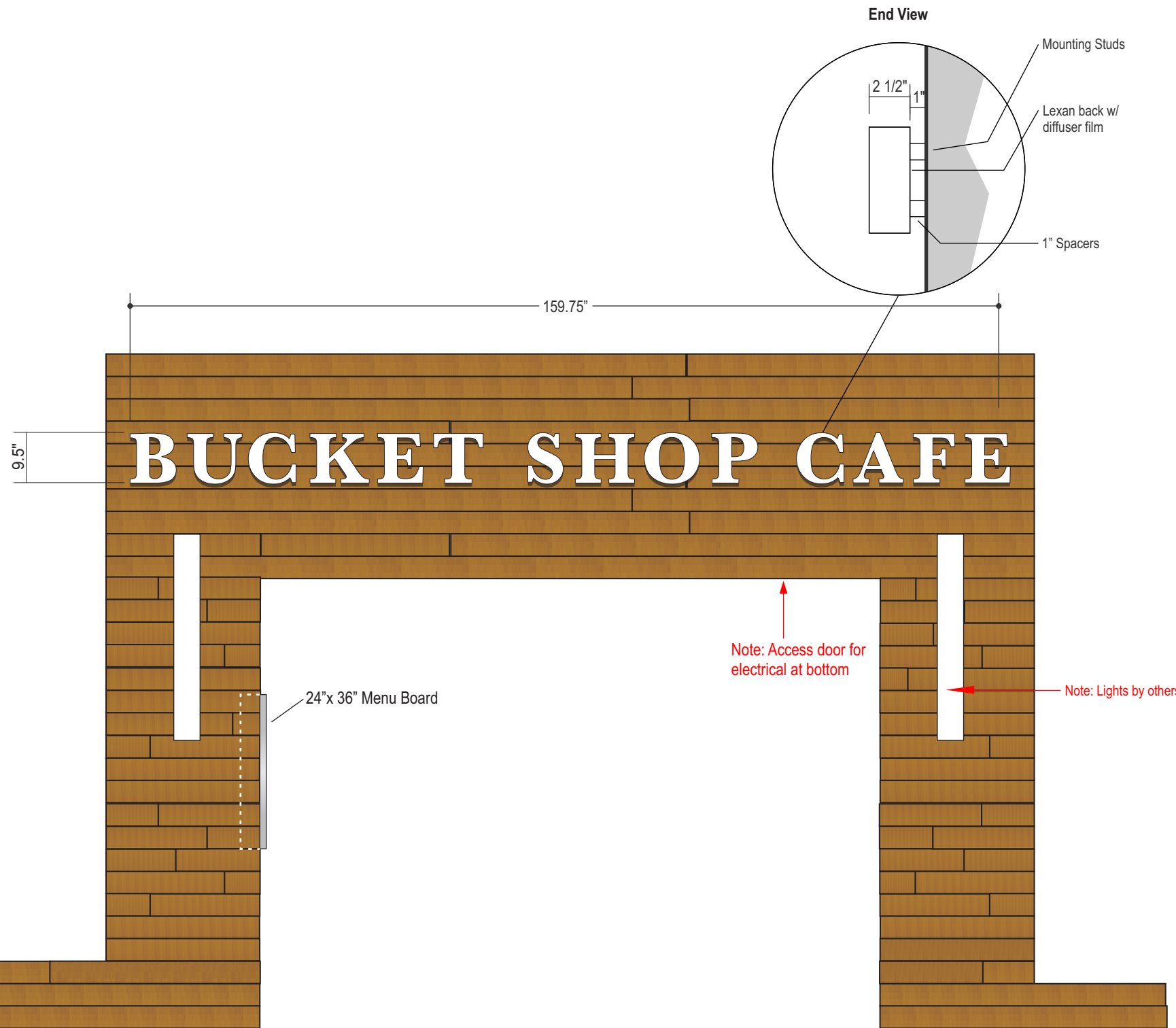
Customer Approval

Filename
 Various 1v1

- Concept
- Preliminary
- Production



Channel Letters (Superimposed)
 Scale: NTS



Channel Letters
 Scale: 1/2" = 1'-0"

© Copyright 2015 All designs and drawings are the sole property of DeNyse Companies, Inc., and may not be reproduced, published, changed or used in any way without written permission and consent. In addition, all ideas, contents of proposals, and all specifications of any project entered into with DeNyse Companies, Inc. are all rights reserved. The described information may not be used in securing price comparisons. Violators will be prosecuted to the full extent of the law.

Management Company
 N/A

Property Name & Address
 The Bucket Shop
 Atlanta, GA

Opportunity Number
 11079

DeNyse Representative
 MD

Designer
 mad

Date
 05.26.2015

Revision Date

0	NA

Design Time
 14

Customer Approval

Filename
 Various 1v1

- Concept
- Preliminary
- Production



Front Elevation NTS

Bucket Shop - sidewalk entry feature

Channel Letters
 Scale: 1/2" = 1'-0"

Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or actual sample. Client to either provide samples or specifications for custom colors prior to production or approve DeNyse color samples or color specifications

V1 ○ White (SG)

Construction Specifications

A 1st surface applied cut vinyl



© Copyright 2015 All designs and drawings are the sole property of DeNyse Companies, Inc., and may not be reproduced, published, changed or used in any way without written permission and consent. In addition, all ideas, contents of proposals, and all specifications of any project entered into with DeNyse Companies, Inc. are all rights reserved. The described information may not be used in securing price comparisons. Violators will be prosecuted to the full extent of the law.

Management Company
N/A

Property Name & Address
The Bucket Shop
Atlanta, GA

Opportunity Number
11079

DeNyse Representative
MD

Designer
mad

Date
05.26.2015

Revision Date

0	NA

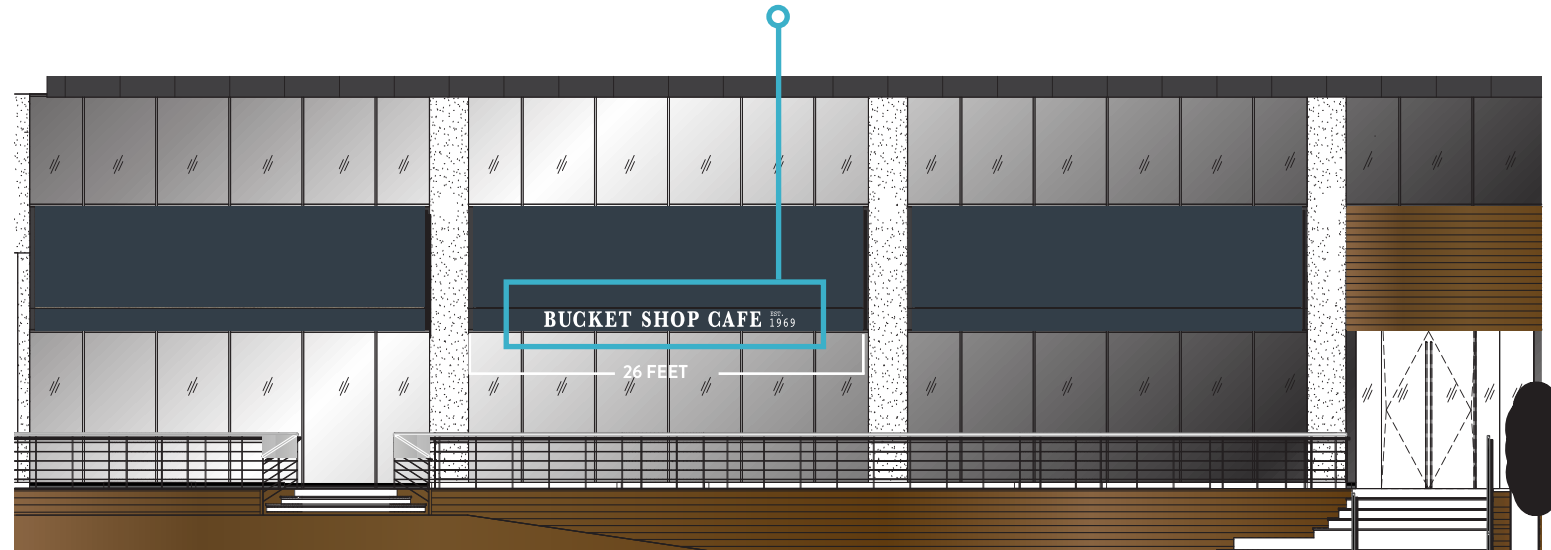
Design Time
14

Customer Approval

Filename
Various 1v1

- Concept
- Preliminary
- Production

RECOMMENDED PLACEMENT FOR ALTERNATIVE LOGOMARK



TOTAL AWNING SIZE: 26 FEET |
LOGOMARK SIZE: 14' H X 276.9' W

Awning Vinyl

Scale: 3/8" = 1'-0"



Existing

Scale: NTS



Proposed

Scale: NTS

Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or actual sample. Client to either provide samples or specifications for custom colors prior to production or approve DeNyse color samples or color specifications

- C2 White - 3M
- C5 Pantone 432

Construction Specifications

- D New 1 1/2" Deep Tenant Panels of .125 Aluminum Break formed into a pan and mounted over a Angle Flange or Tubing for Counter sunk screw attachment thru the returns
- E Tenant Graphics - Vinyl Graphics Applied

© Copyright 2015 All designs and drawings are the sole property of DeNyse Companies, Inc., and may not be reproduced, published, changed or used in any way without written permission and consent. In addition, all ideas, contents of proposals, and all specifications of any project entered into with DeNyse Companies, Inc. are all rights reserved. The described information may not be used in securing price comparisons. Violators will be prosecuted to the full extent of the law.

Management Company
N/A

Property Name & Address
The Bucket Shop
Atlanta, GA

Opportunity Number
11079

DeNyse Representative
MD

Designer
mad

Date
05.26.2015

Revision Date

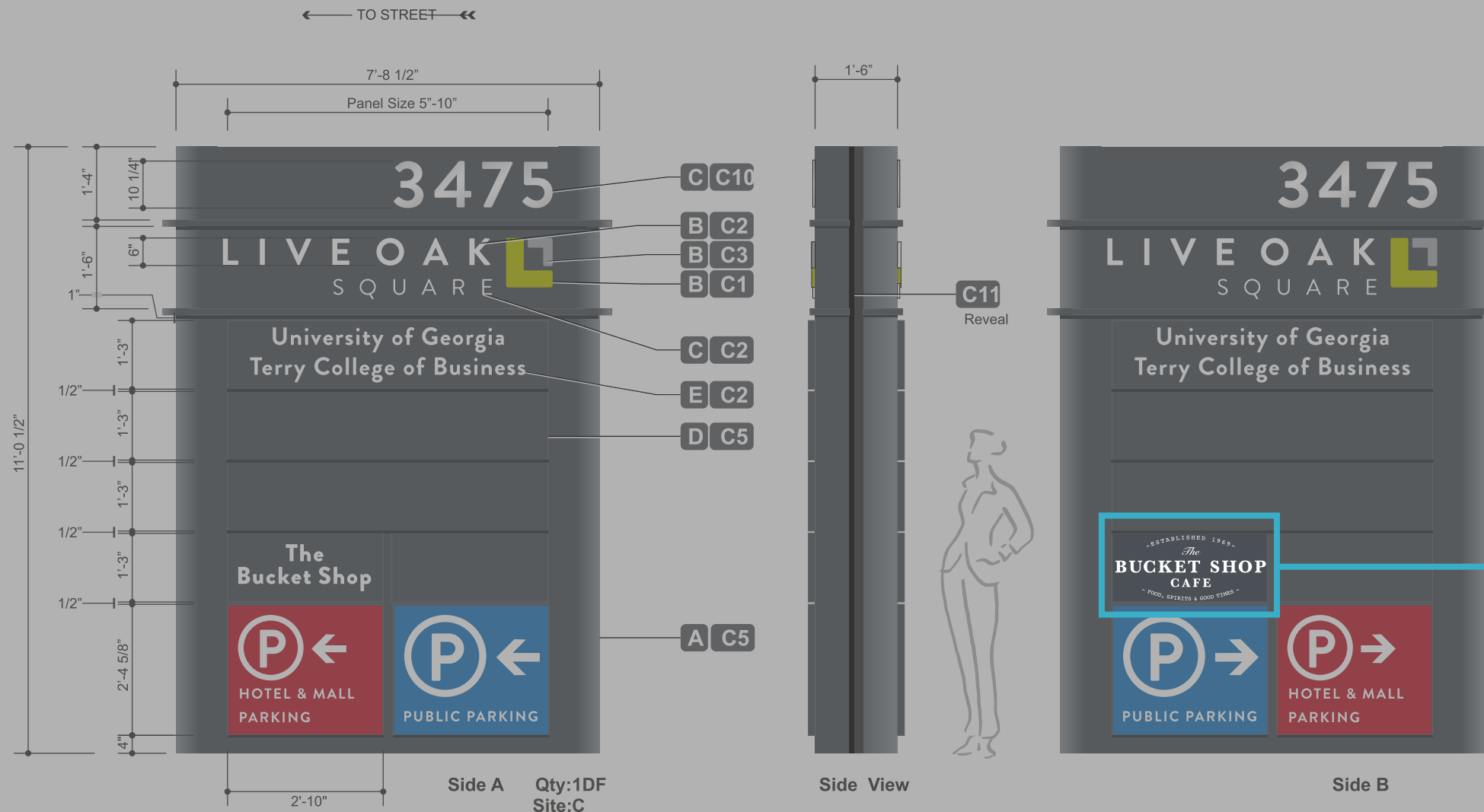
0	NA

Design Time
14

Customer Approval

Filename
Various 1v1

- Concept
- Preliminary
- Production



Monument (Tenant Panel)
Scale: 3/8"=1'