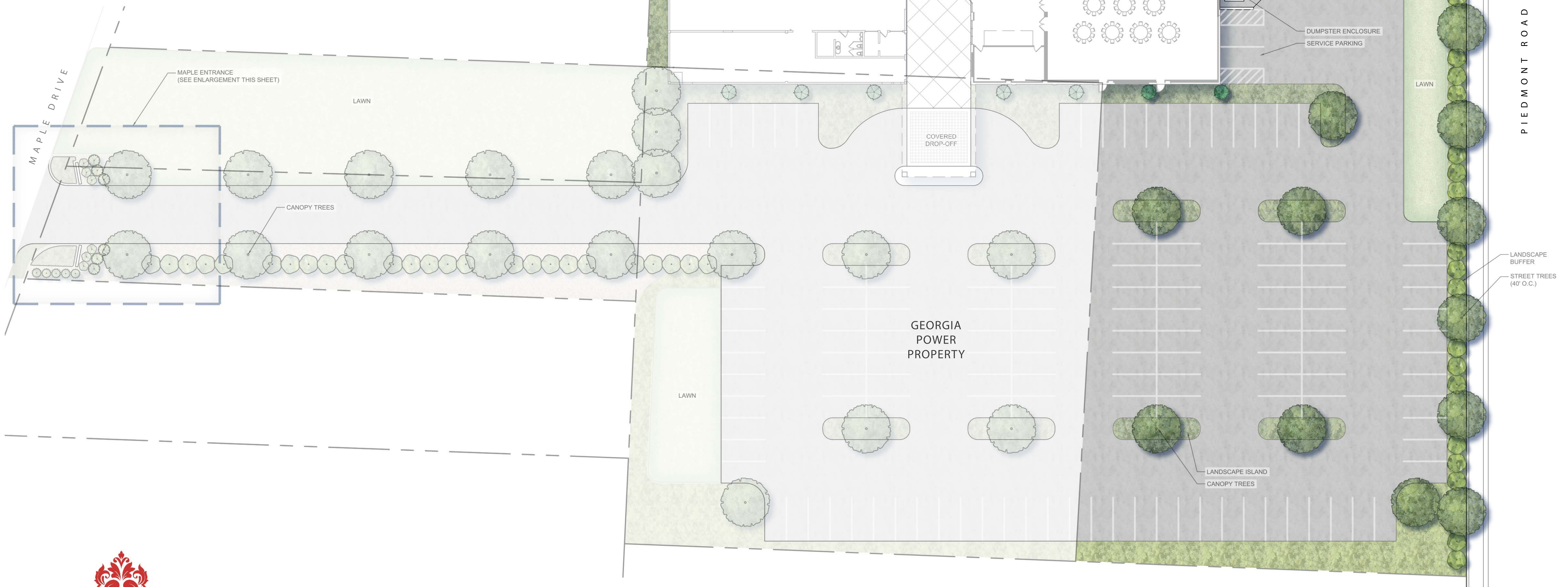




MAPLE ENTRANCE ENLARGEMENT  
SCALE: 1"=10'



## **SAP Narrative and Variation Summary**

3126 Piedmont Road

Legendary Events proposes to expand its existing operation at The Estate, located at 3109 Piedmont Road, into a new facility across Piedmont Road. The proposed eating and drinking establishment will utilize existing improvements on the site as required by the underlying zoning conditions imposed pursuant to Ordinance 08-O-1898. The existing improvements will be renovated to facilitate the proposed new use. Primary access to the site will be provided from Maple Drive. Patrons will enter the site from Maple Drive and park using a valet system. Employee parking will be located on the second story parking level on the existing structure interior to the site, which is accessed only through an existing curb cut on Piedmont Road. The second existing curb cut on Piedmont Road will provide service access and also an exit for patrons.

Below are the variations identified for the proposed development:

1. Variation from Section 16-18I.020(2)(c)(iv) to allow two curb cuts to be located on Piedmont Road.

Due to the property's adjacency to two streets, two curb cuts are allowed for the development. The applicant proposes to provide the main access on Maple Drive for traffic management purposes and to create a sense of arrival through a long landscaped driveway. The two curb cuts on Piedmont Road are existing and serve separate functions.

2. Variation from Section 16-18I.015(1) to reduce the required amenity zone on Piedmont Road per existing conditions.

The applicant proposes to maintain the existing conditions to maximize the available clear zone. The existing retaining wall and requirement to keep the existing improvement eliminate the ability to comply with this requirement.

3. Variation from Section 16-18I.015(2) to reduce the required clear zone on Piedmont Road per existing conditions.

The existing conditions of the site include an existing clear zone that cannot be widened due to the location of the curb and the retaining wall for the existing improvements.

4. Variation from Section 16-18I.016(1) to permit the supplemental zone on Piedmont Road to be located more than 30" above the adjacent public sidewalk per existing conditions.

The existing conditions of the streetscape include a retaining wall adjacent to the clear zone that exceeds 30". No change is proposed to increase the retaining wall height, however, the existing conditions will need to remain.

5. Variation from Section 16-18I.017(5) to reduce the required fenestration on Piedmont Road.

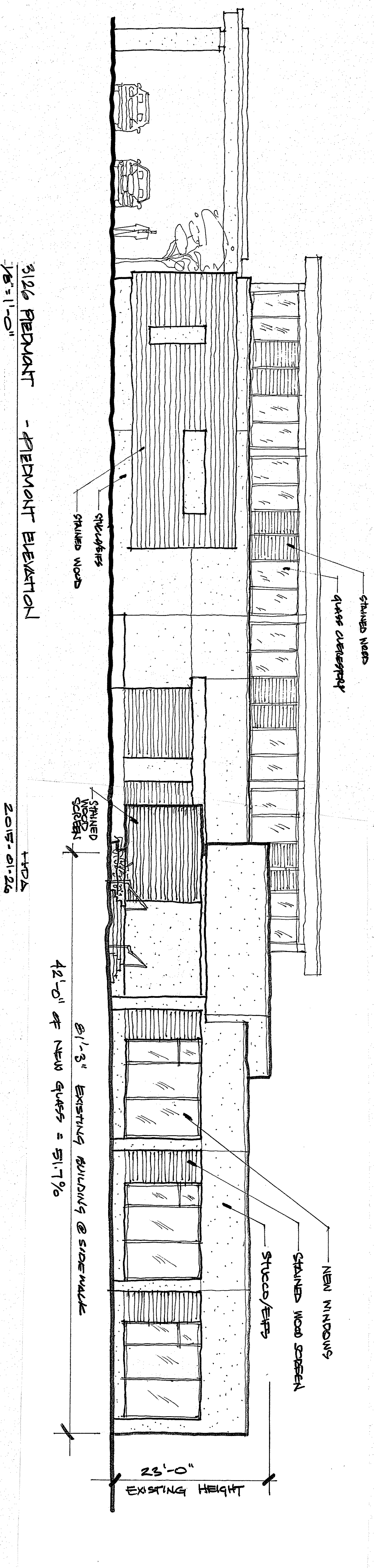
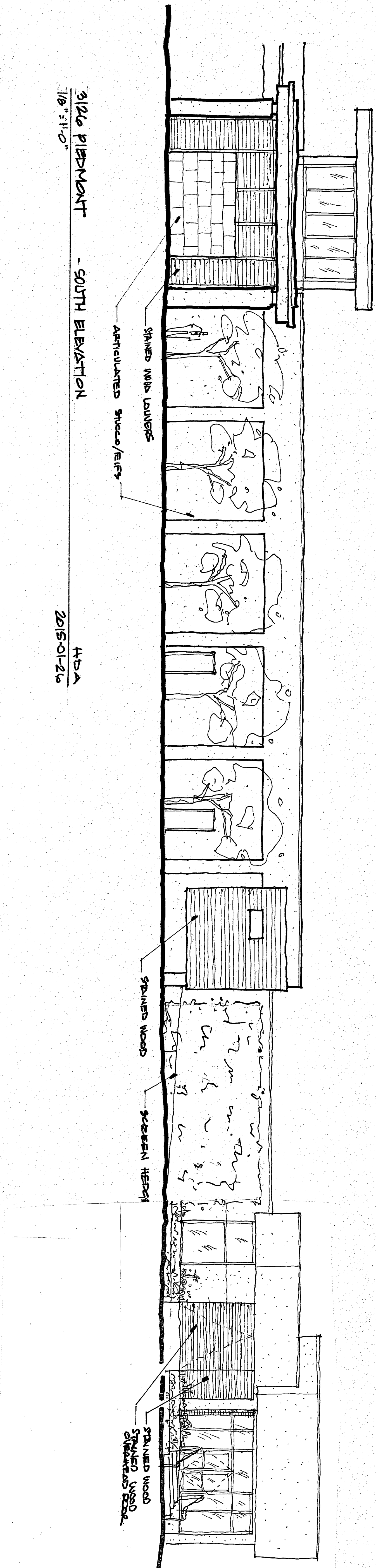
The applicant is required to maintain the existing improvements on the site as a part of the existing zoning. The main entry for patrons to the establishment has been oriented toward Maple Drive due to constraints created by the existing ceiling heights within the building. The orientation is also preferable from a traffic management perspective on Piedmont Road. The orientation pushes the back of house functions to the Piedmont Road façade. The applicant is mitigating the variation request to the extent possible with the programming in the floor plan but a variation will be needed.

6. Variation from Section 16-18I.019(1) to allow servicing on the front the building facing Piedmont Road.

The existing building currently has roll up service doors facing Piedmont Road. The applicant will be utilizing this existing opening for service. The service area will be screened by landscaping proposed along the Piedmont Road frontage.

7. Variation from Section 16-18I.019(4) (2)(a) to allow the dumpster to be located between the building and Piedmont Road.

Due to the existing configuration of the building and its location on the site and the need for proximity of the building to the dumpster area, the dumpster has been located in front of the building near the servicing area. The dumpster area will be screened with the required fencing.



3126 PIEDMONT ROAD  
 ATLANTA, GEORGIA

