

ATLAS Patio Trellis – FINISHES



Ceiling fans (4 total)



Gas heaters (8 total)



Trellis finish – dark bronze metal



Trellis inspiration image

GENERAL NOTES

- By use of the Drawings for Construction of the Project, the Owner represents that he or she has reviewed and approved the Drawings, and that the construction document phase of the Project is complete.
- Before submitting bid, Contractor shall visit the job site and verify any and all conditions and items as may be deemed necessary for the construction of this project, whether or not shown in these plans.
- Contractor shall acquaint himself with all Landlord requirements and shall comply fully with such. Contractor shall obtain written authorization from Landlord prior to performing any work on the property.
- Contractor shall prepare or caused to be prepared a contract with Tenant/Owner in the form of the current edition of document A-101 of the American Institute of Architects, including AIA General Conditions. This contract shall hereby become a part of these plans and specifications the same as if bound herein.
- Contractor shall carry adequate liability insurance to satisfy landlord's requirements.
- Contractor shall verify existing conditions and effect all alterations and modifications necessary to deliver complete store installations to conform to contract drawings and specifications.
- Contractor shall coordinate his work with all other contractors furnishing the labor, materials, and all work, so that the work as a whole shall be executed and completed without conflict or delay.
- All materials furnished and installed under this contract shall be new, free from all defects, and shall be guaranteed for a period of one (1) year from date of acceptance of work. Should any trouble develop during this period due to defective material or faulty workmanship, Contractor shall correct the trouble without cost to Tenant/Owner. Any defects noticed at the time of installation shall be corrected immediately to the satisfaction of Tenant.
- Contractor shall cause the work to be diligently pursued until entirely completed.
- It shall be the responsibility of the Contractor to acquaint himself with the dimensions of all equipment included in this project so that preparations can be made to provide entry into the lease space with sufficient clearance, and to insure that adequate floor space is available.
- Contractor shall verify all dimensions and conditions on site (above and below slab) prior to any work. Any discrepancies must be brought to the attention of the Architect immediately.
- Contractor shall coordinate the requirements of any and all drawings including architectural, mechanical, and electrical. Any conflicts shall be brought to the attention of the Tenant and the Architect prior to any work.
- Contractors shall never scale drawings. Locations for all partitions, walls, ceilings, etc. will be determined by dimensions on the drawings. Any such dimensions missing from the plans must be brought to the attention of the Architect immediately.
- The contractor shall adhere to the drawings and specifications. Should any error or inconsistency appear regarding the true meaning and/or intent of the drawings or specifications, the Contractor shall immediately report same to the Architect who will make any necessary clarification/interpretation, or revisions as required.
- Dimensions on floor plans and sections are to face of stud unless noted otherwise. Dimensions on reflected ceiling plans are to finished face unless noted otherwise.
- If the Contractor proceeds with the work without notifying the Architect of any such discrepancies, he shall assume all charges and make any changes to his work made necessary by his failure to observe and/or report the condition.
- Any and all changes in work-as-bid shall be made on AIA Form G-701 Change Order form and shall be signed by all necessary parties.
- Contractor shall provide adequate protection of work, materials, fixtures, etc. in leased space from loss, damage, fire, theft, etc.
- Wherever the term "or equal" is used, it shall mean equal product as approved in writing by Architect or Designer.
- Contractor shall provide all necessary bracing to structure for interior partitions, ceiling, platforms, etc., whether shown on drawings or not.
- Provide and install all necessary inwall framing required to carry shelf, hanging, and valance loads, railings, etc. as per plans.
- Contractor shall furnish and install all lamps in lighting fixtures as specified in the drawings. Lamps shall be guaranteed for a period of one (1) month from the date of acceptance of work unless otherwise noted on the plans.
- Contractor & SubContractor to provide personnel & equipment to directionally adjust all light fixtures per the direction of the Architect or Designer. This adjustment is to occur after sundown prior to the Project opening.
- Contractor shall be responsible for installation and removal of all barricades as required.
- Provide clear 100% silicone sealant at all joints and interfaces of all countertops, equipment and walls. (Unless noted otherwise)
- All work shall conform to the requirements of all local laws, rules and regulations of all legally constituted Public Authorities having jurisdiction. In case of conflict between requirements, the most restrictive shall apply.

- Project shall be left cleaned and polished after completion of work.
- All work must be free of mildew, pests or any infestation.
- Shop drawings and finish samples must be submitted to Architect or Designer for approval prior to fabrication.
- All finishes and furnishings must meet or exceed all applicable fire codes.
- All furnishings and materials shall be contract grade and suitable for commercial use.
- Refer to Interiors FF&A Specifications Book for additional notes and specifications.

PROJECT SUMMARY

THIS PROJECT INCLUDES THE ADDITION OF A TRELLIS TO AN EXISTING OUTDOOR PATIO. NO NEW ENCLOSURES ARE PROPOSED.

PROJECT DATA

- A. ZONING CLASSIFICATION: SPI-9: SPECIAL PUBLIC INTEREST
- B. OCCUPANCY TYPE: ASSEMBLY A-2
- C. CONSTRUCTION TYPE: IB
- D. NUMBER OF STORIES: PORTION OF ONE FLOOR (OUTDOOR PATIO SPACE) IN A 25 STORY BUILDING.
- E. REQUIRED SEPARATION: MAINTAIN EXISTING SEPARATIONS
- F. GROSS FLOOR AREA: 2153 GSF EXTERIOR

EFFECTIVE CODES

- International Building Code, 2012 Edition, with Georgia Amendments (2013)
- International Fire Code, 2012 Edition, with Georgia Amendments (2013)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2013)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2012)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2013)
- National Electrical Code, 2011 Edition, with no Georgia Amendments
- International Energy Conservation Code, 2009 Edition, with Georgia Supplements and Amendments (2011) (2012)
- 2012 NFPA 101 – Life Safety Code with state Amendments (2013)

CODES CROSS REFERENCE GUIDE

TABLE 102.10 O.C.O.G. 120-3-3.04)		
Area Primary Supplement:	Primary:	Supplement:
Occupancy Classification	LSC	IBC
Building Construction Types including allowable height, allowable building areas, and the requirements for sprinkler protection related to minimum building construction types.	IBC	LSC
Means of Egress	LSC	NONE
Standpipes	IBC	IFC
Interior Finish	LSC	NONE
HVAC Systems	IMC	NONE
Vertical Openings	LSC	NONE
Sprinkler Systems minimum construction standard	LSC	NONE
Fire Alarm Systems	LSC	NONE
Smoke Alarms and Smoke Detection Systems	State Statutes & LSC	NONE
Portable Fire Extinguishers	IFC	NONE
Cooking Equipment	LSC & NFPA 96	NONE
Fuel Fired Appliances	IFGC	NFPA 54
Liquid Petroleum Gas	NFPA 58	NFPA 54 or IFGC
Compressed Natural Gas	NFPA 52	NONE

PROJECT DIRECTORY

OWNER /LANDLORD	ARCHITECTURE & INTERIORS:
TAVISTOCK GROUP DOUGLAS McMAHON & TRENT ARNOLD 4705 SOUTH APOPKA VINELAND ROAD SUITE 210 ORLANDO, FL 32819 407-909-7004	THE JOHNSON STUDIO 404-525-5400 ANITA SUMMERS EXT. 107 SUSAN WEILER EXT. 111 127 PEACHTREE STREET SUITE 1717 ATLANTA GA 30303
OWNER'S REP./CONST. MANAGER:	STRUCTURAL:
EDWARDS DEVELOPMENT SERVICES DAVID EDWARDS 400 NORTHCREEK SUITE 100 3715 NORTHSIDE PARKWAY ATLANTA, GA 30327 678-427-2022	STABILITY ENGINEERING PIERRE COIRON, P.E. CHRIS MURPHY EXT. 116 SUITE 100 431 W. PONCE DE LEON AVE. SUITE 4 DECATUR, GA 30030 404-377-9316
PROPERTY:	
THE ST. REGIS ATLANTA JAY JACOB (TAVISTOCK GROUP) 88 WEST PACE FERRY ROAD ATLANTA, GA 30305 404-261-3820	

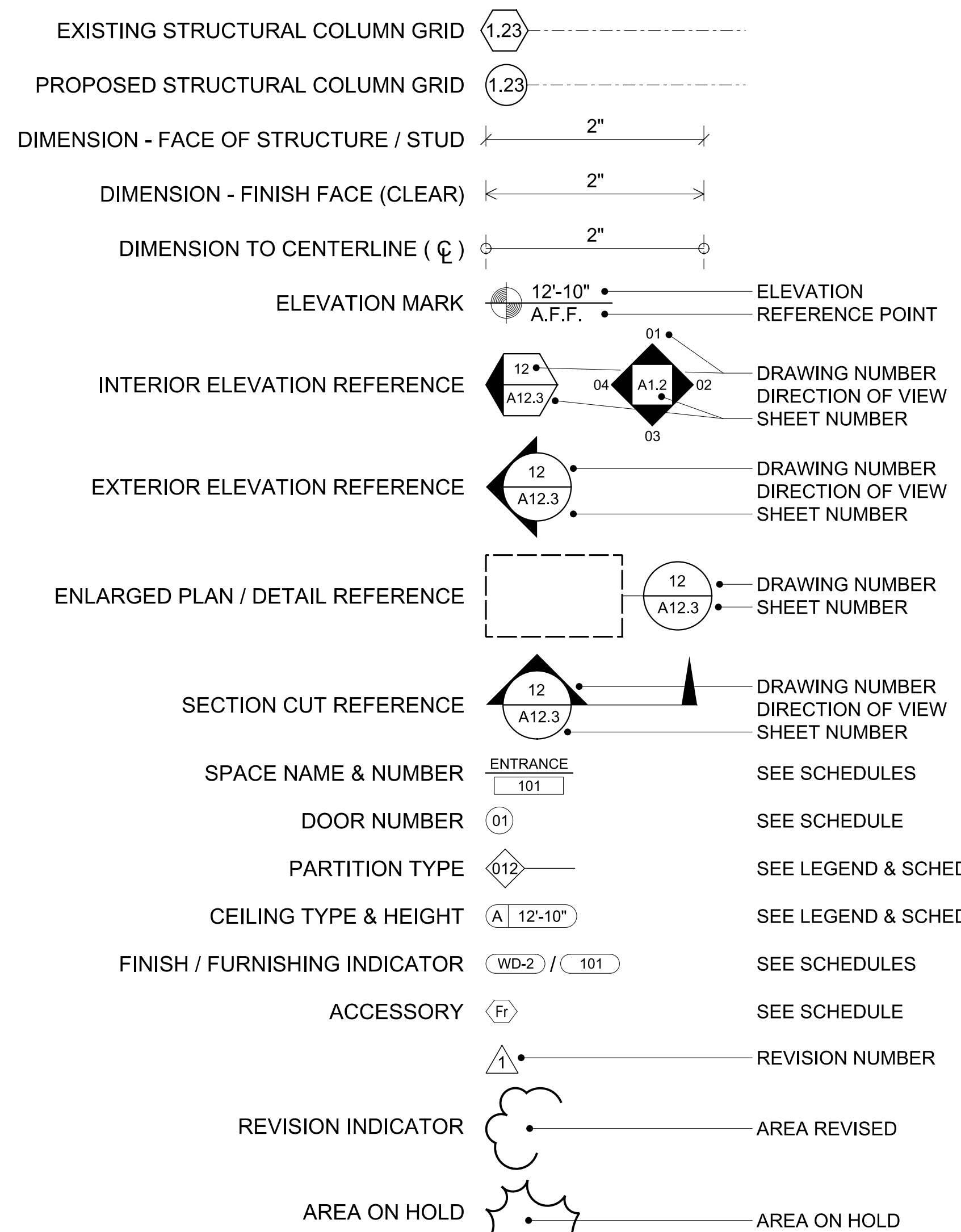
ST REGIS

PATIO TRELLIS

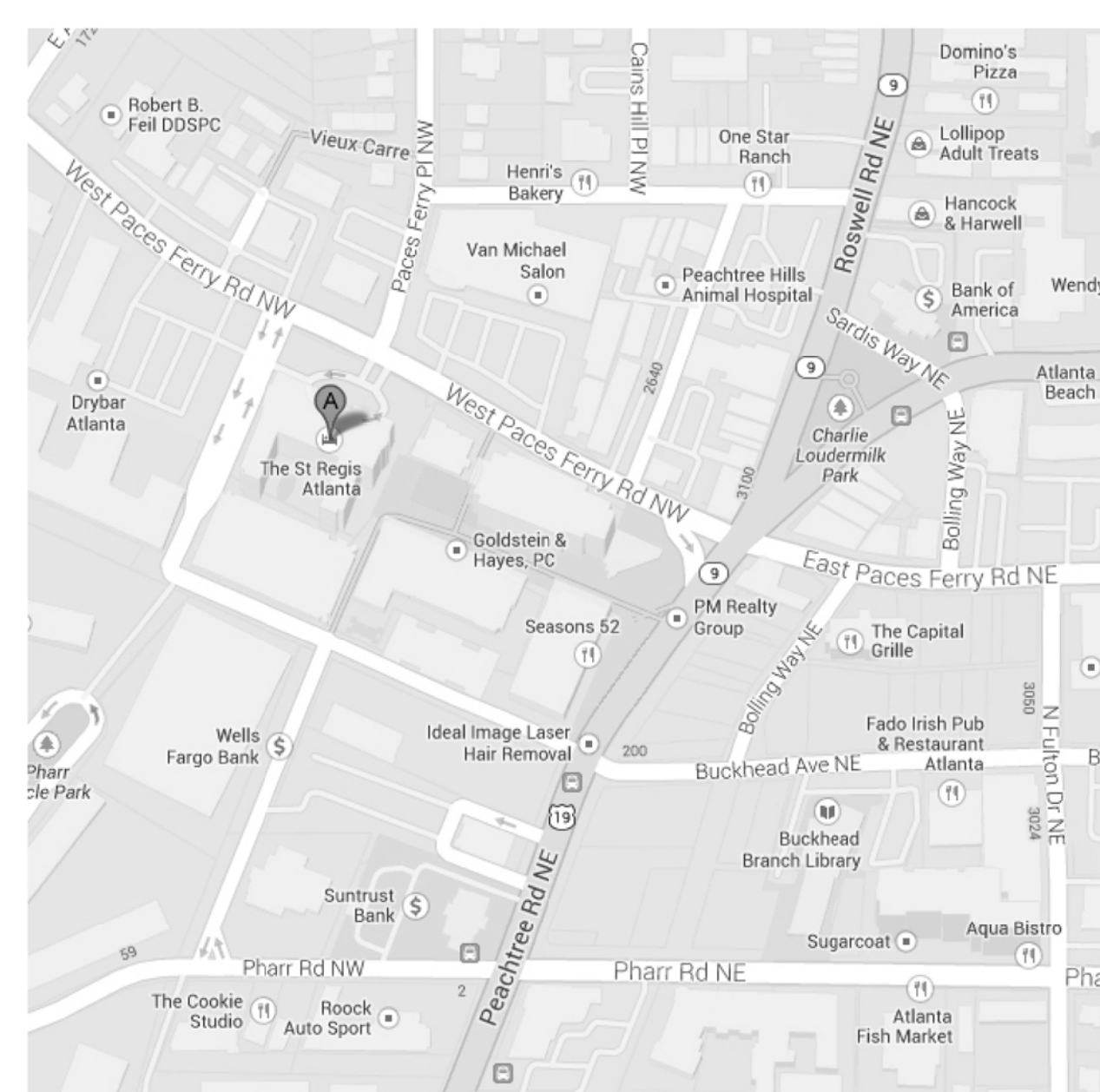
88 West Paces Ferry Rd NW Atlanta, GA 30305



SYMBOLS LEGEND



LOCATION MAP



ST REGIS

88 West Paces Ferry Rd NW
Atlanta, GA 30305

INDEX OF DRAWINGS

NO.	TITLE	DATE	NO.	TITLE	DATE
GENERAL					
A0.0	TITLE PAGE / GENERAL INFORMATION				
ARCHITECTURAL					
A2.1	FLOOR PLAN, ELEVATIONS, PERSPECTIVE VIEW				
STRUCTURAL					

127 Peachtree Street
Suite 1717
Atlanta, GA 30303
t 404.525.5400
f 404 525.5900
www.johnsonstudio.com

seal

ST REGIS
PATIO TRELLIS
88 West Paces Ferry Rd NW
Atlanta, GA 30305

PRINT LOG

DATE	REMARKS
01.05.2015	DRC REVIEW

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

SHEET TITLE: TITLE PAGE / GENERAL INFORMATION

TJS PROJECT NO. 13-06.00

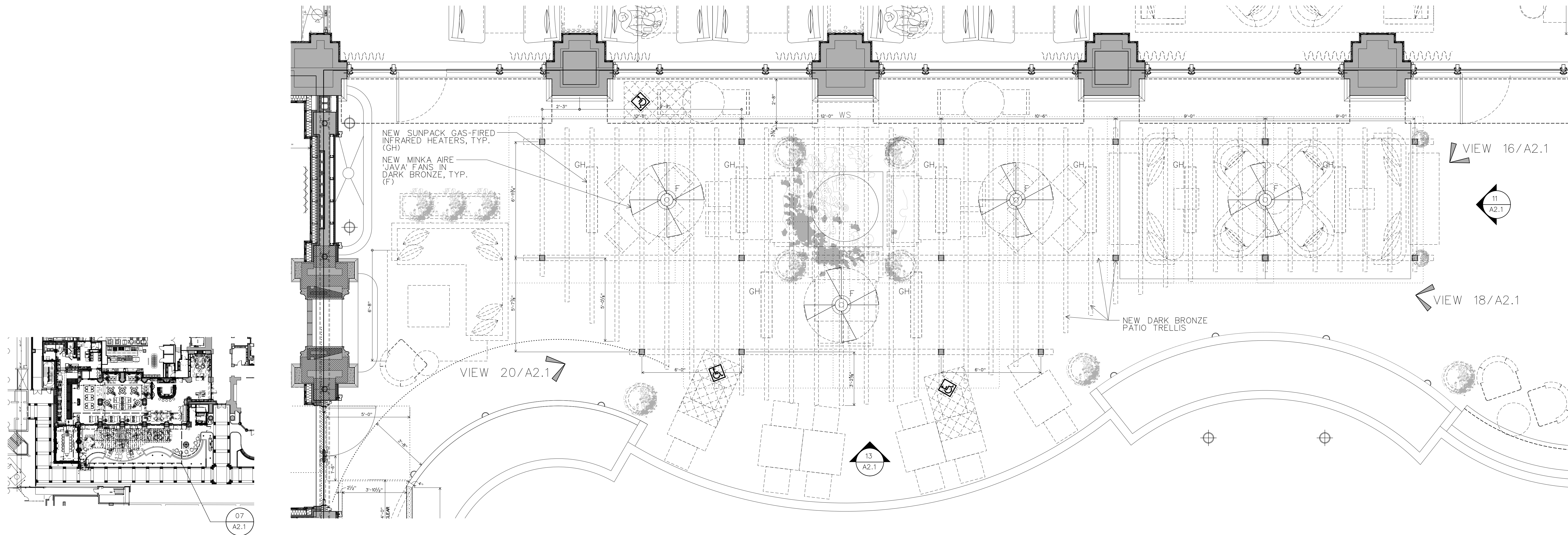
DRAWN: CHECKED:

JANUARY 05, 2015

THIS DRAWING IS THE PROPERTY OF THE JOHNSON STUDIO. IT IS NOT TO BE REPRODUCED OR USED ON OTHER PROJECTS AND IS TO BE RETURNED UPON REQUEST.

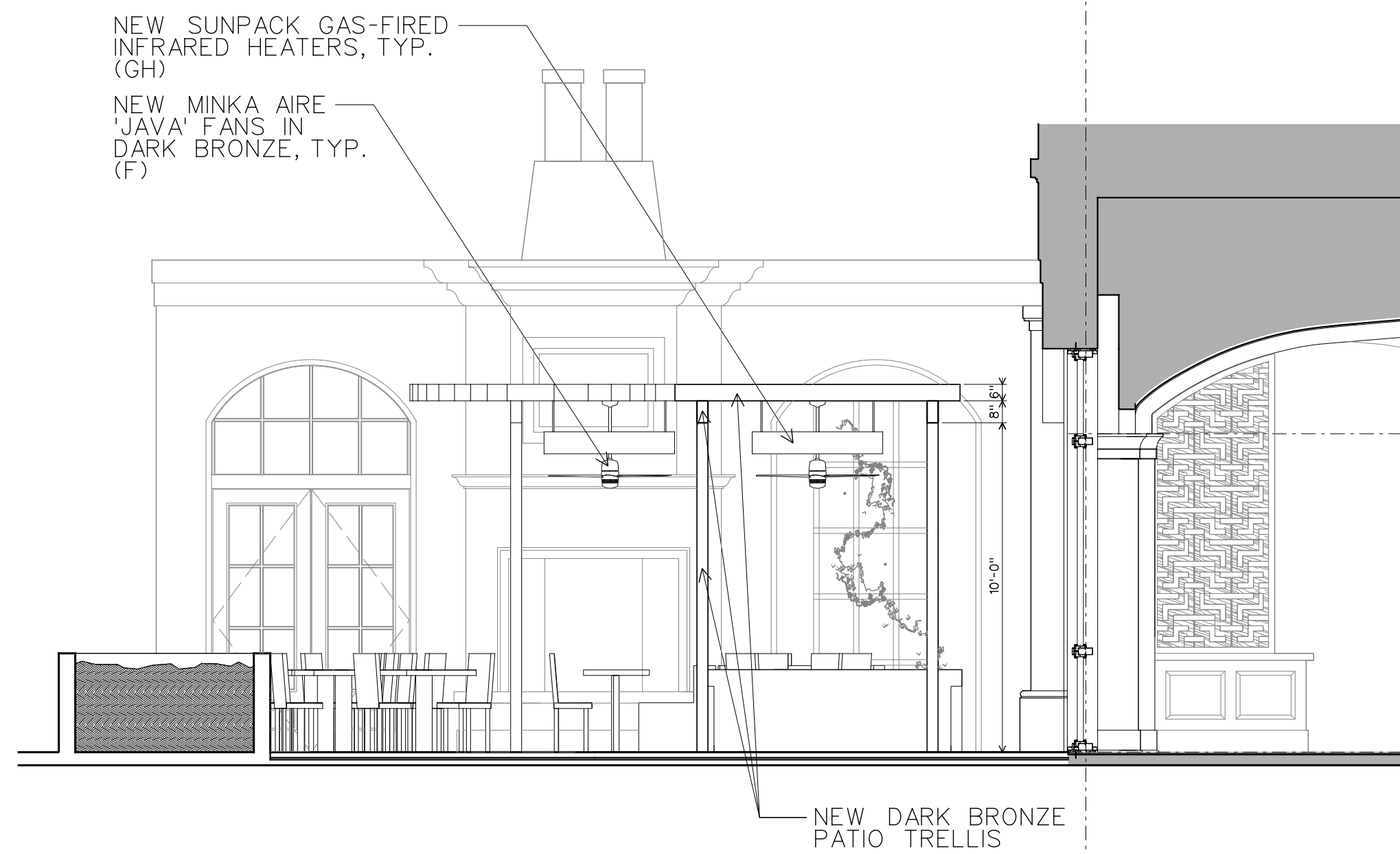
SHEET NO.

A0.0

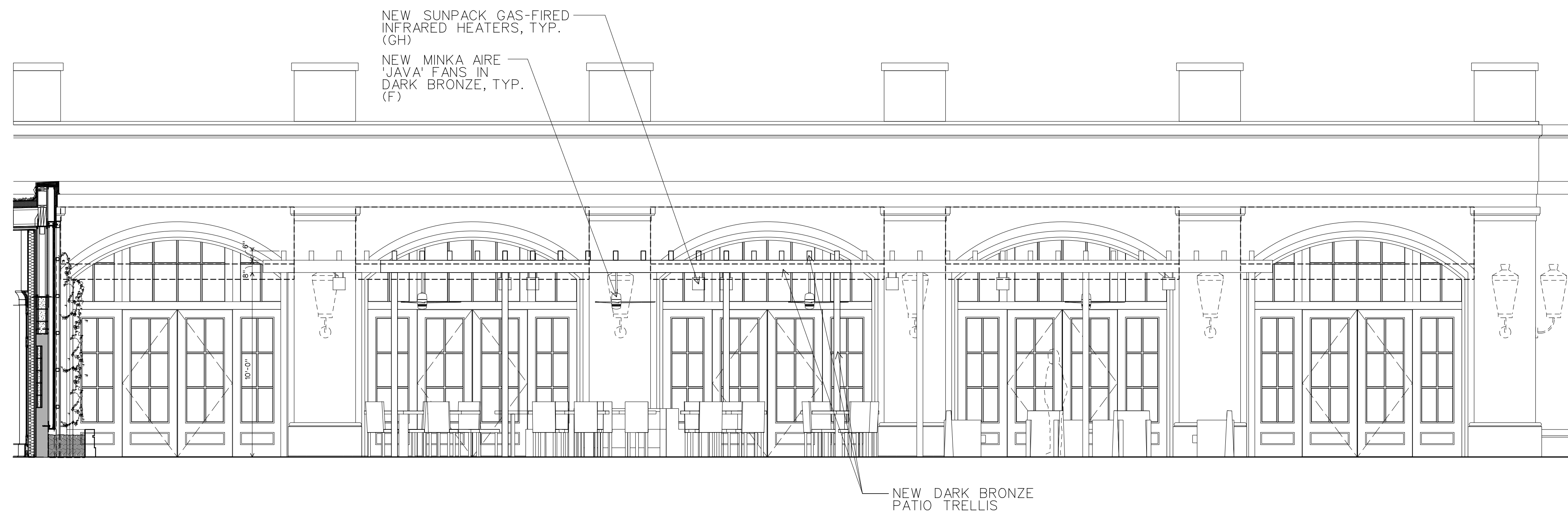


06 KEY PLAN
A2.1 SCALE : 1/32" = 1'-0"

07 TRELLIS PLAN
A2.1 SCALE : 3/8" = 1'-0"



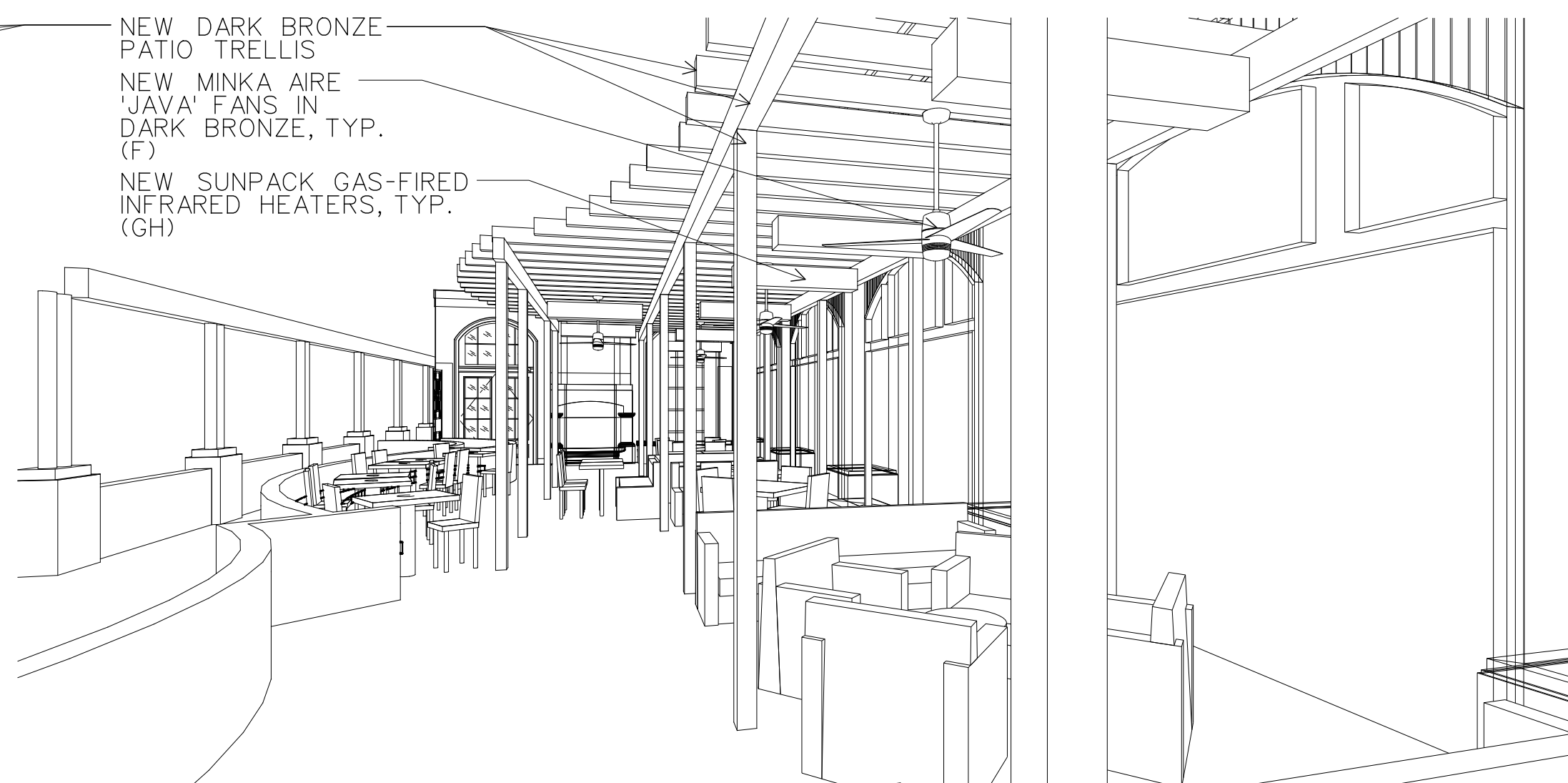
11 WEST TRELLIS ELEVATION
A2.1 SCALE : 1/4" = 1'-0"



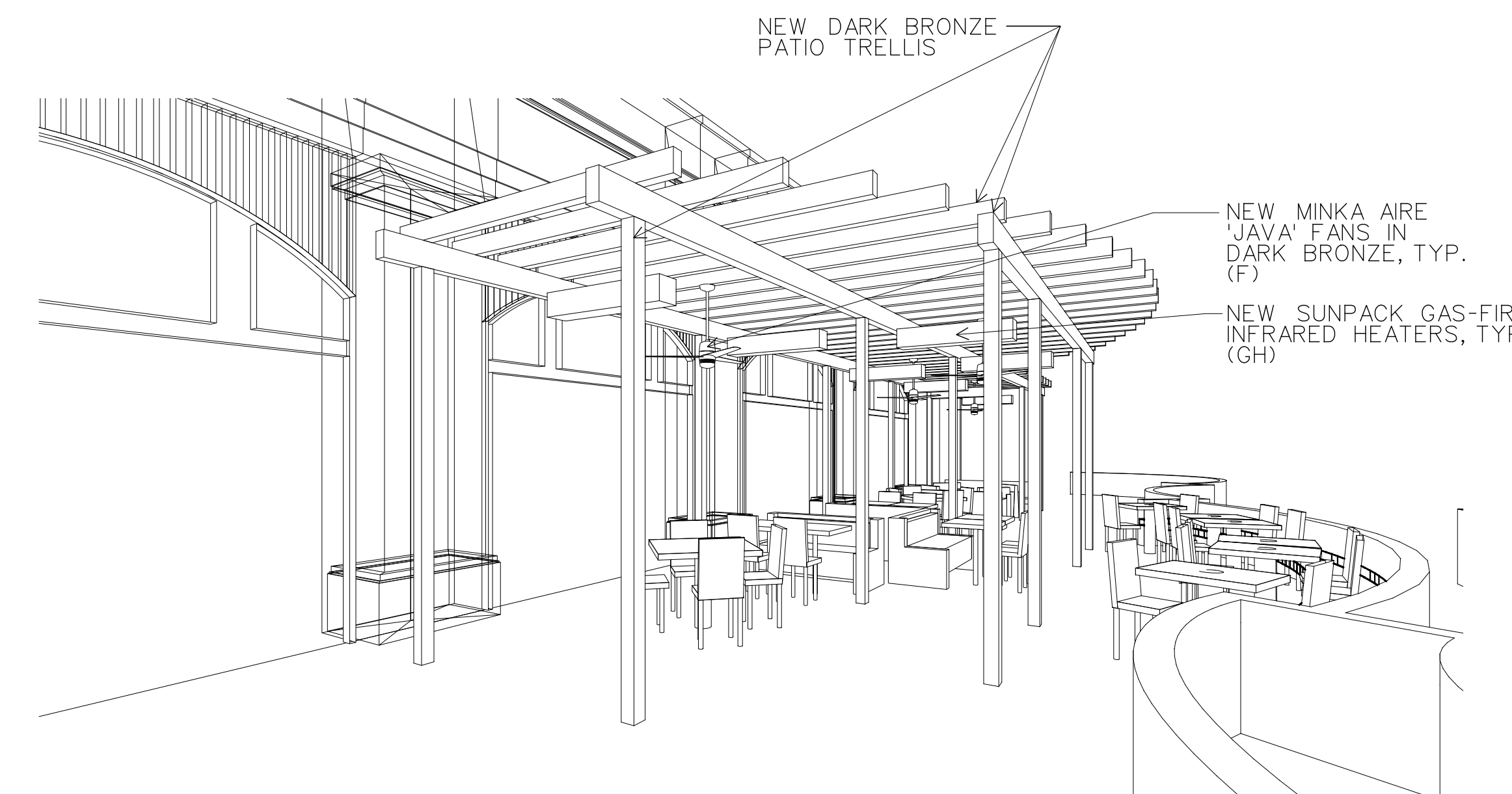
13 SOUTH TRELLIS ELEVATION
A2.1 SCALE : 1/4" = 1'-0"



16 PERSPECTIVE VIEW
A2.1 N.T.S.



18 PERSPECTIVE VIEW
A2.1 N.T.S.



20 PERSPECTIVE VIEW
A2.1 N.T.S.

seal

ST. REGIS
PATIO TRELLIS
88 West Paces Ferry Rd NW
Atlanta, GA 30305

PRINT LOG
DATE REMARKS
01.05.2015 DRC REVIEW

REVISIONS
NO. DATE DESCRIPTION

SHEET TITLE: TRELLIS PLAN, ELEVATIONS & VIEWS
TJS PROJECT NO. 13-06.00
DRAWN: _____ CHECKED: _____
JANUARY 05, 2015
THIS DRAWING IS THE PROPERTY OF THE JOHNSON STUDIO. IT IS NOT TO BE REPRODUCED OR USED ON OTHER PROJECTS AND IS TO BE RETURNED UPON REQUEST.

SHEET NO.

A2.1