







DEMOLITION PROJECT - BOLLING WAY – EAST PACES FERRY

3089 PEACHTREE – 3093 PEACHTREE – 3099 PEACHTREE

250 EAST PACES FERRY – 268 EAST PACES FERRY

SUMMARY

Plans are being prepared for the redevelopment of the block in Buckhead bordered by Peachtree, East Paces Ferry and Bolling Way. The demolition plans include the Peachtree Bottle Bar (“G” - 268 E. Paces Ferry), Park Bench (“F” - 250 E. Paces Ferry), Unleased building (“D” – 3089 Peachtree), Fish Hawk (“C” – 3093 Peachtree) and Chuck’s Fire Arms (“C” – 3089 Peachtree) buildings. In the future the plans may or may not include the Mitchell Gold (building “E”) furniture store but for now that building is not included in the plans.

The intent is to phase the demolition. Initially the Bottle Bar and Park Bench (buildings F and G) will be torn down as soon as possible. Chuck’s fire Arms, Fish Hawk and the vacant structure (buildings D and C) are planned to be demolished within six months pending relocation of Chuck’s and Fish Hawk. Included here are some renditions of what is contemplated for the block. Obviously when all plans are near completion the redevelopment plans will be submitted for SAP and DRC approval at that time.

LEGEND

○	LAMP POLE	RF	IRON PIN FOUND
○	UTILITY POLE	RF	IRON PIN SET
○	OVERHEAD POWER LINE (OHP)	N/F	NOW OR FORMERLY
○	SEIN	DB	DEED BOOK
○	SEIN/RY SIGN MANHOLE	PB	PLAT BOOK
○	ELECTRICAL MANHOLE	PG	PAGE
○	STORM MANHOLE	R/W	RIGHT OF WAY
○	WATER METER	LL	LAND LOT LINE
○	FIRE HYDRANT	P.O.B	POINT OF BEGINNING
○	WATER VALVE	B.M.	BENCH MARK
○	GAS VALVE	BSL	BUILDING SETBACK LINE
○	DOUBLE WING CATCH BASIN	CCM	COATED CORRUGATED METAL PIPE
○	HEADWALL	CCP	CORRUGATED METAL PIPE
○	DIRECTION OF DRAINAGE	RCF	REINFORCED CONCRETE PIPE
○		PVC	POLYVINYL CHLORIDE PIPE
○		D.O	DRAINAGE NILET
○		C.O	CLEAN OUT

SEEDING RATES FOR PERMANENT SEEDINGS

SPECIES	Rate per 1000 Sq. Ft.	Rate per Acre	Planting Dates	Notes
Leporeto (Common)	1.7 lb.	75 lbs.	1/1-12/31	1/1-12/31
Leporeto (Longleaf)	4 lbs.	0.1 lb.	3/1-6/15	3/1-6/15
Leporeto (Common)	0.2 lb.	10 lbs.	10/1-3/1	11/1-2/1
Leporeto (Unseeded)	1.7 lb.	75 lbs.	1/1-12/31	1/1-12/31
Tall Fescue	1.1 lb.	50 lbs.	3/1-4/15	8/15-11/1
Switchgrass	0.9 lb.	40 lbs.	3/1-6/1	3/15-6/1

1. Unusual site conditions may require heavier seeding rates.
2. Seeding should be done during the dormant season and local conditions.

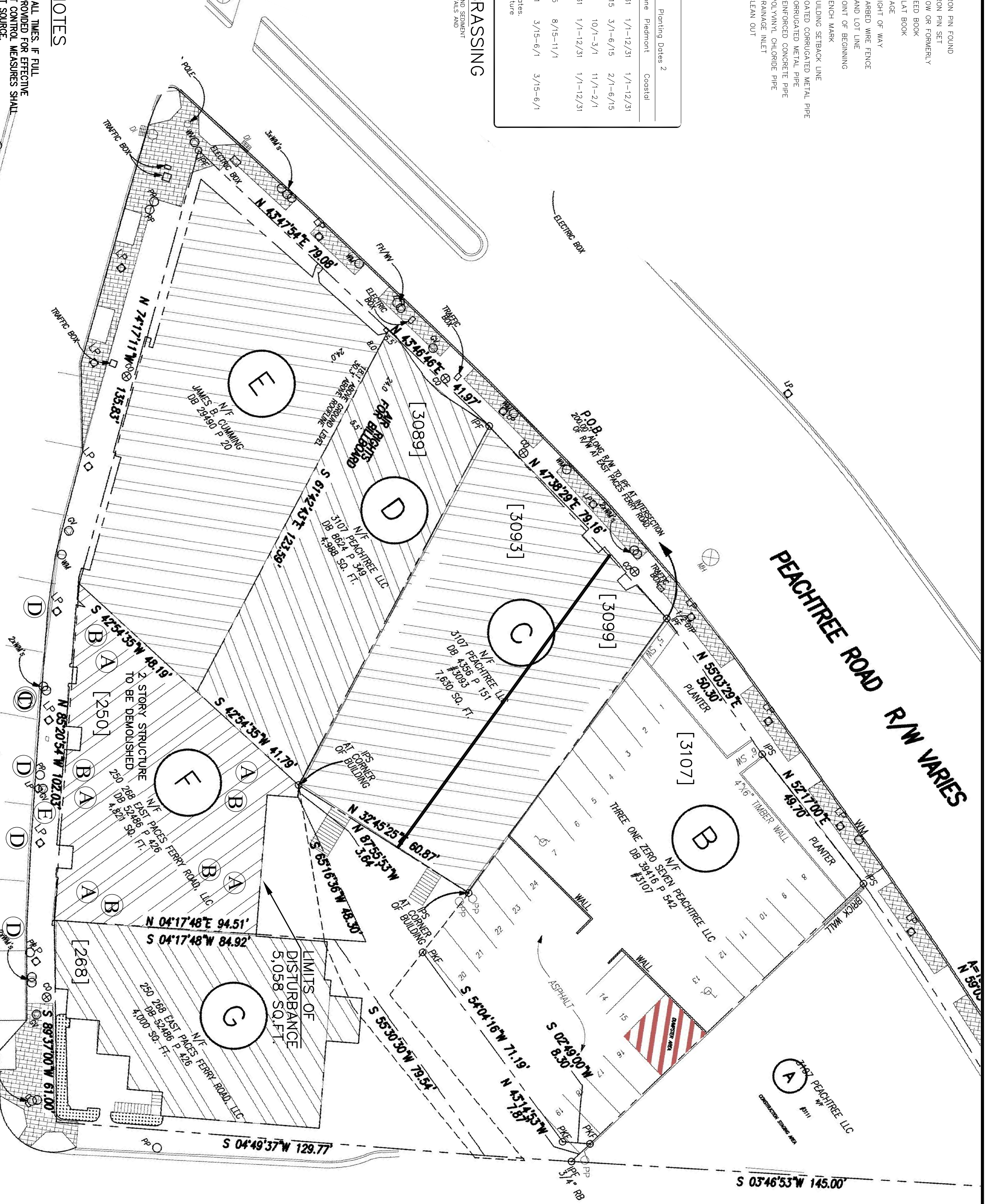
P3 PERMANENT GRASSING
CONTROL, IN ACCORDANCE WITH THE SPECIFICATIONS.

EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
2. SEDIMENT AND EROSION MEASURES AND PRACTICES TO BE INSPECTED DAILY
3. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
6. ANY DISTURBED AREA LEFT IDE FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. (DISTURBED AREAS LEFT IDE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.)

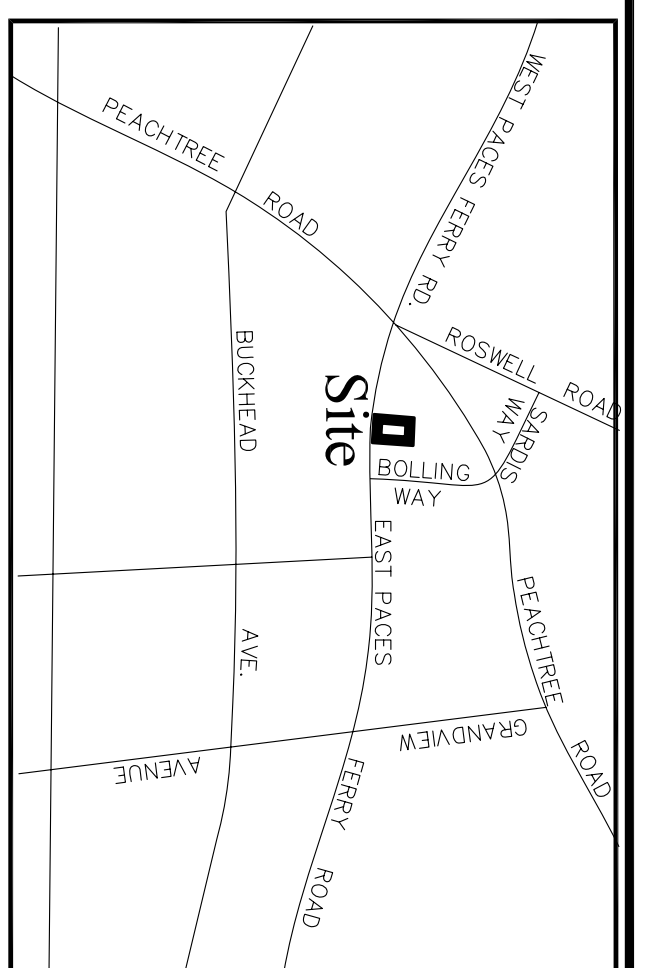
GEORGIA UNIFORM CODING SYSTEM
FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds3	DISTURBED AREA (SEEDING)		Ds3	Disturbed area to be seeded with grasses or other vegetation.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the site. It may be a silt fence, straw bale barrier, or other type of sediment control structure.
St	STORM DRAIN OUTLET PROTECTION		St	A sand or silt filter of other material to prevent sediment from the storm drain from leaving the site.



CONTRACTOR DEMOLITION NOTES:

1. THE PURPOSE OF THIS PLAN IS FOR DEMOLITION ONLY.
2. ALL REQUIRED PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK. CONTRACTOR SHALL PROTECT ALL ADJACENT LANDS FROM DAMAGE DURING DEMOLITION WORK. ANY OFF-SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
3. BUILDINGS AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE/SHE HAS BEEN FURNISHED WITH A NOTICE OF POSSESSION AND APPROVAL TO PROCEED BY THE OWNER.
4. ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE TO AN APPROVED LANDFILL FACILITY.
5. TANKS SHALL BE COMPLETELY REMOVED AND BASEMENTS SHALL BE CLEARED OF ALL DEBRIS, APPLIANCES, WOOD OR METAL PARTITIONS AND WOOD FLOORS - WHERE APPLICABLE
6. ALL MATERIALS EXCEPT THAT BELONGING TO A PUBLIC OR PRIVATE UTILITY ENTITY SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE COUNTY OR CITY UTILITY WHEN WATER, GAS AND ELECTRIC METERS ARE READY FOR REMOVAL AND SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH ALL REQUIRED REGULATIONS.
7. STRUCTURES NOT LABELED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF DEMOLITION/CONSTRUCTION. ANY STRUCTURES THAT ARE TO REMAIN THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN ORIGINAL CONDITION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
8. CONTRACTOR SHALL INSTALL SILT FENCE PRIOR TO THE DEMOLITION/REMOVAL OF ALL DEBRIS OR AS DIRECTED BY INSPECTOR
9. CONTRACTOR SHALL UTILIZE EXTREME CAUTION IN PROTECTING EXISTING CONCRETE PAVEMENT AND TREE PROTECTION ZONES IF APPLICABLE.



OWNER & DEVELOPMENT NOTES:

1. PROPERTY LOCATION: 268 EAST PACES FERRY ROAD ATLANTA, GEORGIA 30305 LAND LOT 99, 17TH DISTRICT CITY OF ATLANTA PARCEL ID # 17 0099 0006 0422 250 268 EAST PACES FERRY ROAD, LLC 516 EAST PACES FERRY ROAD ATLANTA, GEORGIA 30305
2. OWNER: 24 HOUR CONTACT: CHIP POTTINGER 404-964-2130
3. ENGINEER/DESIGNER: PYRAMID EDC CONSULTANTS, INC. 4151 MEMORIAL DRIVE, SUITE 210A DECATUR, GA. 30032 PHONE: (404) 297-0750 FAX: (404) 297-0751
4. SURVEY DATA FROM "Survey For" 3107 Peachtree Road, LLC by: Conroy & Associates, P.C., Dated: 10-22-14

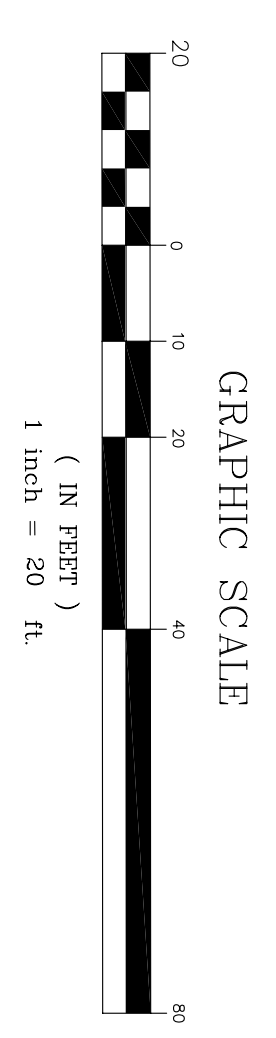
TREE PROTECTION NOTES:

THERE ARE NO TREES OR VEGETATION ON SUBJECT PARCEL

DEMOLITION LEGEND

- A** BUILDING/STRUCTURES TO BE DEMOLISHED
- B** ASPHALT/CONCRETE DRIVEWAY, BUILDING PAD, FOUNDATION AND CONCRETE SIDEWALKS, SHALL REMAIN AND MAINTAINED BY THE OWNER
- C** WATER SERVICE TO METER, COORDINATE WITH WATER DEPT. IF SERVICE INTERRUPTION IS REQUIRED.
- C** COORDINATE RELOCATION OR PROTECTION OF POLES AND POWER LINES WITH APPROPRIATE UTILITY COMPANY IF REQUIRED
- E** COORDINATE SERVICE DISCONNECT OF NATURAL GAS SERVICE SERVICE LINES & DEVICES
- X** TREE TO BE REMOVED

TOTAL PARCEL AREA: 0.132 AC. (5,733 S.F.)
TOTAL DISTURBED AREA: 5,058 S.F. (0.1161 AC.)



Demolition Plan

REVISIONS

Date	Description

Pyramid EDC Consultants, Inc
4151 Memorial Drive
Building A Suite 210A
Decatur, Ga. 30032
Ph. 404.297.0750
mbell@pyramidedc.com

250 East Paces Ferry Road
Demolition Plan
Land Lot 99 - 17th Distrc
City of Atlanta, Fulton County, Georgia

FDI Project # 14-19059
Date: 29 SEPT 2014
Project Manager: MMB

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