

ROCK-N-TACO

3247 ROSWELL ROAD

ATLANTA GEORGIA 30305

SCOPE OF WORK

THE PURPOSE OF THESE DRAWINGS IS TO RENOVATE AN EXISTING RESTAURANT INTO A NEW RESTAURANT. THE EXISTING RESTAURANT IS TO REMAIN. NO EXTERIOR RENOVATION IS PLANNED EXCEPT FOR PAINTING AND GENERAL REPAIR

CONTACT INFORMATION:

ARCHITECT:

ACME AMERICAN L.L.C.
319 ATLANTA STREET, UNIT 240
MARIETTA, GEORGIA 30064
(770) 425-6890

ENGINEER:

JASPER W. PROCTOR, JR. PE
ACME AMERICAN L.L.C.
319 ATLANTA STREET, UNIT 240
MARIETTA, GEORGIA 30064
(770) 425-6890

OWNER/Leasor:

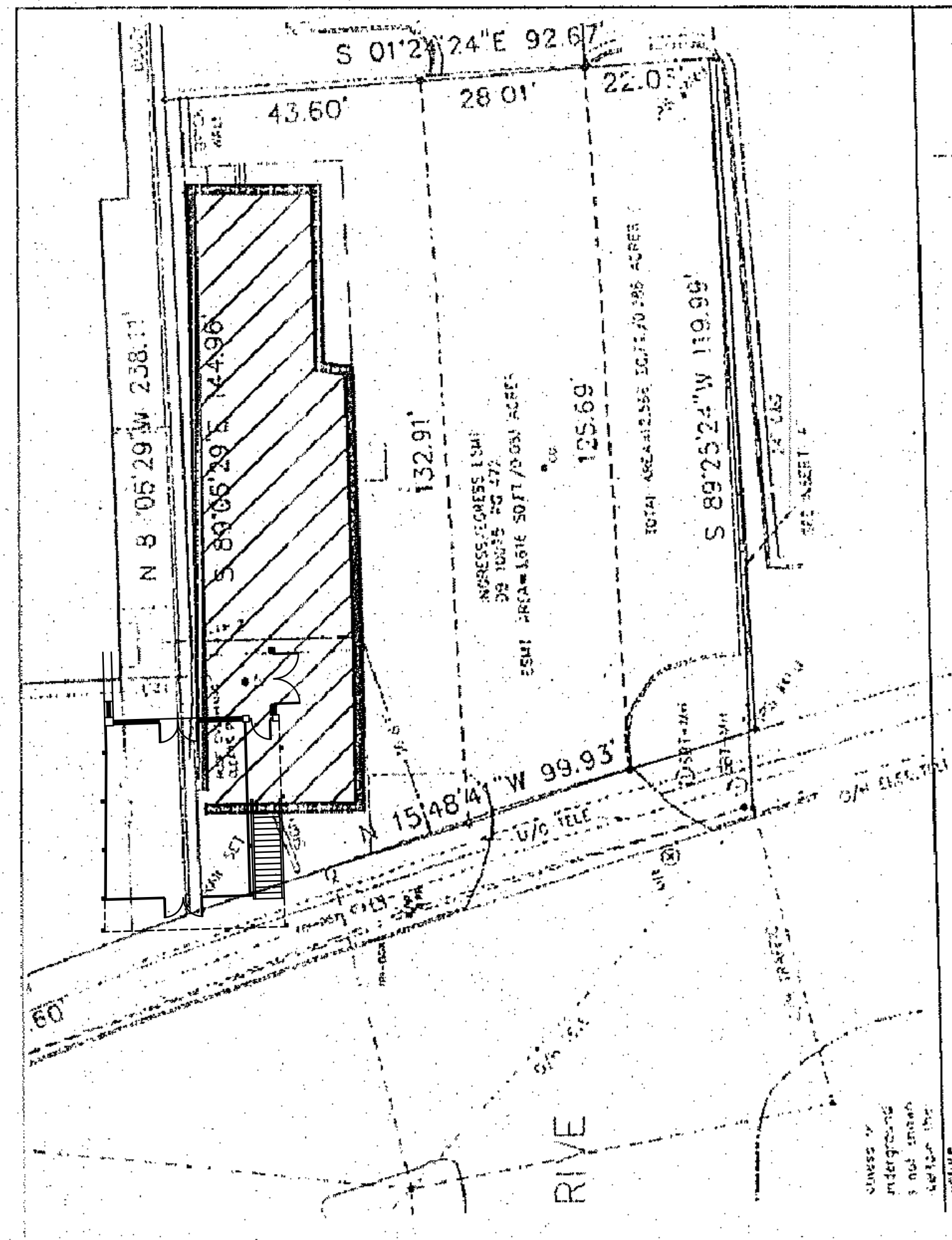
JOE RYAN
3247 ROSWELL ROAD
ATLANTA, GA 30305
770-668-3806

Owner/EMERGENCY CONTACT -

JOE RYAN
770-668-3806

PLAN INDEX:

| | |
|-----------------|------|
| COVER | T101 |
| SITE W/ PARKING | C101 |
| PROPOSED DECK | S101 |



SITE PLAN

1" = 20'

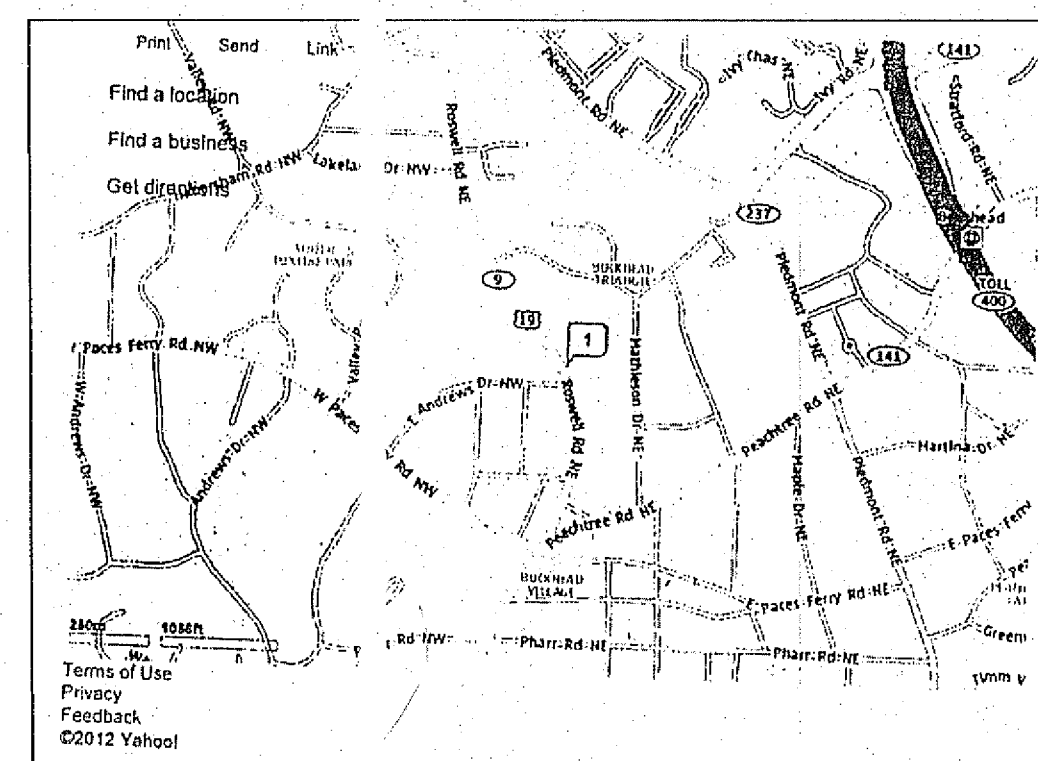
Site Map

GENERAL ARCHITECTURAL NOTES:

1. CLASSIFICATION BY OCCUPANCY - A2 SMALL ASSEMBLY
2. OCCUPANT LOAD CALCULATION: 109 OCCUPANTS
3. CLASSIFICATION BY CONSTRUCTION TYPE - TYPE VB, NONSPRINKLERED, UNPROTECTED.
ALLOWABLE BUILDING HEIGHT AND AREA
1 STORY, 6,000 SF
PROPOSED BUILDING HEIGHT AND AREA:
1 STORY, 2438 SF
4. APPLICABLE CODES:
INTERNATIONAL BUILDING CODE, 2006 EDITION W/ 2007 & 2009 AMENDMENTS
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INTERNATIONAL FIRE CODE, 2006 EDITION W/ 2007, 2008, & 2009 GA AMENDMENTS
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O.C.G.A. TITLE 25 (STATE FIRE LAW)
O.C.G.A. TITLE 30 (GEORGIA ACCESSIBILITY CODE)
5. ALL FLOOR SURFACES ALONG ACCESSIBLE ROUTES SHALL HAVE A MAX. SLOPE OF 1:20 AND NO ABRUPT ELEVATION CHANGES OVER 1/4". SURFACES SHALL BE NON-SLIP, MAX. CARPET PILE HEIGHT SHALL BE 1/2".
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11. SEAL ALL RATED FIRE BARRIERS TIGHT TO STRUCTURE, TYP. FIRE BARRIER SHALL BE CONTINUOUS FROM OUTSIDE WALL TO OUTSIDE WALL, FROM ONE FIRE BARRIER TO ANOTHER FIRE BARRIER, OR A COMBINATION THEREOF, INCLUDING CONTINUING THROUGH ALL INTERSTITIAL AND CONCEALED SPACES SUCH AS THOSE ABOVE A CEILING, WITHIN TRUSS SPACES, AND WITHIN EAVES AND OVERHANGS. PROVIDE FIRE STOPPING AT ALL PENETRATIONS THRU RATED FIRE BARRIERS AND AS REQUIRED AT OTHER MISC. FEATURES OF RATED FIRE BARRIERS.
12. IF A HOOD DESIGN IS INCLUDED HEREIN, THEN THE GENERAL CONTRACTOR SHALL PROVIDE HOOD AND HOOD DUCT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION FOR APPROVAL.
13. PROVIDE EMERGENCY EGRESS AND EXIT LIGHTS WITH BATTERY BACKUPS AS PER NFPA-101.
14. THESE DRAWINGS ARE FURNISHED FOR DESIGN INTENT ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL DESIGN AND FIELD CONDITIONS PRIOR TO ANY CONSTRUCTION, FABRICATION, INSTALLATION, ETC. NOTIFY ALL DISCREPANCIES TO THE ARCHITECT/ENGINEER. PRIOR TO ANY CONSTRUCTION, FABRICATION, INSTALLATION, ETC. FAILURE BY THE GENERAL CONTRACTOR TO MAKE THIS NOTIFICATION SHALL MAKE HIM OR HER RESPONSIBLE FOR ALL ASSOCIATED CONSTRUCTION COST(S) CHANGES. OWNER AND CONTRACTOR SHALL HOLD THE ARCHITECT AND ENGINEER HARMLESS FOR CHANGES REQUESTED BY AUTHORITIES HAVING JURISDICTIONS AFTER PERMITS HAVE BEEN OBTAINED FROM SAID AUTHORITIES.
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17. PROVIDE SMOKE DETECTORS, MIN. ONE IN EACH ROOM AND AT 30'-0" O.C. AT ALL OTHER AREAS OR THE BUILDING, AND AS OTHERWISE REQUIRED BY NFPA 101.
18. PROVIDE FIRE SAFETY INFORMATION POSTED THRU OUT THE BUILDING IN ACCORDANCE WITH STATE AND LOCAL FIRE CODE REQUIREMENTS.
21. PROVIDE BASIC SECURITY SYSTEM TO COVER EXITS & CORRIDORS, SMOKE & HEAT.
25. DOORS IN EXITS SHALL NOT BE SUBJECT TO THE USE OF A KEY FOR OPERATION FROM THE INSIDE OF THE BUILDING.
26. THE OPEN SIDE OF STAIRS THAT ARE 30 INCHES OR MORE ABOVE FLOOR OR GRADE BELOW SHALL HAVE A 42 INCH GUARD AND A HANDRAIL SET A 34 INCHES. HANDRAIL SHALL BE ON EACH SIDE OF ALL NEW STAIRS OR RAMPS THAT EXCEED A 1 IN 15 SLOPE. THIS HANDRAIL SHALL BE SET AT 34 INCHES FROM FINISH SURFACE TO TOP OF HANDRAIL.
27. HANDRAILS SHALL BE PROVIDED AT BOTH SIDES OF ALL STAIRS @ 34" HEIGHT.

GENERAL ACCESSIBILITY NOTES:

1. ALL DOOR HARDWARE SHALL BE ACCESSIBLE TYPE.
2. ALL ELEMENTS OF TOILETS DESIGNATED H/C OR B/F SHALL BE OF AN ACCESSIBLE NATURE.
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4. PROVIDE 18" CLEAR DIST. ON THE PULL SIDE AND 12" CLEAR DIST. ON THE PUSH SIDE OF DOORS REQUIRED TO BE ACCESSIBLE, AS PER ANS A-117.1.
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6. DOORS IN EXITS SHALL NOT BE SUBJECT TO THE USE OF A KEY FOR OPERATION FROM THE INSIDE OF THE BUILDING.
7. THE SOUTHERN (SOUTHERN (INTERNATIONAL)) SYMBOL OF ACCESSIBILITY SHALL BE USED TO IDENTIFY ACCESSIBLE FACILITIES.
8. MINIMUM CLEAR WIDTH FOR DISABLE PASSAGE IS 32 INCHES AT A POINT (I.E. AT A DOORWAY) AND 36 INCHES CONTINUOUSLY.
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12. WHEELCHAIR LOCATIONS SHALL BE AN INTEGRAL PART OF ANY FIXED SEATING PLAN SHALL BE DISPERSED THROUGHOUT THE SEATING AREA; ADJOINING ACCESSIBLE ROUTES ARE LOCATED TO PROVIDE LINES OF SIGHT COMPARABLE TO THOSE FOR ALL VIEWING AREAS (4.31 ANS 117.1.4.3).
13. ONE HAND LEVER OPERATION IS REQUIRED OF FAUCETS, SELF CLOSING VALVES ARE PERMITTED PROVIDING THE FAUCET REMAINS OPEN FOR AT LEAST TEN SECONDS TO COMPLY WITH 4.19.5 OF THE ANS 117.1 STANDARD.
14. MIRRORS ARE TO MOUNTED WITH THE BOTTOM EDGE NO HIGHER THAN 40 INCHES FROM THE FLOOR.
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17. SEATS, TABLES AND WORK SURFACES SHALL COMPLY WITH NFPA 101, ADA, AND ANS A117.1.



SITE VICINITY MAP
NOT TO SCALE

Location Map

ZONED -SPI-9 EXPANDED OCTOBER 4, 2010

CLASSIFICATION OF OCCUPANCY- Life Safety Code 2000-6.1.2.1- Assembly
International Building Code 2006 A- 2

BUILDING TYPE - II B
OCCUPANT LOAD -Interior Building 65
Covered Patio 44
Total 109

PARKING -Patio SF 973
Building 1865
TOTAL 2438 SF /100= 25: On site 25

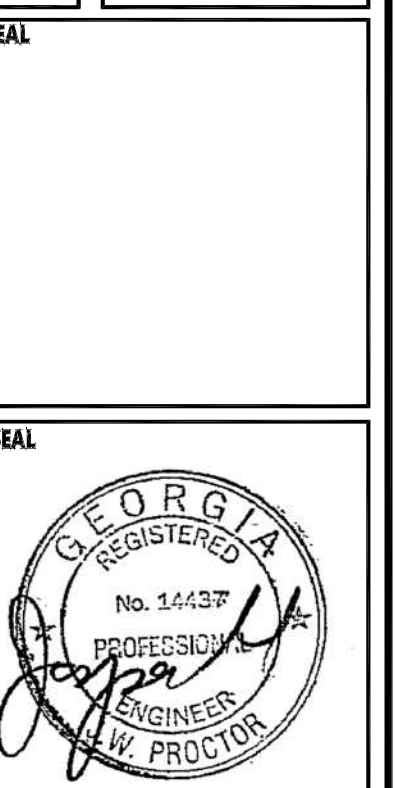
PLUMBING FIXTURE REQUIREMENTS AS per International Plumbing Code 2006 Table 483

| | |
|-----------|------------|
| MEN | WOMEN |
| 1 WC /75 | 1 WC /75 |
| 1 Lav/200 | 1 Lav/ 200 |

EXISTING COVERS REQUIREMENTS

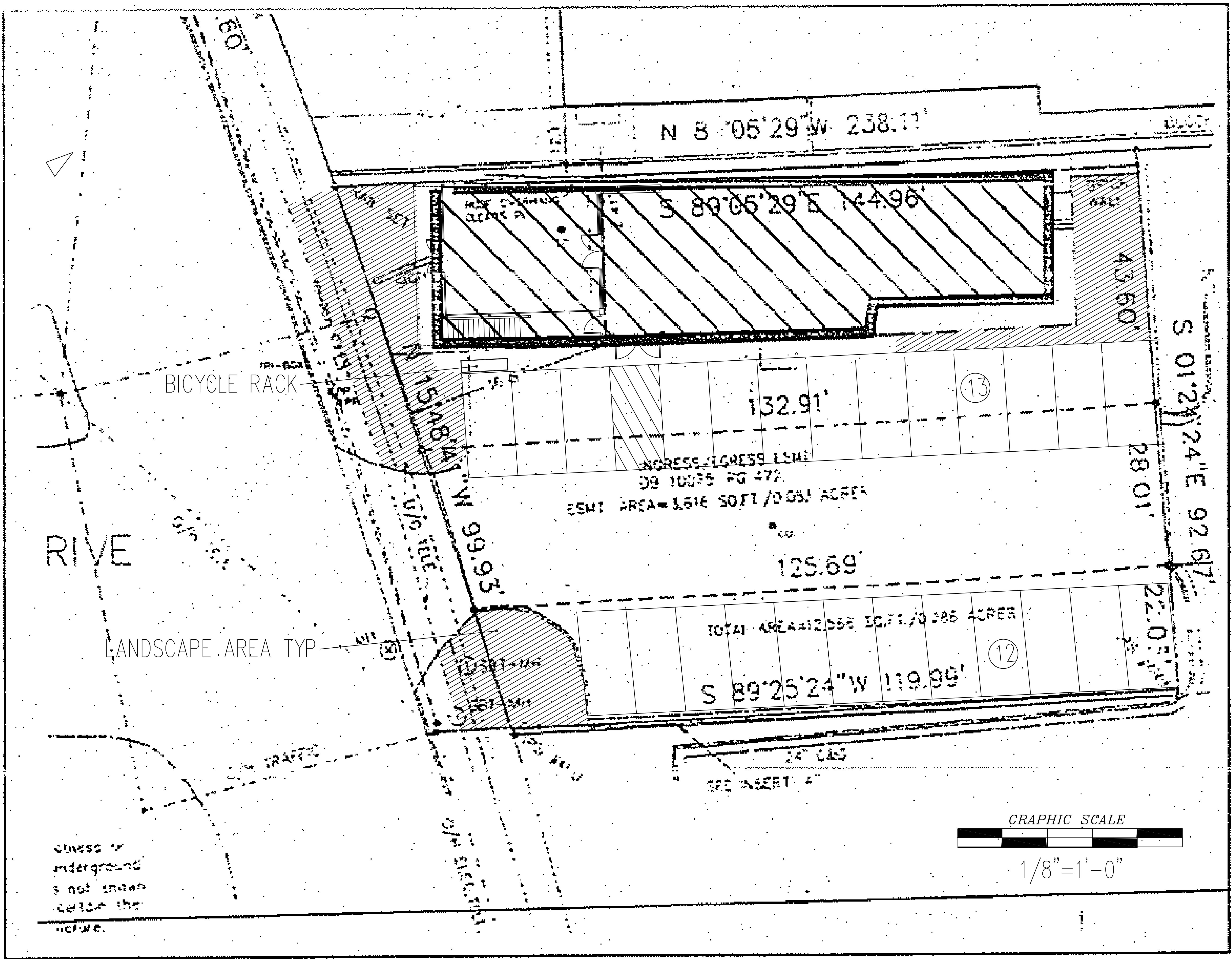
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Architects, Construction Managers, Engineers
319 Atlanta Street, Unit 240, Marietta, Georgia 30064
acmeamericanllc@bellsouth.net
voice (770) 425-6890 - fax (770) 425-5777

COVER
Rock-N-Taco
3247 Roswell Road
Atlanta, Georgia 30305

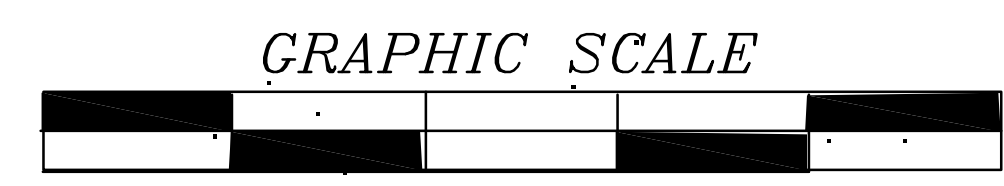


25 APRIL 2014
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DRAWN BY:
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PROJECT: #14-016

T101



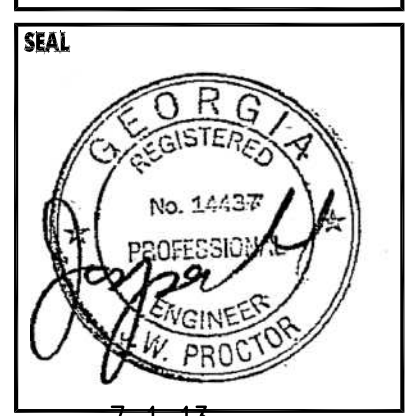
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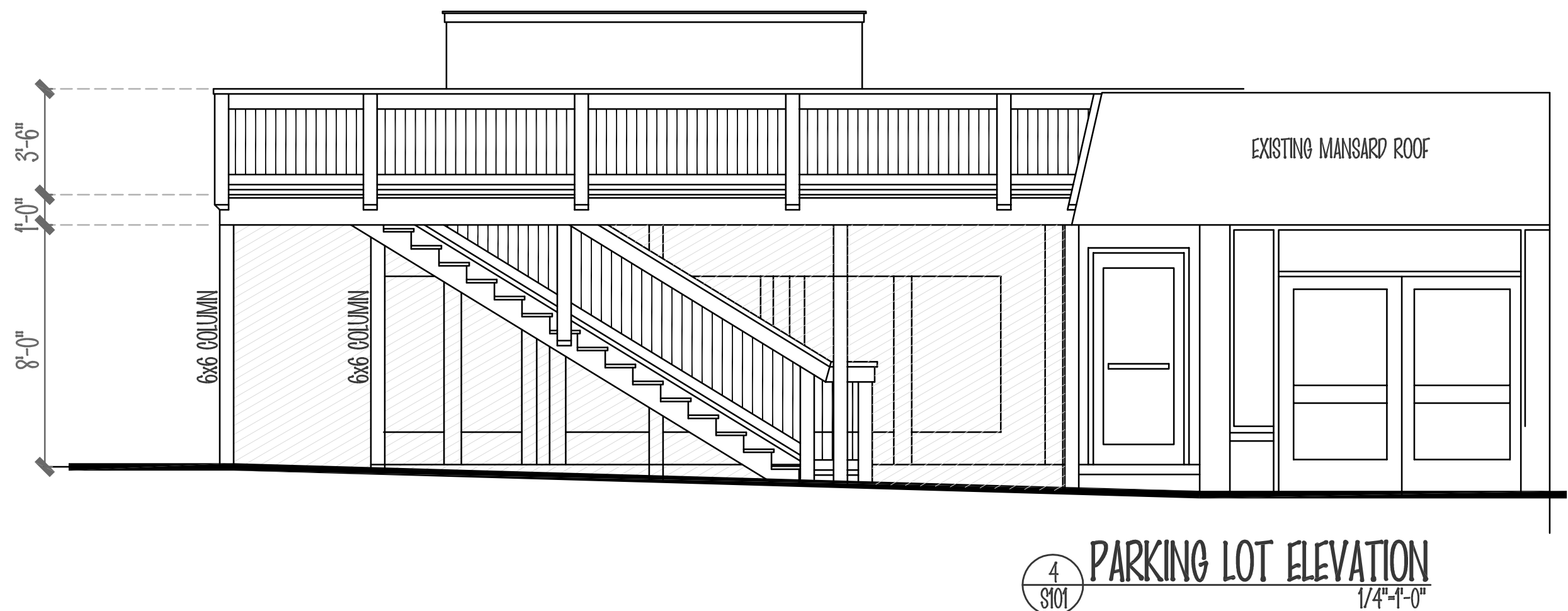
SITE W/ PARKING
Rock-N-Taco
 3247 Roswell Road
 Atlanta, Georgia 30305

SEAL

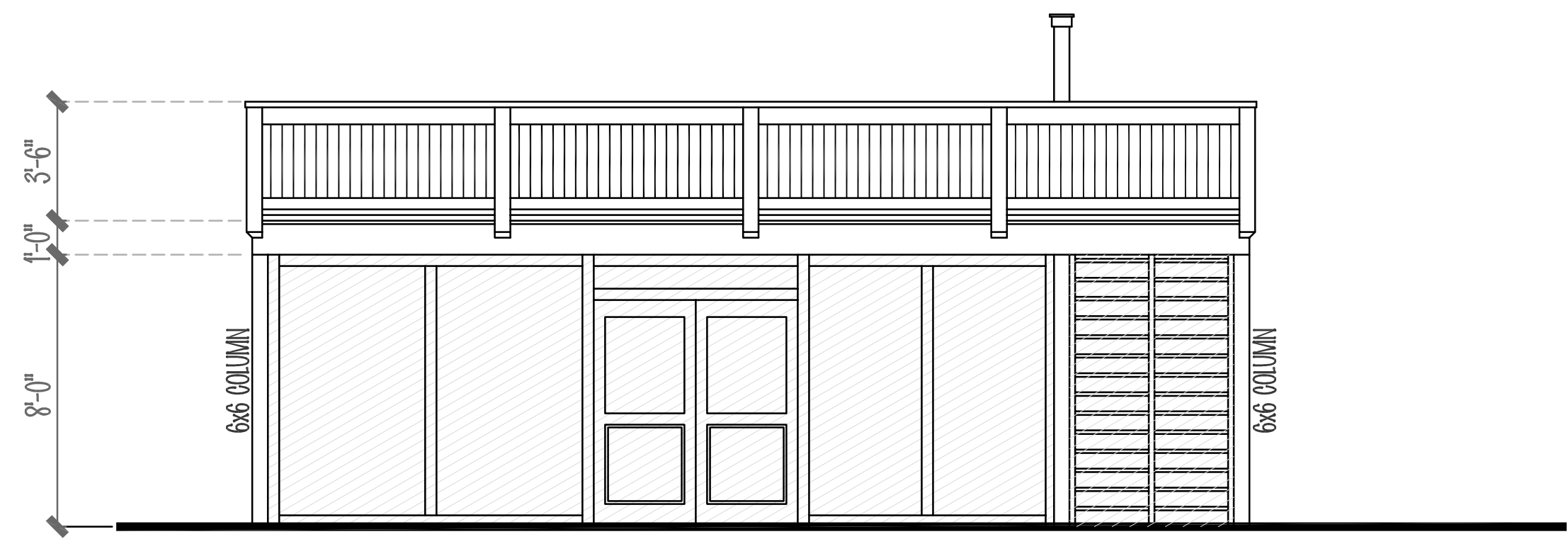


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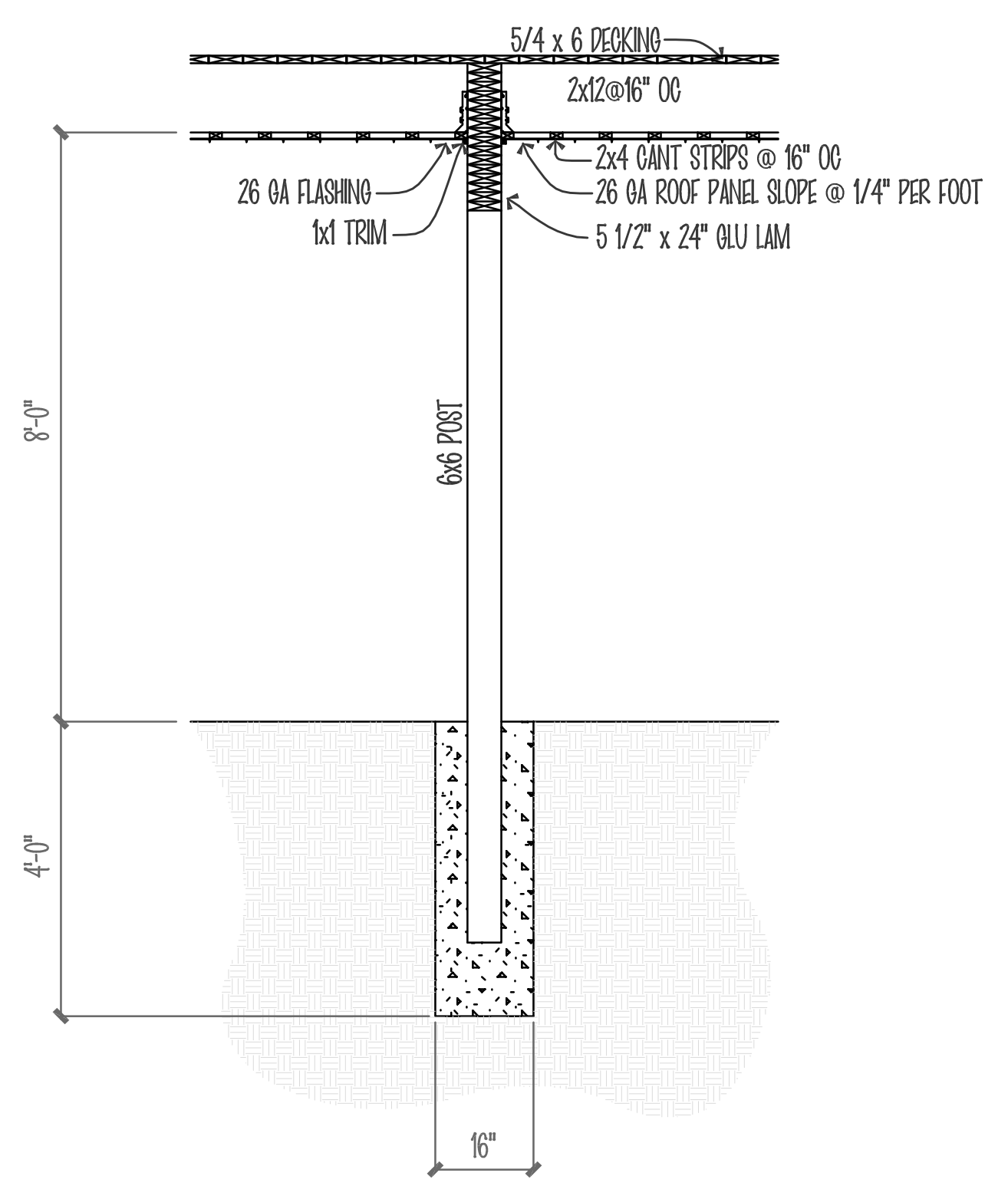
C101



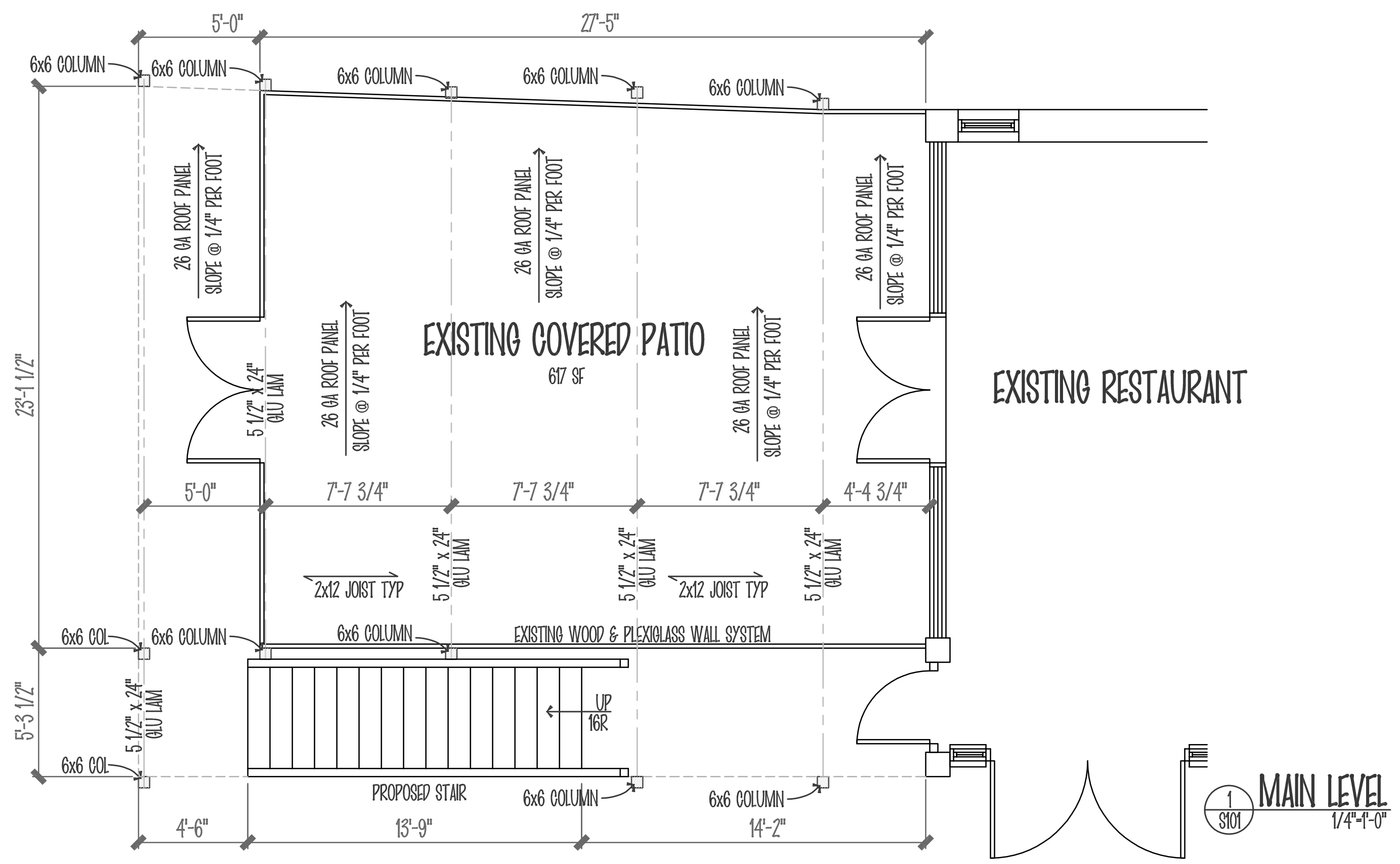
4 PARKING LOT ELEVATION
1/4"=1'-0"



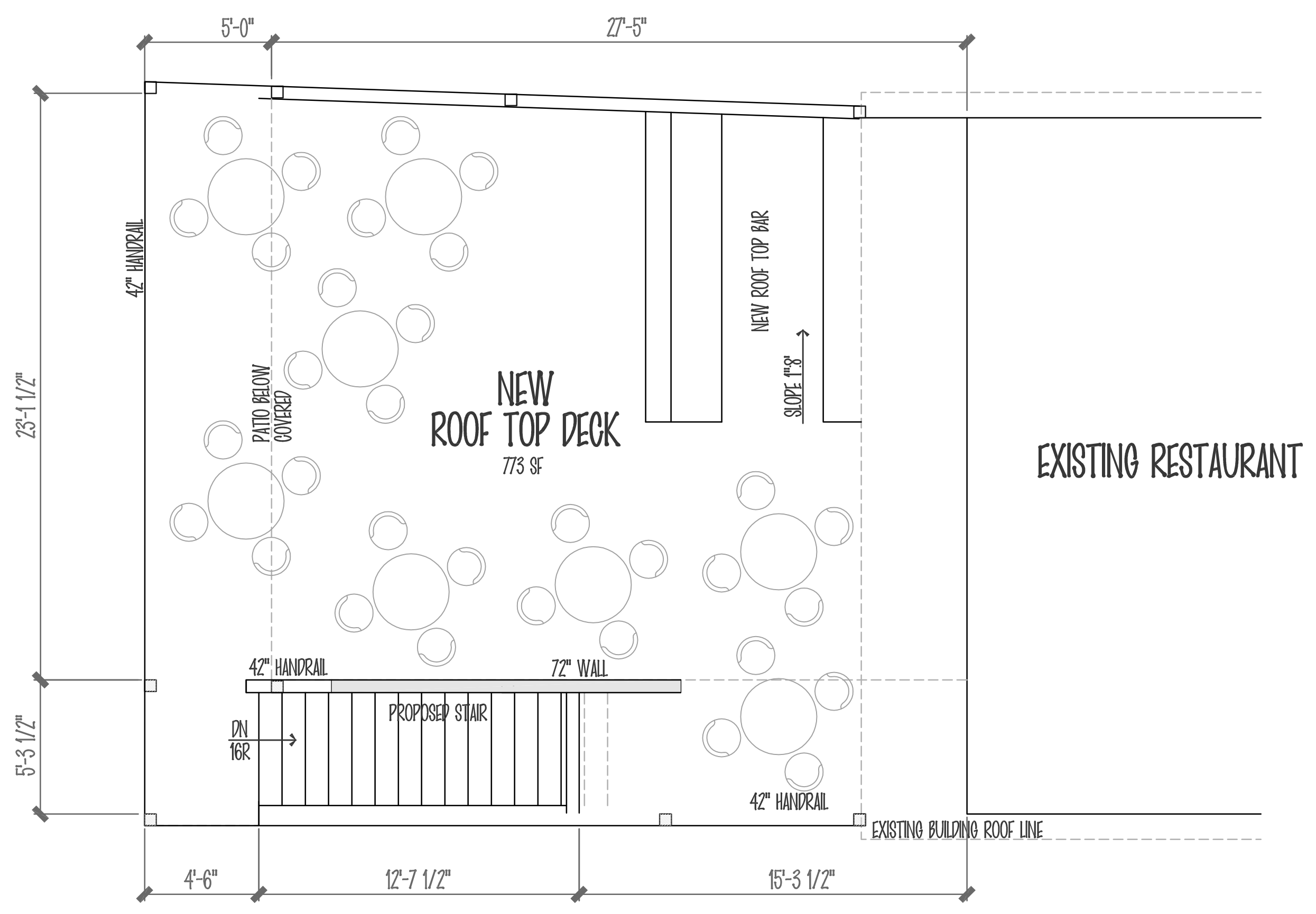
3 ROSWELL ROAD ELEVATION
1/4"=1'-0"



5 TYPICAL BEAM/COLUMN CONDITION
1/2"=1'-0"



1 MAIN LEVEL
1/4"=1'-0"



2 DECK LEVEL
1/4"=1'-0"

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PATIO/DECK RENOVATION
Rock-N-Taco
3247 Roswell Road
Atlanta, Georgia 30305

SEAL



10 APRIL 2014
REV
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DRAWN BY:
CHECKED BY:
PROJECT: #14-015

S101

ROCK-N-TACO

3247 ROSWELL ROAD

ATLANTA GEORGIA 30305

SCOPE OF WORK

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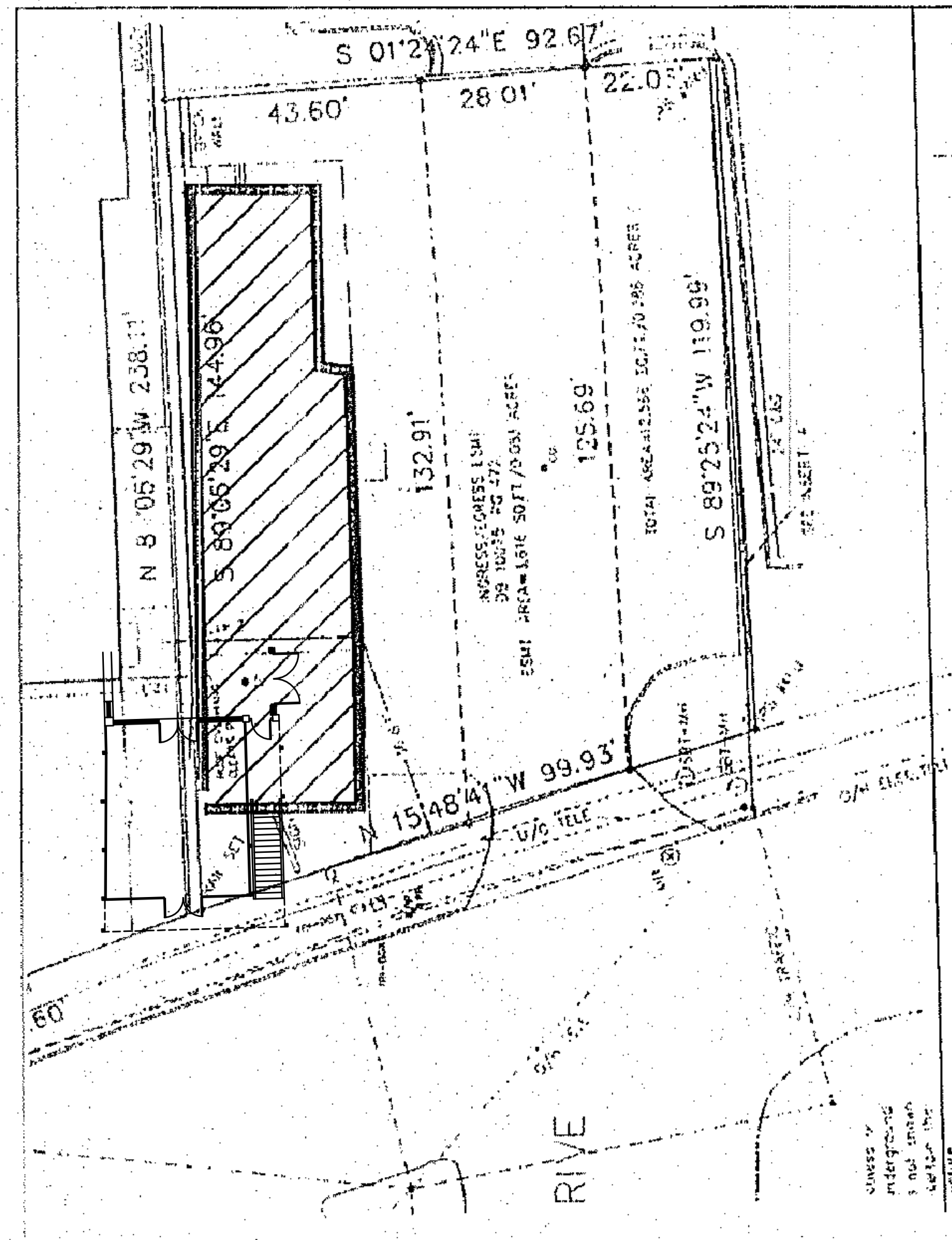
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| SITE W/ PARKING | C101 |
| PROPOSED DECK | S101 |



SITE PLAN

1" = 20'

Site Map

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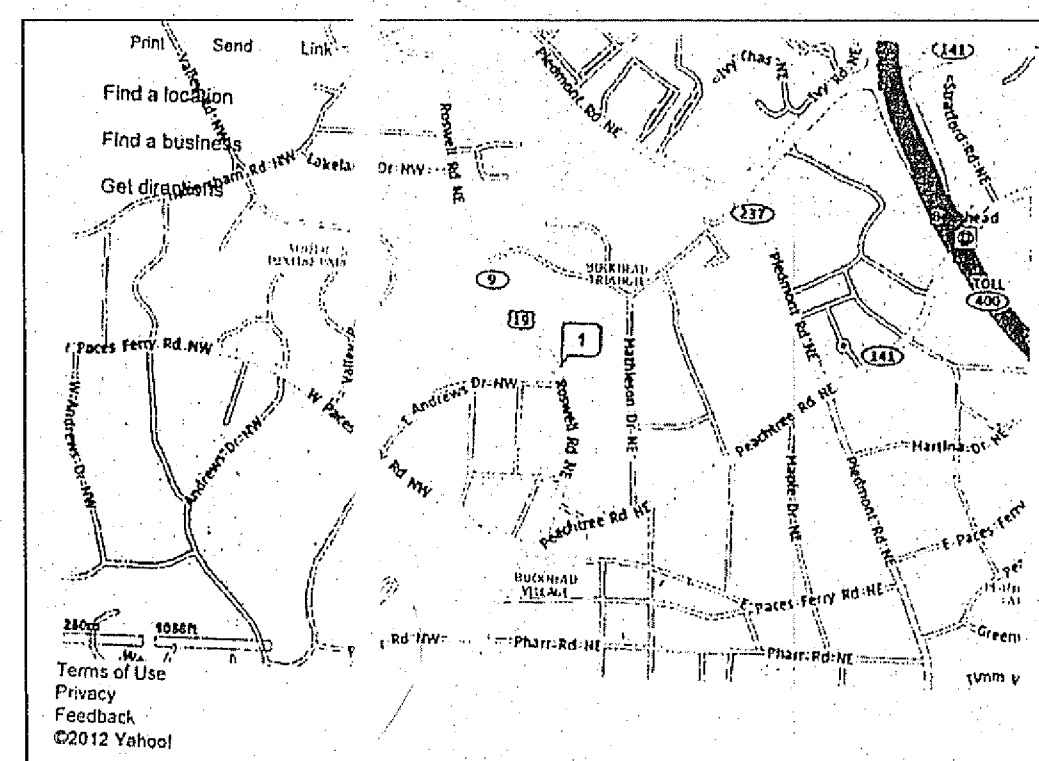
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SITE VICINITY MAP
NOT TO SCALE

Location Map

ZONED -SPI-9 EXPANDED OCTOBER 4, 2010

CLASSIFICATION OF OCCUPANCY- Life Safety Code 2000-6.1.2.1- Assembly
International Building Code 2006 A- 2

BUILDING TYPE - II B
OCCUPANT LOAD -Interior Building 65
Covered Patio 44
Total 109

PARKING -Patio SF 973
Building 1865
TOTAL 2438 SF /100= 25: On site 25

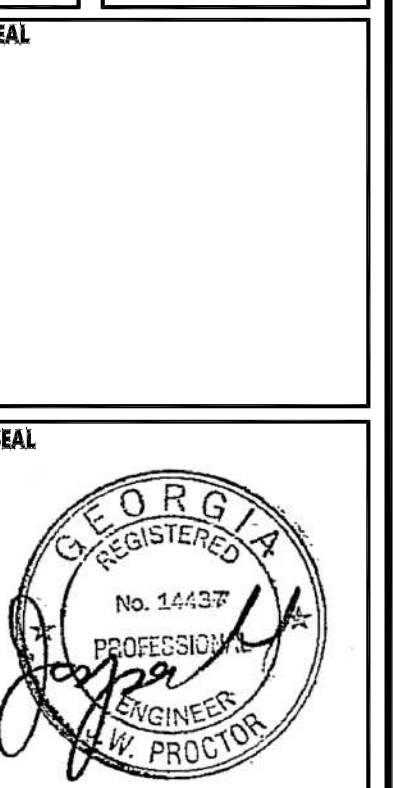
PLUMBING FIXTURE REQUIREMENTS AS per International Plumbing Code 2006 Table 483

| | |
|-----------|------------|
| MEN | WOMEN |
| 1 WC /75 | 1 WC /75 |
| 1 Lav/200 | 1 Lav/ 200 |

EXISTING COVERS REQUIREMENTS

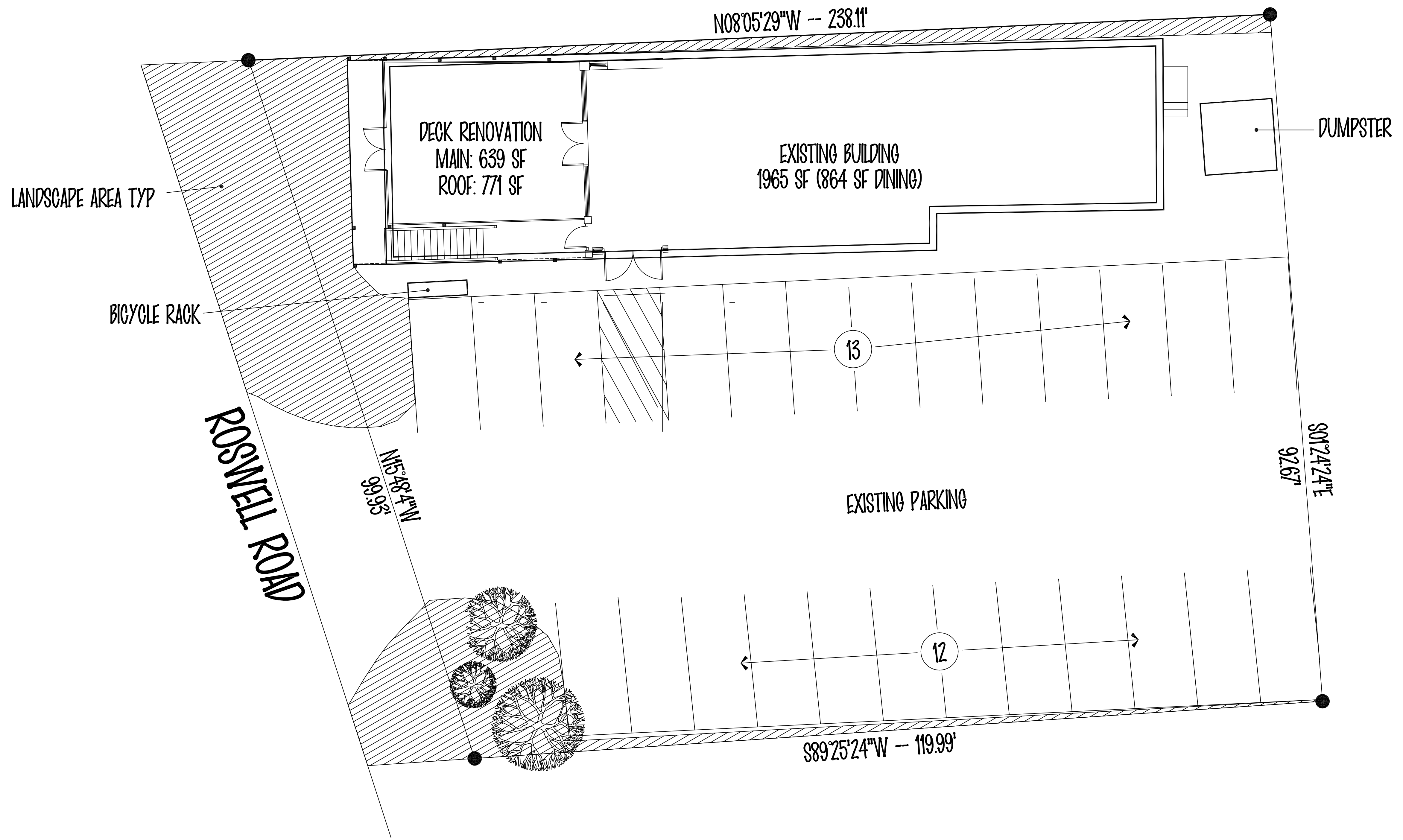
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Architects, Construction Managers, Engineers
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voice (770) 425-6890 - fax (770) 425-5777

COVER
Rock-N-Taco
3247 Roswell Road
Atlanta, Georgia 30305



25 APRIL 2014
REV
REV
DRAWN BY:
CHECKED BY:
PROJECT: #14-016

T101

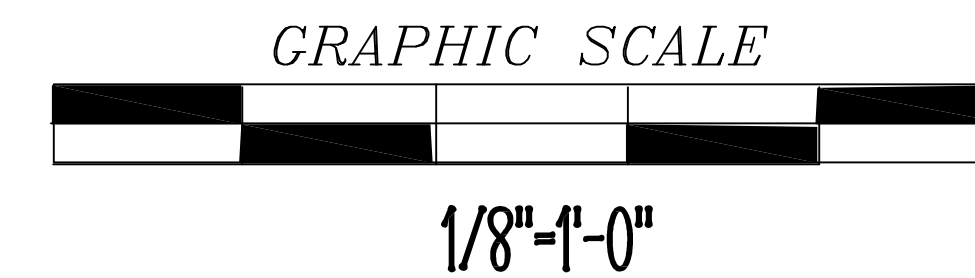


CALCULATIONS:

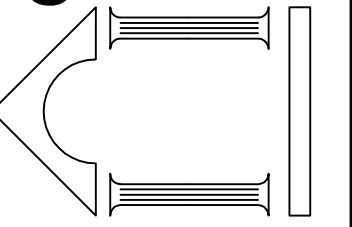
PARKING: BUILDING 2438 SF / 100 = 24.38 SPACES
24 REQUIRED SPACES < 25 SPACES PROVIDED

BICYCLE: INDOOR DINING 864 SF + OUTDOOR DINING 1410 SF / 4000SF
ONE (1) BICYCLE RACK REQUIRED

LANDSCAPING: LOT 12 705 SF / LANDSCAPED 2095 SF
16.5% LOT AREA LANDSCAPED



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voice (770) 425-6890 - fax (770) 425-5777



SITE W/ PARKING

Rock-N-Taco
3247 Roswell Road
Atlanta, Georgia 30305

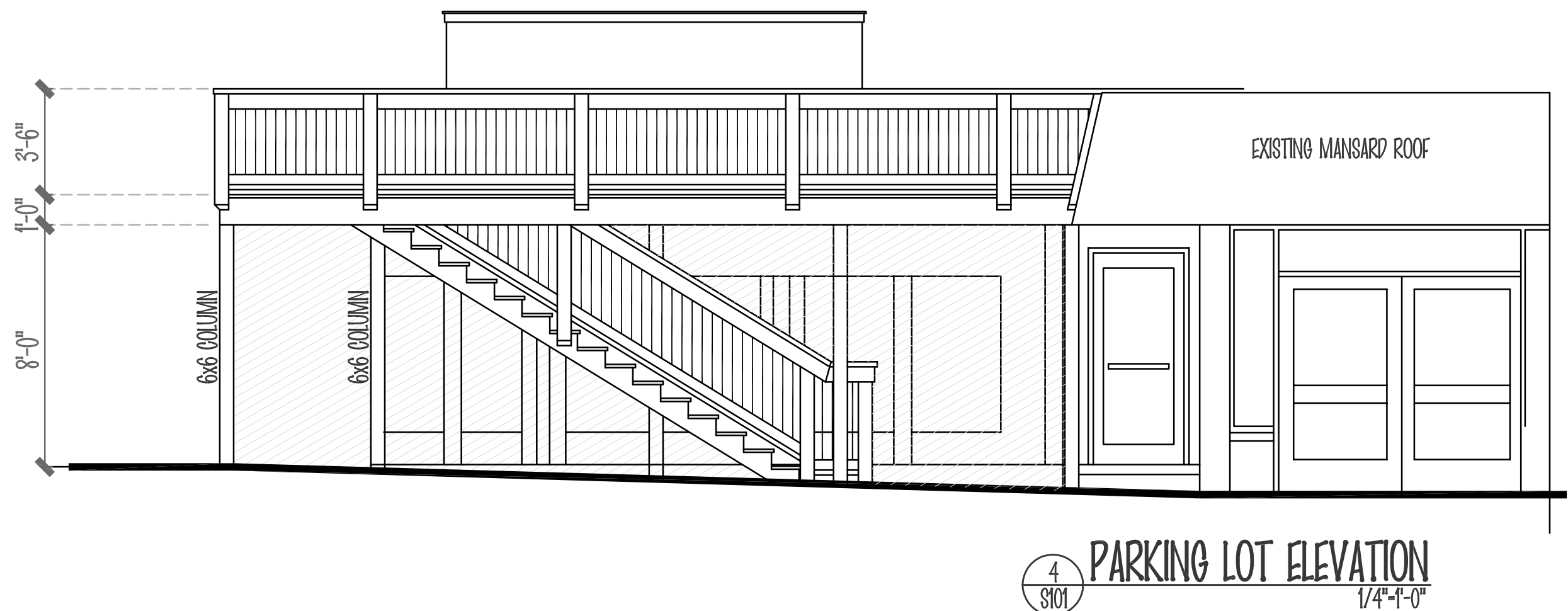
SEAL

SEAL

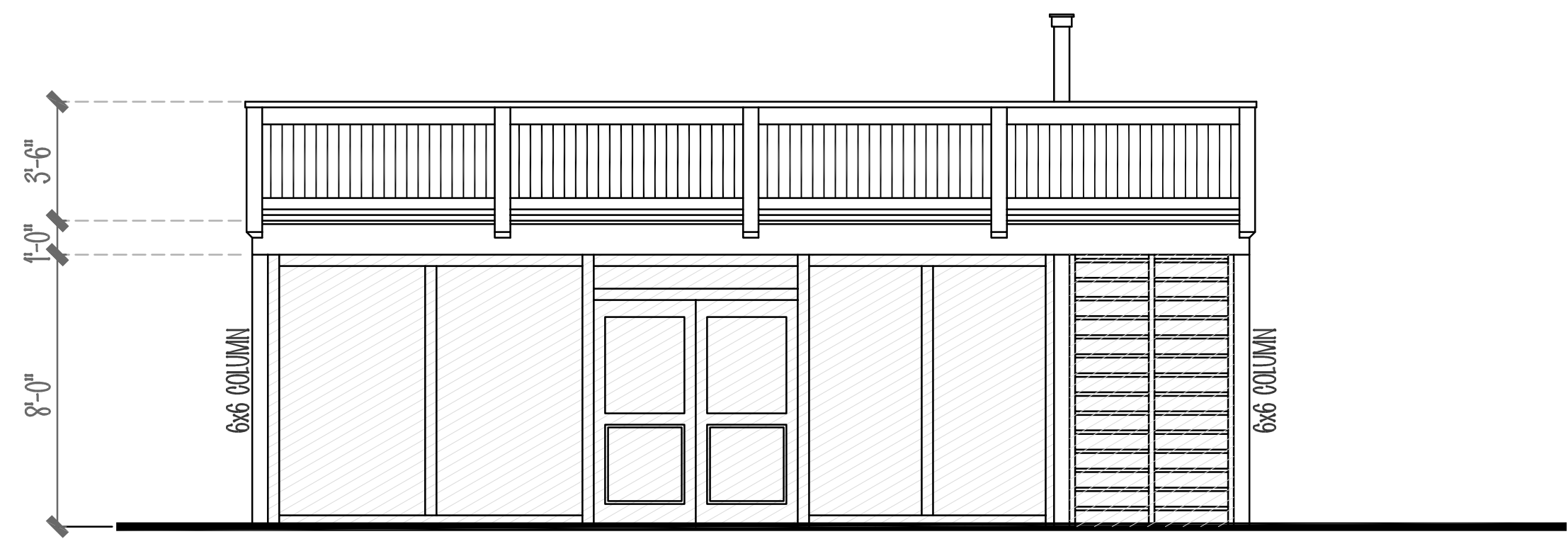


06 MAY 2014
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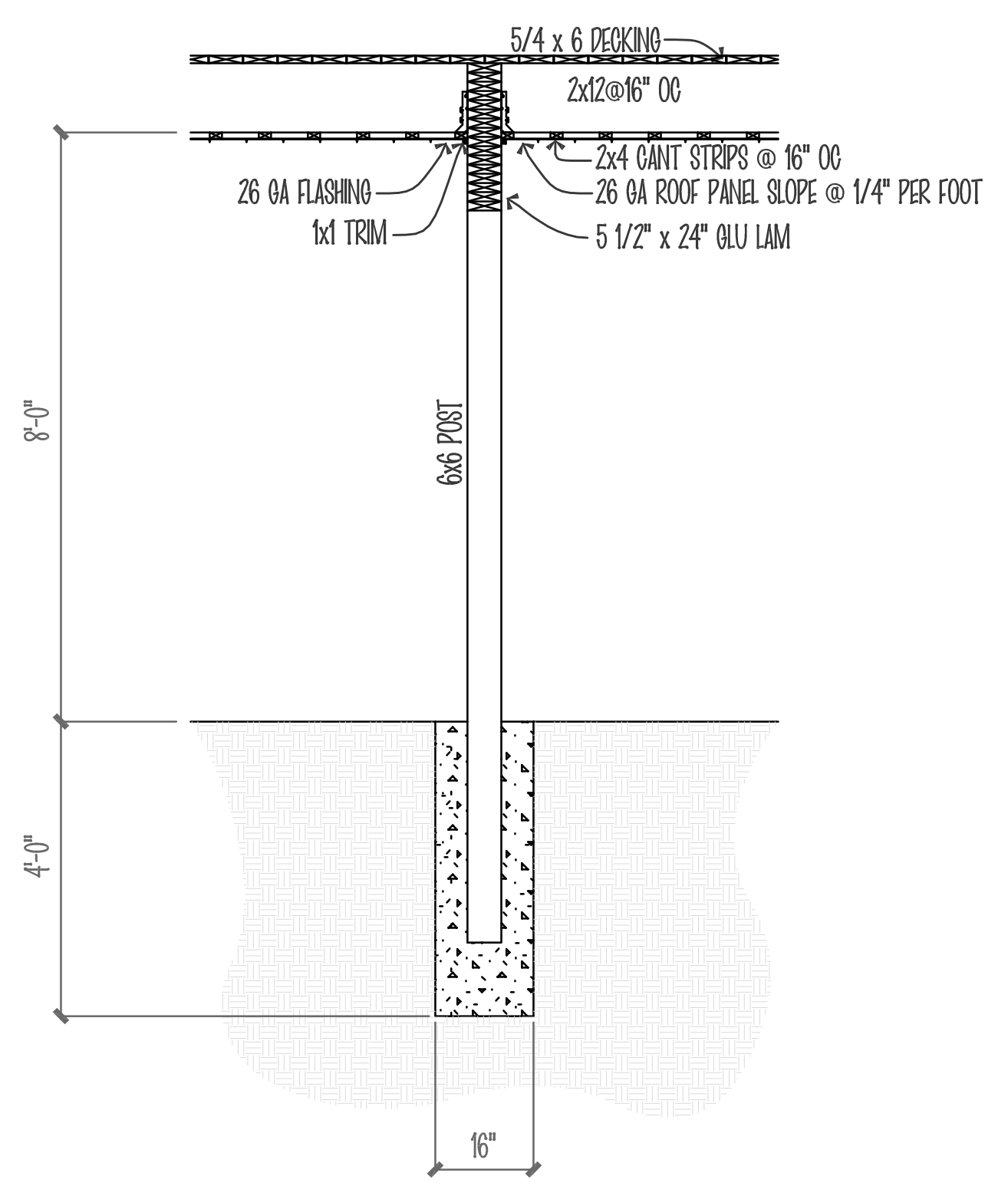
C101



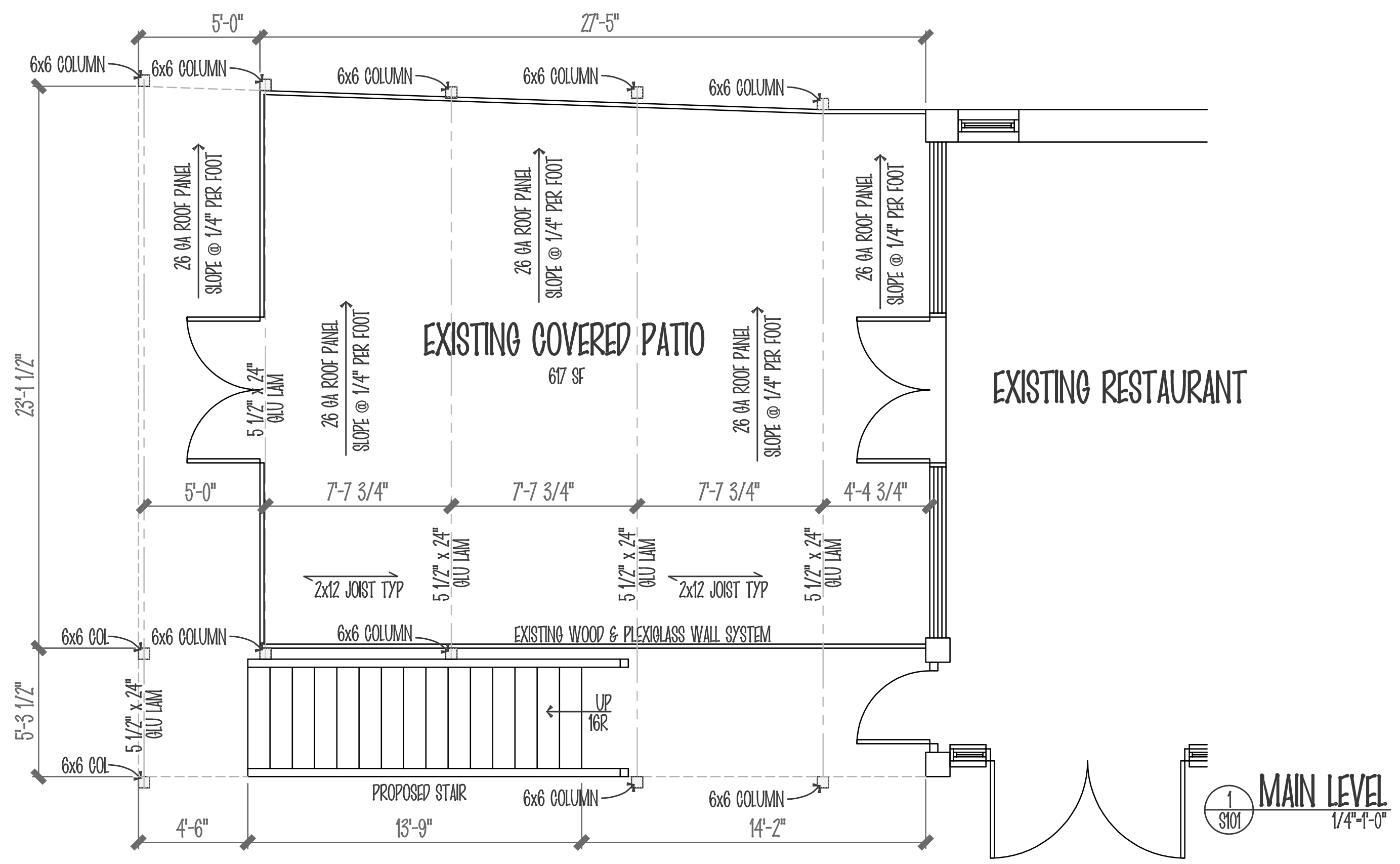
4 PARKING LOT ELEVATION
1/4"=1'-0"



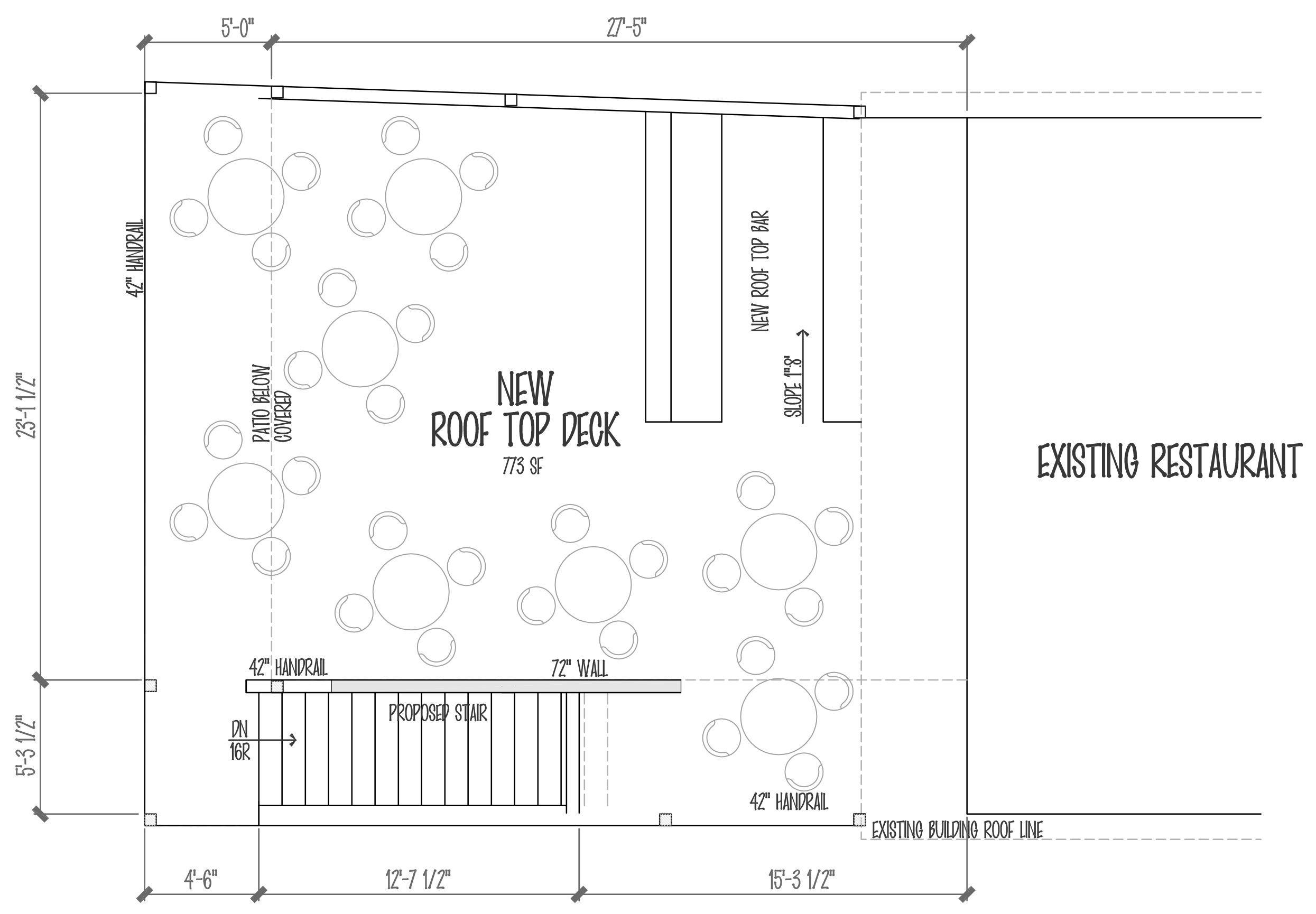
3 ROSWELL ROAD ELEVATION
1/4"=1'-0"



5 TYPICAL BEAM/COLUMN CONDITION
1/2"=1'-0"



1 MAIN LEVEL
1/4"=1'-0"



2 DECK LEVEL
1/4"=1'-0"

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PATIO/DECK RENOVATION
Rock-N-Taco
3247 Roswell Road
Atlanta, Georgia 30305

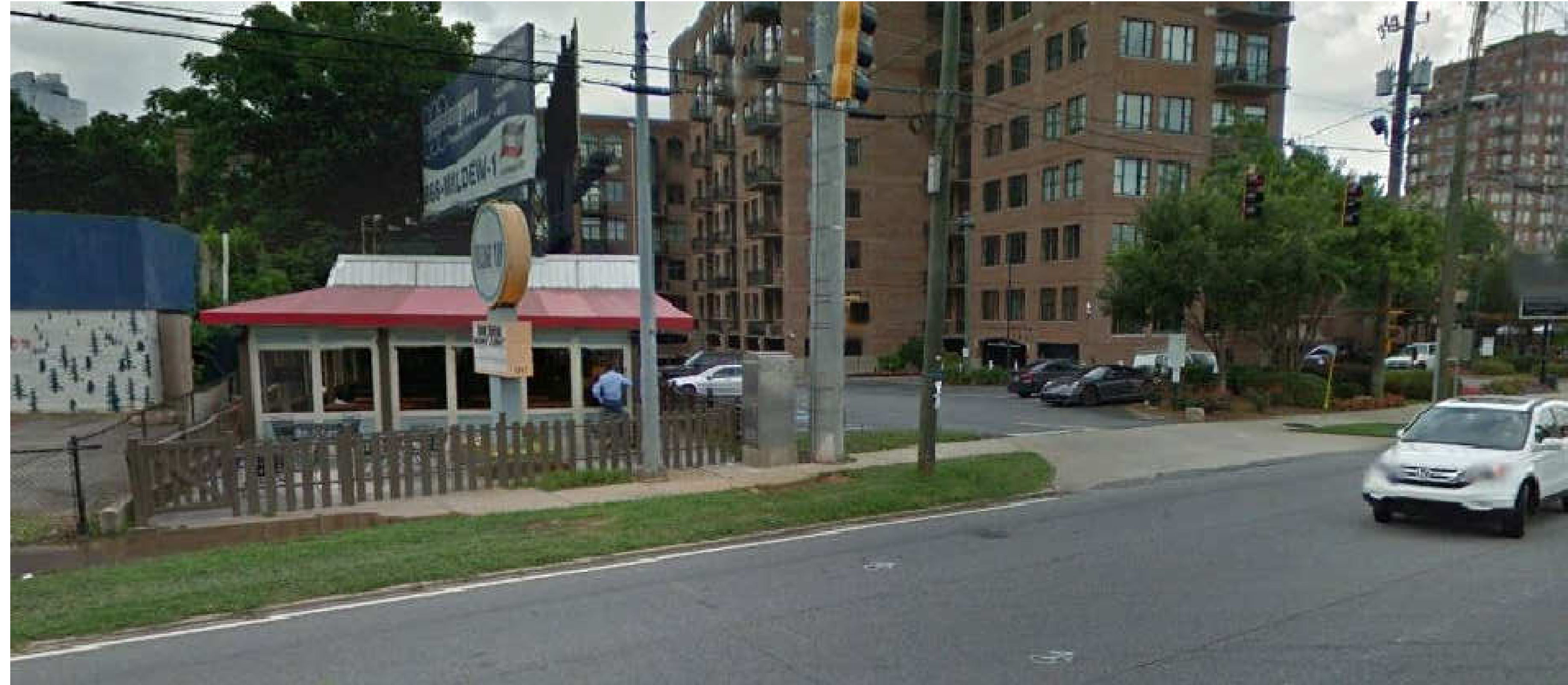
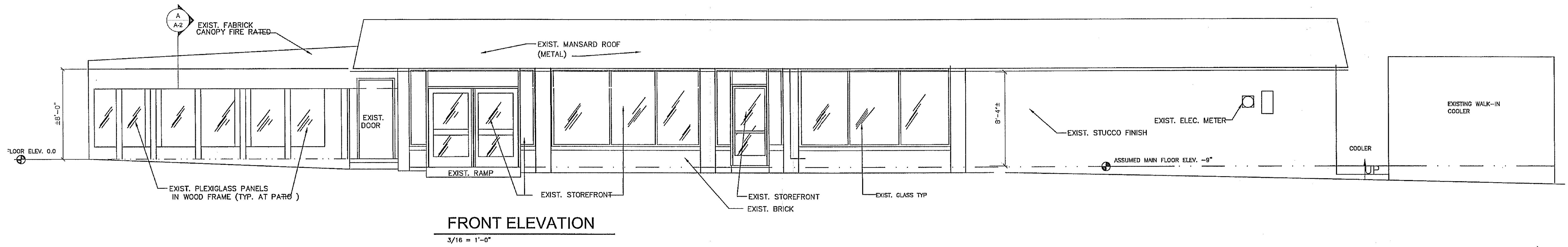
SEAL

SEAL
GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 14437
W. PROCTOR

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S101



STREET ELEVATION
NTS

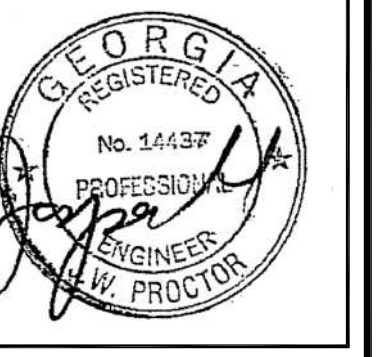
acme american llc
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EXISTING ELEVATIONS

Rock-N-Taco
3247 Roswell Road
Atlanta, Georgia 30305

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