



550 PHARR ROAD
ATLANTA, GEORGIA

0' 8' 16' 32' 64'

3/32" = 1'-0"

PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

XXX

COE ARCHITECTURE
INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

STATE OF GEORGIA
CHRISTOPHER COE
EXP. 6/30/2013
REGISTERED ARCHITECT

ARCHITECT/ENGINEER SEAL

The drawings and specifications, plans, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual content with these drawings or specifications shall constitute evidence of acceptance of these specifications.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office shall be notified of any variation from the dimensions and conditions shown by these drawings. Such details must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2012

KEY PLAN

NO.

DATE

ISSUED FOR

BY

01

11/06/12

SPECIAL ADMINISTRATIVE PERMIT

BASE FILE NAMES

DRAWN BY

CHECKED BY

SCALE

DATE

PROJECT NO.

DL

CC

3/32"=1'-0"

10/30/12

COVER SHEET

SHEET NO.

PROJECT INFORMATION

UNIT SUMMARY					
LEVEL	STUDIO	1BR	2BR	5BR	TOTAL
1	8	2	N/A	N/A	10
2	11	6	N/A	N/A	17
3	11	6	N/A	N/A	17
4	7	6	2	N/A	15
5	7	6	2	N/A	15
6	9	6	N/A	N/A	15
7	N/A	3	2	N/A	5
8	N/A	N/A	5	N/A	5
9	N/A	N/A	N/A	1	1
TOTAL	53	35	11	1	100

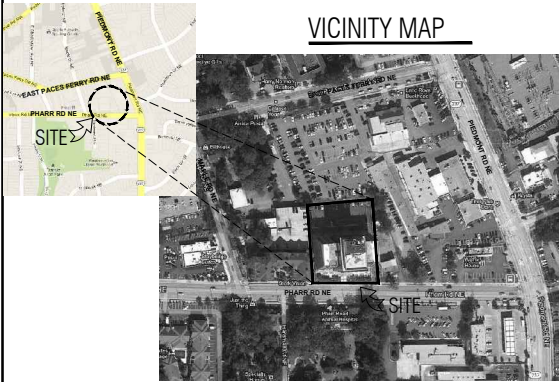
UNIT AREA SUMMARY					
LEVEL	STUDIO	1BR	2BR	5BR	TOTAL
1	5,703 SF	1,672 SF	N/A	N/A	7,375 SF
2	9,138 SF	4,520 SF	N/A	N/A	13,658 SF
3	8,989 SF	4,404 SF	N/A	N/A	13,393 SF
4	5,042 SF	4,174 SF	1,974 SF	N/A	11,190 SF
5	5,796 SF	4,108 SF	1,772 SF	N/A	11,676 SF
6	6,817 SF	4,428 SF	N/A	N/A	11,245 SF
7	N/A	1,776 SF	3,611 SF	N/A	5,387 SF
8	N/A	N/A	5,974 SF	N/A	5,974 SF
9	N/A	N/A	N/A	3,940 SF	3,940 SF
TOTAL	41,485 SF	25,082 SF	13,331 SF	3,940 SF	83,838 SF

FLOOR AREA	
LEVEL 1:	14,603 SF
LEVEL 2:	17,211 SF
LEVEL 3:	17,559 SF
LEVEL 4:	16,920 SF
LEVEL 5:	16,294 SF
LEVEL 6:	15,646 SF
LEVEL 7:	7,559 SF
LEVEL 8:	7,559 SF
LEVEL 9:	4,781 SF
TOTAL:	118,132 SF

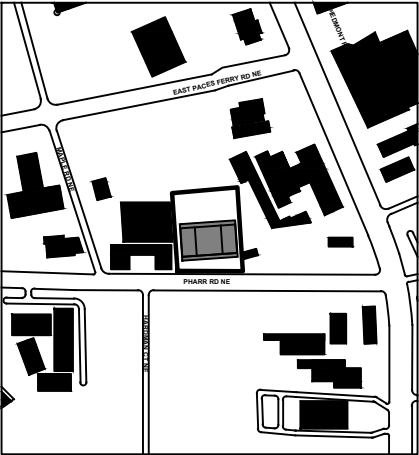
PROJECT DATA

APN: 1700610010101
SITE AREA: 1.13 ACRES
ZONING: SPI-9 SA-3
NEIGHBORHOOD: BUCKHEAD VILLAGE

PROJECT SITE MAP



CONTEXT MAP



SHEET INDEX

ARCHITECTURAL

- G001 PROJECT DATA
- A101 PROPOSED & EXISTING 1ST FLOOR PLAN
A102 ARCHITECTURAL SITE / GROUND FLOOR PLAN
A103 2ND & 3RD FLOOR PLAN
A104 4TH & 5TH FLOOR PLAN
A105 6TH & 7TH FLOOR PLAN
A106 8TH & 9TH FLOOR PLAN
- A301 EXISTING & PROPOSED BUILDING SECTIONS
A311 PROPOSED BUILDING ELEVATIONS - COLOR
A312 EXISTING & PROPOSED BUILDING ELEVATIONS
A313 EXISTING & PROPOSED BUILDING ELEVATIONS
- A451 EXISTING & PROPOSED 3D VIEWS

LANDSCAPE

- L-1.01 LANDSCAPE CONCEPT PLAN
L-1.02 ROOF DECK LANDSCAPE CONCEPT PLAN

CIVIL

- SAP1.0 SPECIAL ADMINISTRATIVE PERMIT PLAN
SAP2.0 SURVEY

PROJECT DIRECTORY

OWNER

LYON COMMUNITIES
4901 BIRCH STREET
NEWPORT BEACH, CA 92660
TEL: 949.252.9101 FAX: 949.252.9202
EMAIL: peterzak@lyon1.com
CONTACT: PETER ZAK

ARCHITECT

COE ARCHITECTURE INTERNATIONAL
5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
TEL: 310.842.8481 MOBILE 213.458.6332
EMAIL: coe@coearchitecture.com
CONTACT: CHRISTOPHER COE, FAIA

CIVIL ENGINEER

EBERLY & ASSOCIATES, INC.
1825 CENTURY PLACE, SUITE 202
ATLANTA, GA 30345
TEL: 770.452.4730 X112
EMAIL: kedwards@eberly.net
CONTACT: KEVIN S. EDWARDS, PE

LANDSCAPE ARCHITECT

DUANE BORDER DESIGN
12524 CULVER BOULEVARD, SUITE 12
LOS ANGELES, CA 90066
TEL: 310.701.8460
EMAIL: duane@duaneborder.com
CONTACT: DUANE BORDER, ASLA

PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

COE ARCHITECTURE INTERNATIONAL
5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

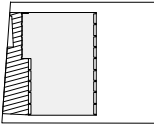


ARCHITECT/ENGINEER SEAL

The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Your contact with these drawings or specifications shall constitute evidence of acceptance of these conditions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office shall not be notified of any violation from the dimensions and conditions shown by these drawings. Your details must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2012



KEY PLAN

NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

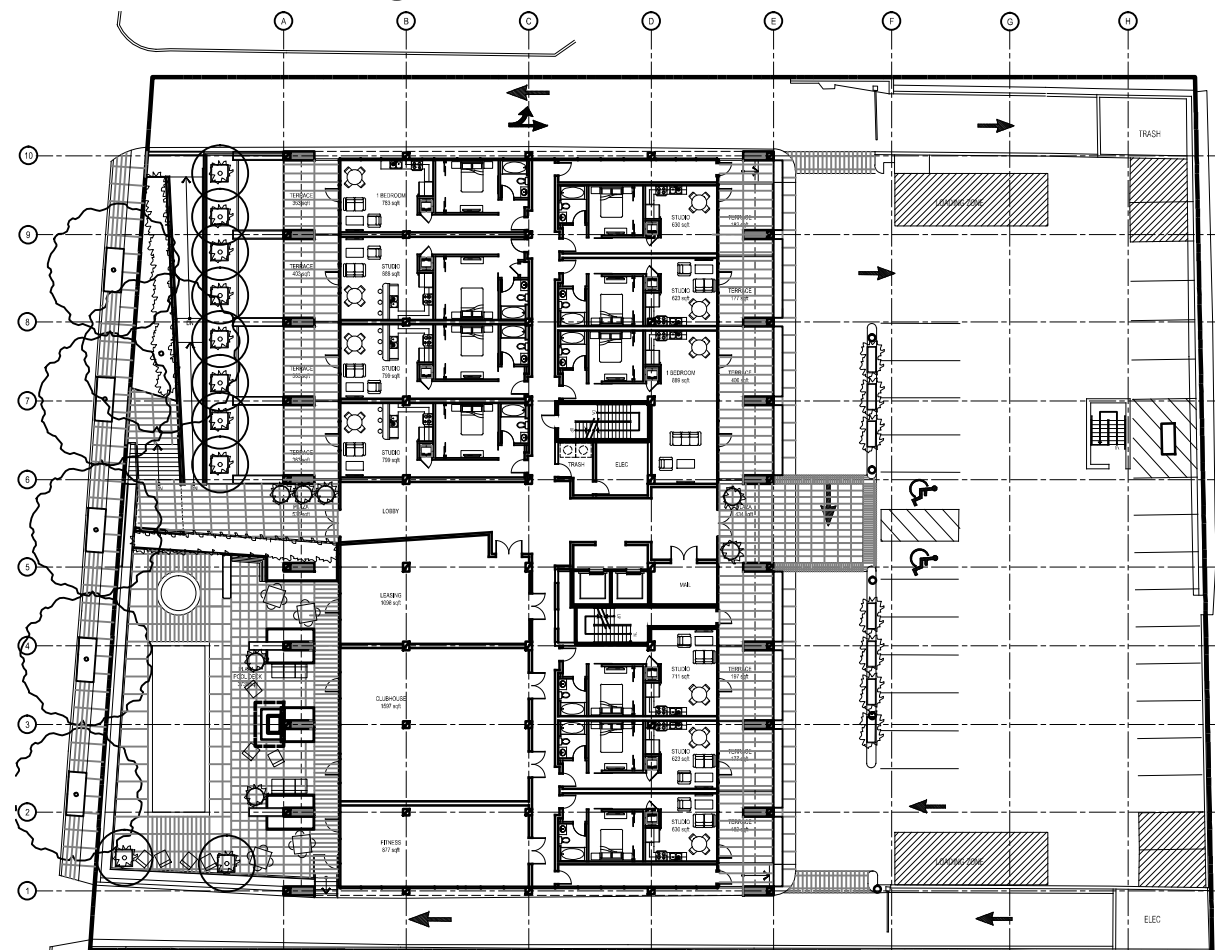
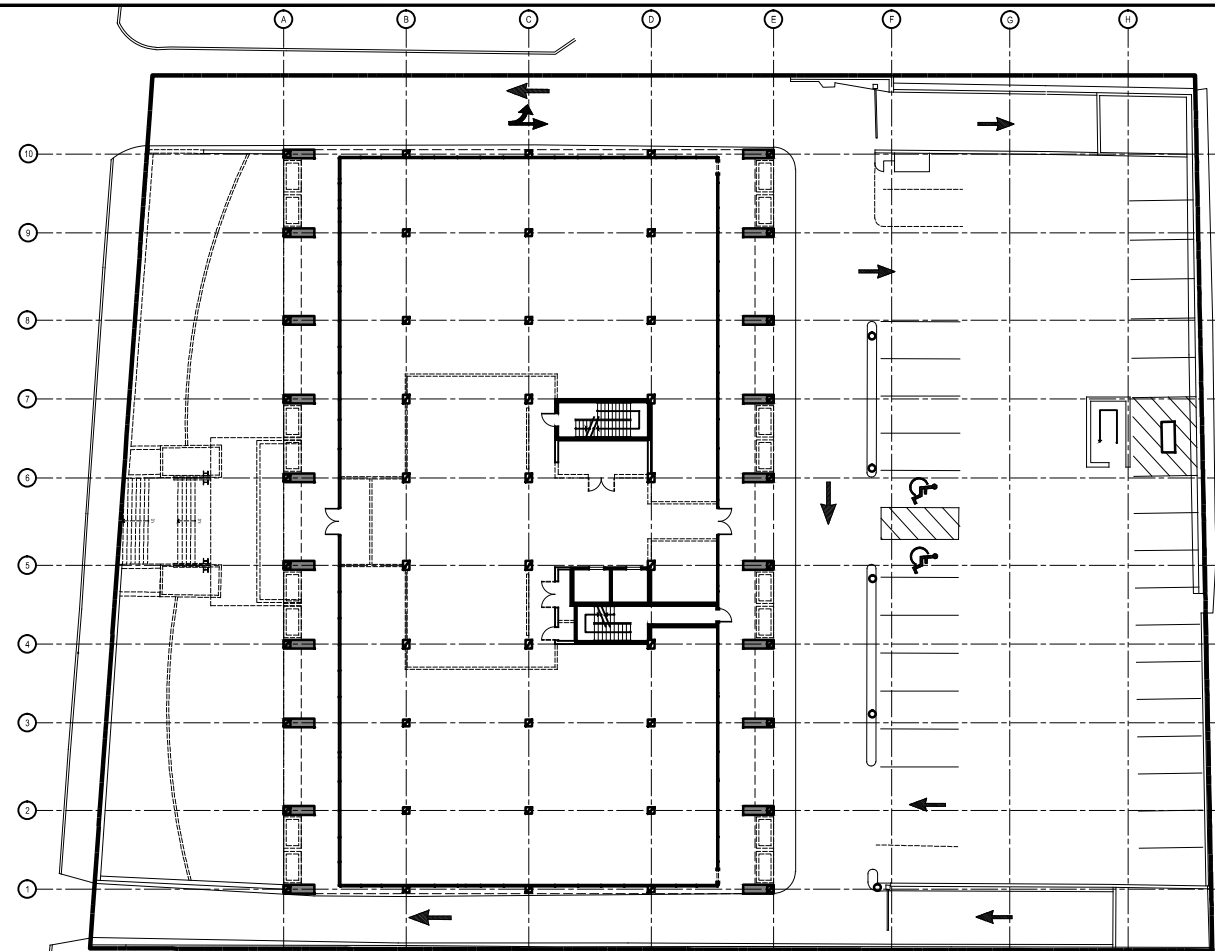
BASE FILE NAMES

DRAWN BY _____
CHECKED BY _____
SCALE _____
DATE _____
PROJECT NO. _____

SHEET INDEX
PROJECT DIRECTORY
PROJECT DATA

G001

SHEET NO.



PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

COE ARCHITECTURE
INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

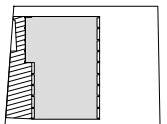


ARCHITECT/ENGINEER SEAL

The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2012



KEY PLAN

NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES

DRAWN BY _____ DL

CHECKED BY _____ CC _____

SCALE $1/16"=1'-0"$

DATE _____

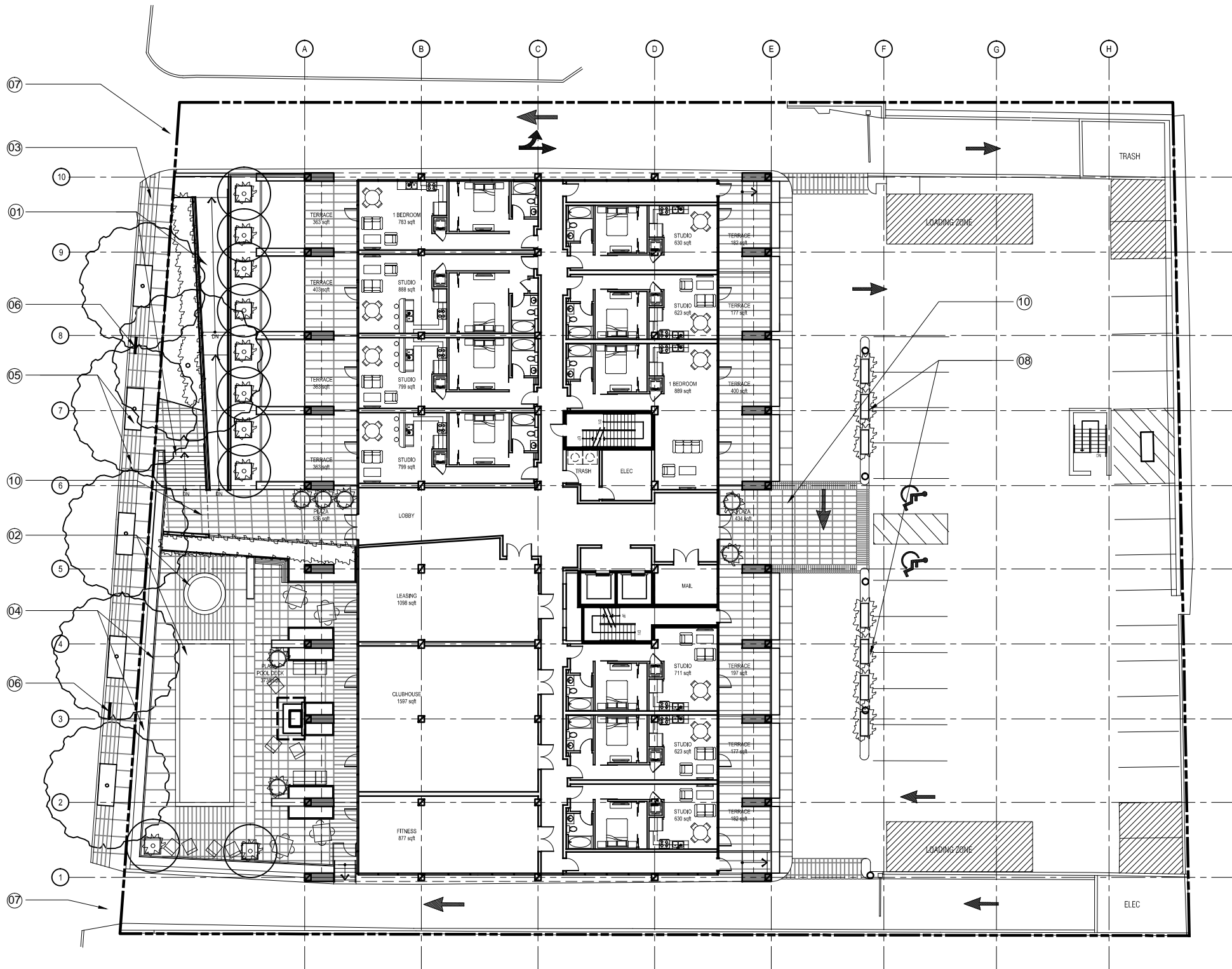
PROJECT NO. _____

EXISTING AND PROPOSED SITE PLAN

SHEET NO.



A101



KEYNOTES

- 01 NEW CONC. RAMP & STEPS
- 02 NEW POOL & SPA
- 03 NEW DECORATIVE CONC. PAVING
- 04 NEW PLANTER & GLASS GUARDRAIL
- 05 NEW STREET TREE & WELL
- 06 NEW BICYCLE RACKS
- 07 EXISTING VEHICLE CURB-CUT & DRIVEWAY
- 08 NEW PLANTERS
- 09 NEW DECORATIVE PAVING

PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

COE ARCHITECTURE
INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

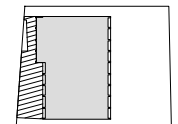


ARCHITECT/ENGINEER SEAL

The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these revisions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office shall be notified of any variation from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2012



KEY PLAN

NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES

DRAWN BY _____ DL

CHECKED BY _____ CC

SCALE 3/32"=1'-0"

DATE _____

PROJECT NO. _____

ARCHITECTURAL
SITE PLAN /
GROUND FLOOR
PLAN

A102

SHEET NO.

1 ARCHITECTURAL SITE PLAN / GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"

0' 8' 16' 32' 64'
SCALE: 3/32" = 1'-0"





Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.



KEY PLAN

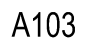
NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

SCALE _____

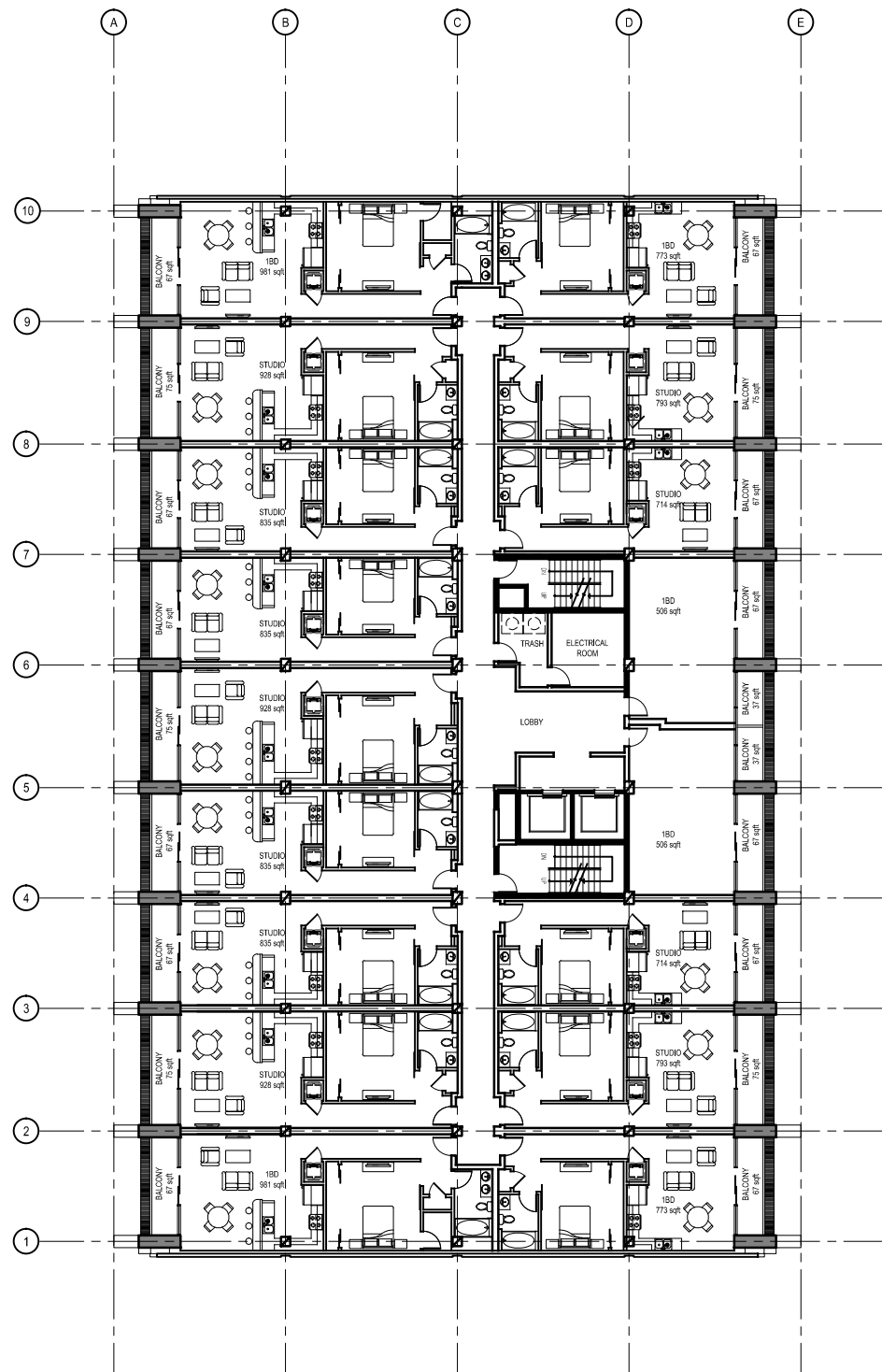
DATE 10/30/12

PROJECT NO.

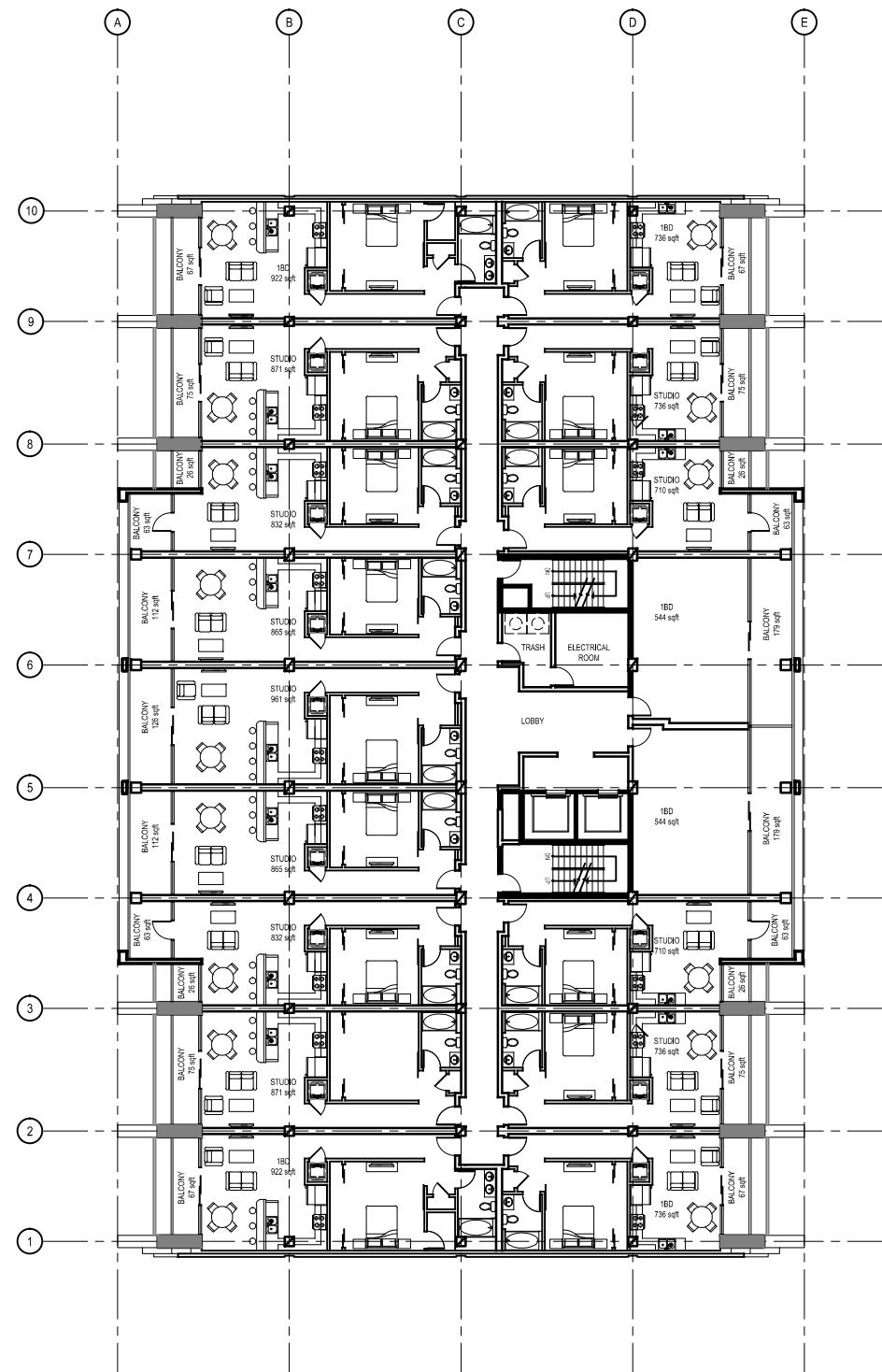
2ND & 3RD FLOOR PLAN



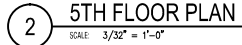
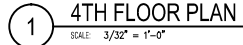
SHEET NO.

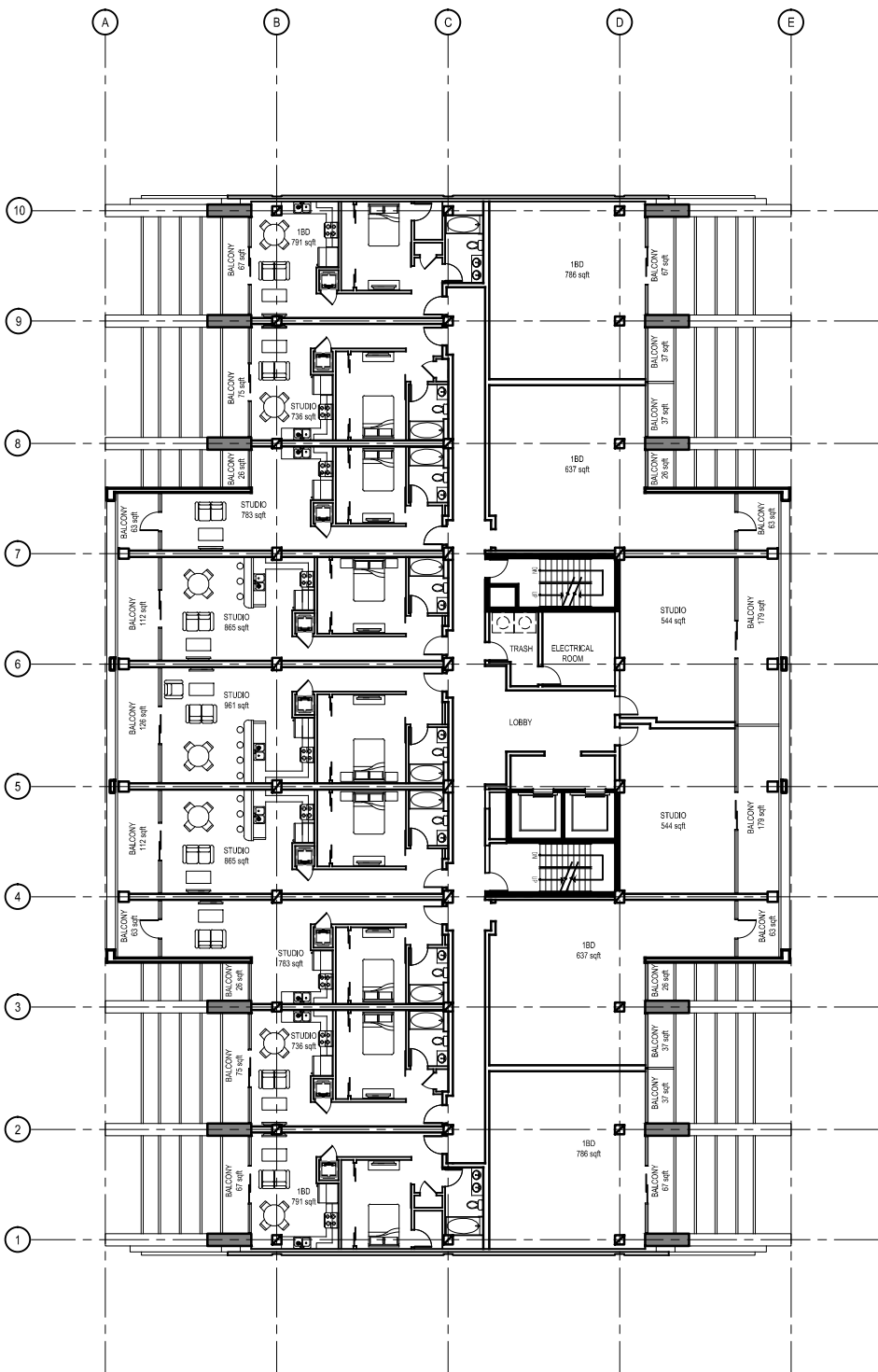


1 2ND FLOOR PLAN
SCALE: $3/32" = 1'-0"$

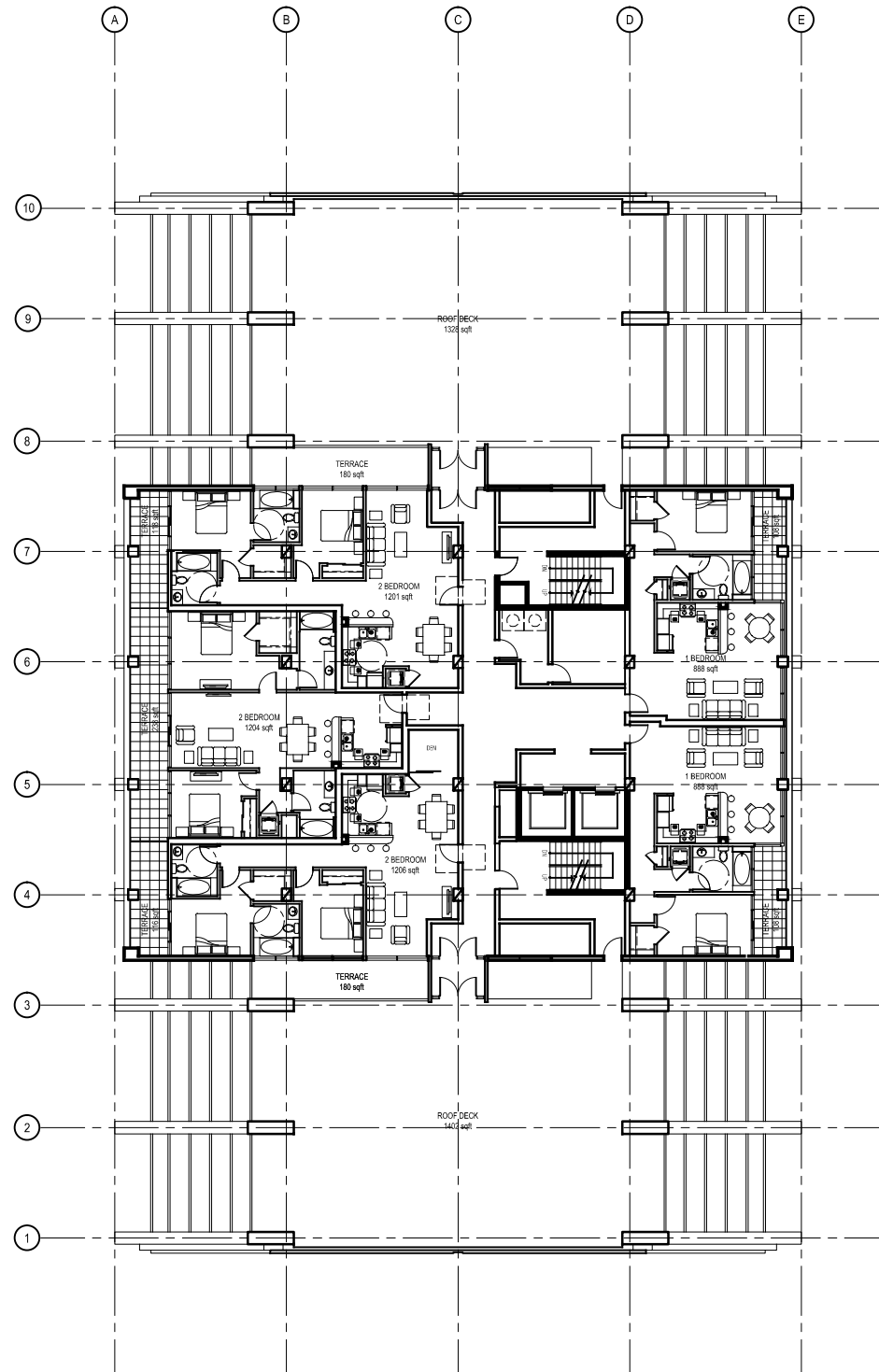


2 3RD FLOOR PLAN
SCALE: $3/32" = 1'-0"$





1 6TH FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 7TH FLOOR PLAN
SCALE: 3/32" = 1'-0"



PROJECT
550 Pharr
550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT
COE ARCHITECTURE INTERNATIONAL
5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

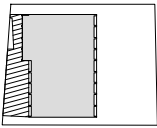
OWNER
LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT



ARCHITECT/ENGINEER SEAL
The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these modifications.
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown on these drawings. Your article must be submitted to this office for approval before proceeding with fabrication.
© COE Architecture International 2012



KEY PLAN

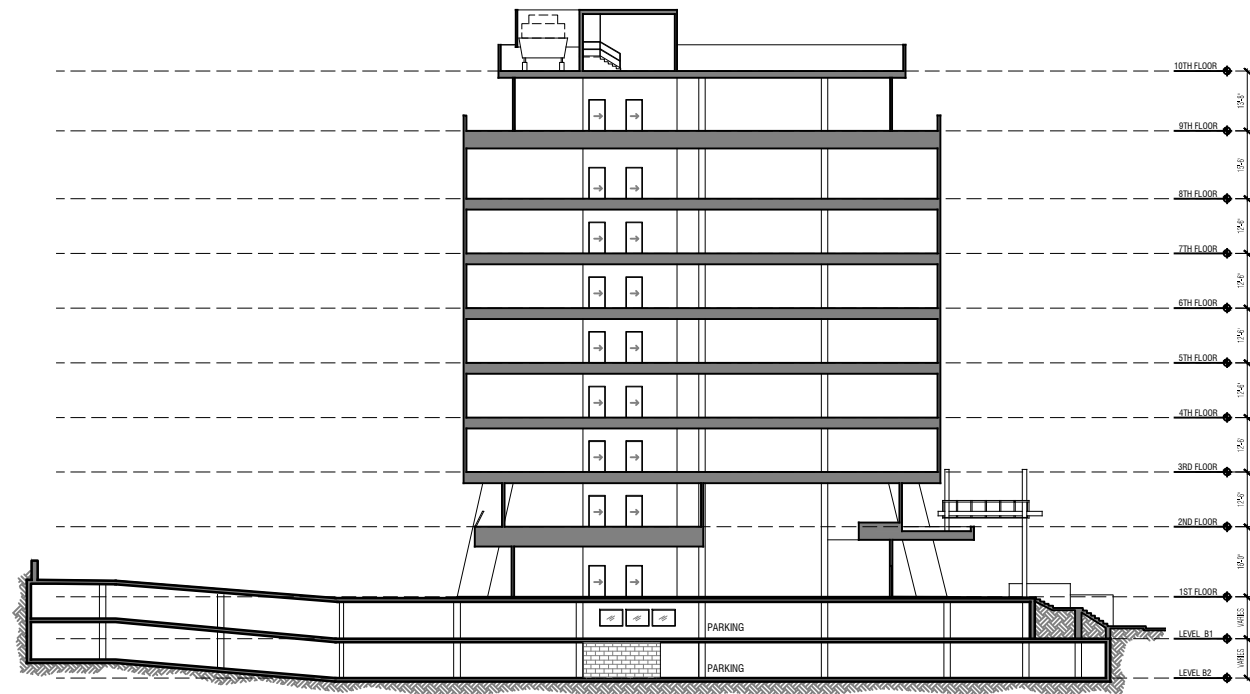
NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES
DRAWN BY _____ DL
CHECKED BY _____ CC
SCALE _____
DATE _____ 10/30/12
PROJECT NO. _____

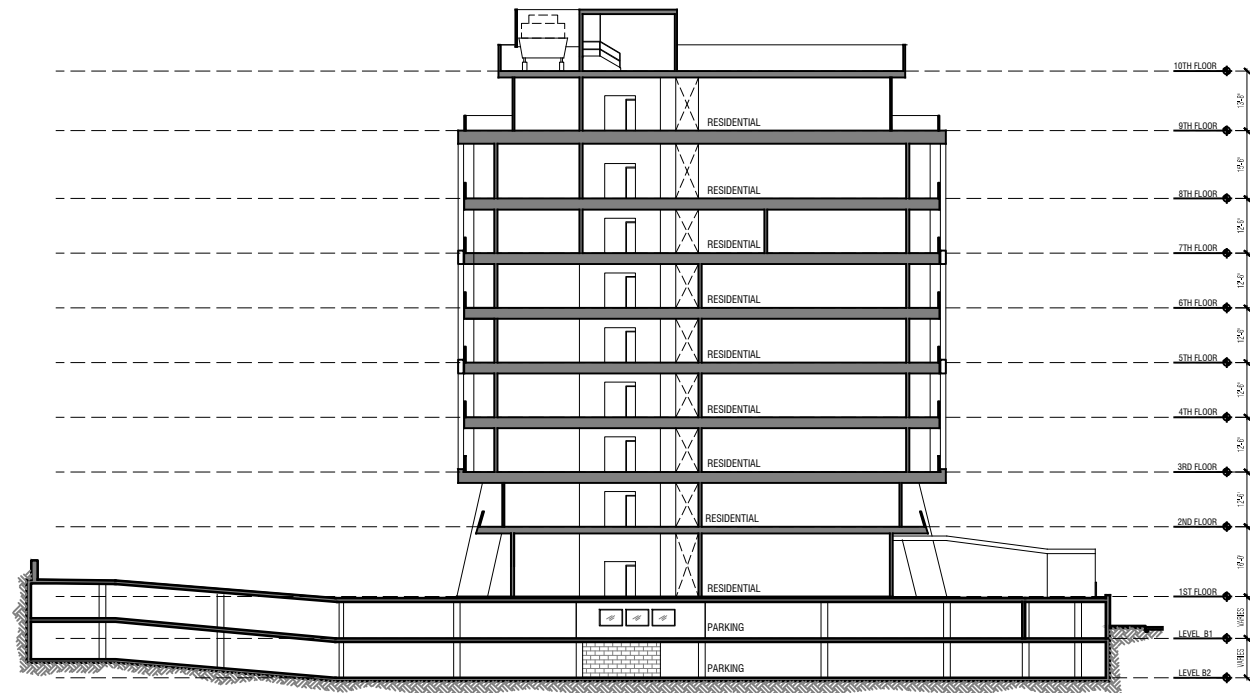
6TH & 7TH FLOOR PLAN

A105

SHEET NO.



1 EXISTING BUILDING SECTION
SCALE: 1/16" = 1'-0"



2 PROPOSED BUILDING SECTION
SCALE: 1/16" = 1'-0"

PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

COE ARCHITECTURE
INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

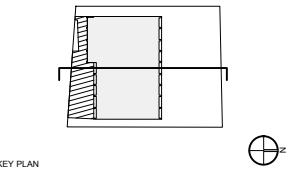
CONSULTANT

ARCHITECT/ENGINEER SEAL

The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office shall be notified of any variation from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2012



NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES

DRAWN BY _____ DL

CHECKED BY _____ CC

SCALE _____

DATE _____ 10/30/12

PROJECT NO. _____

EXISTING & PROPOSED
BUILDING SECTIONS

A301

SHEET NO.



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



3 EAST ELEVATION (WEST SIM.)
SCALE: 1/16" = 1'-0"

PROJECT
550 Pharr
550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT
COE ARCHITECTURE
INTERNATIONAL
5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

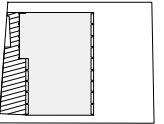
OWNER
LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT



ARCHITECT/ENGINEER SEAL
The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual content with these drawings or specifications shall constitute evidence of acceptance of these conditions.
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office shall be notified of any variation from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.
© COE Architecture International 2012



KEY PLAN

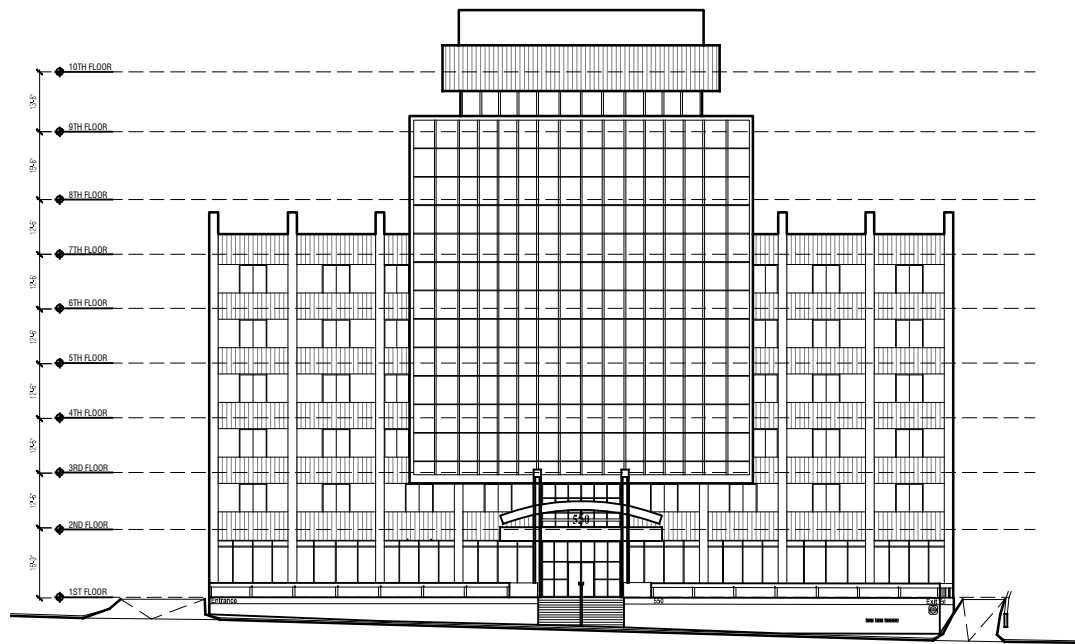
NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES
DRAWN BY _____ DL
CHECKED BY _____ CC
SCALE _____
DATE _____ 10/30/12
PROJECT NO. _____

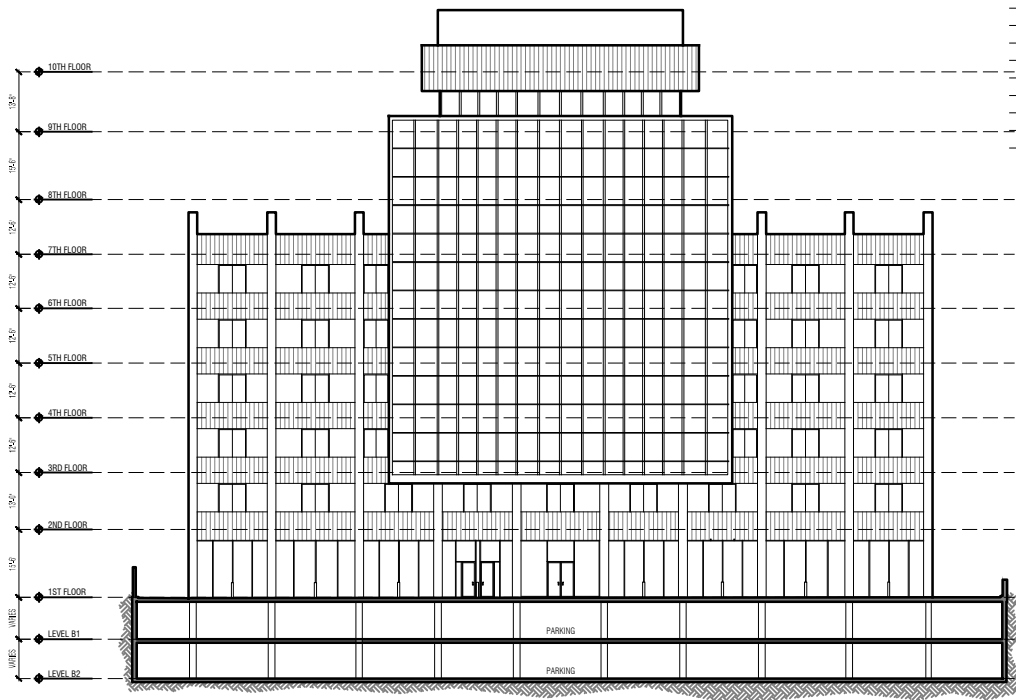
BUILDING ELEVATIONS

A311

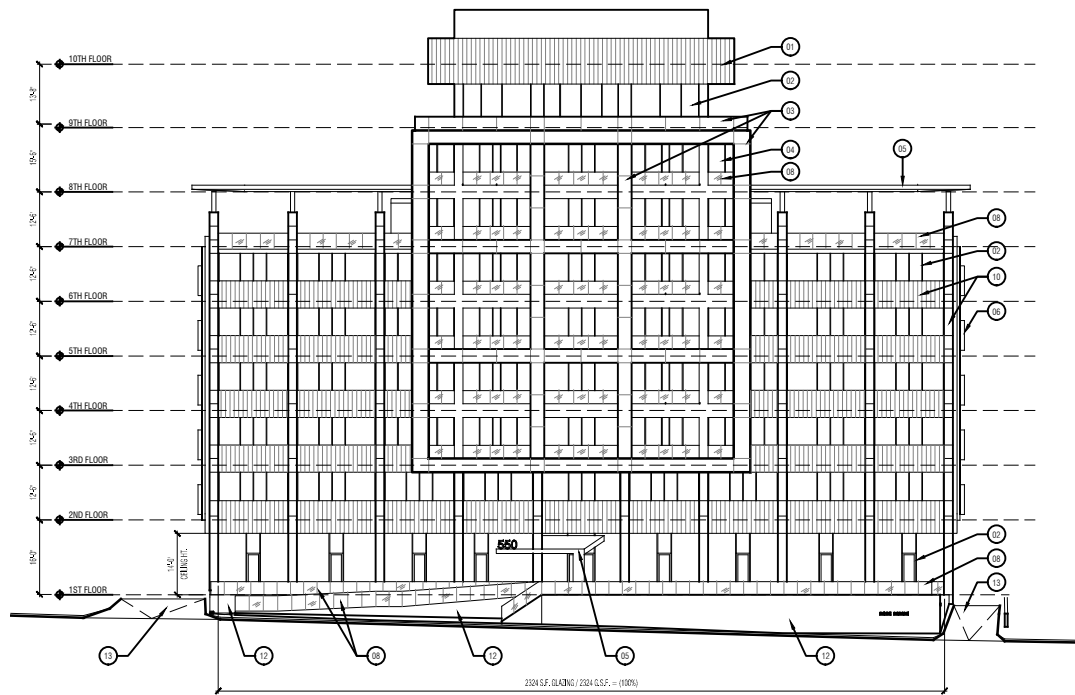
SHEET NO.



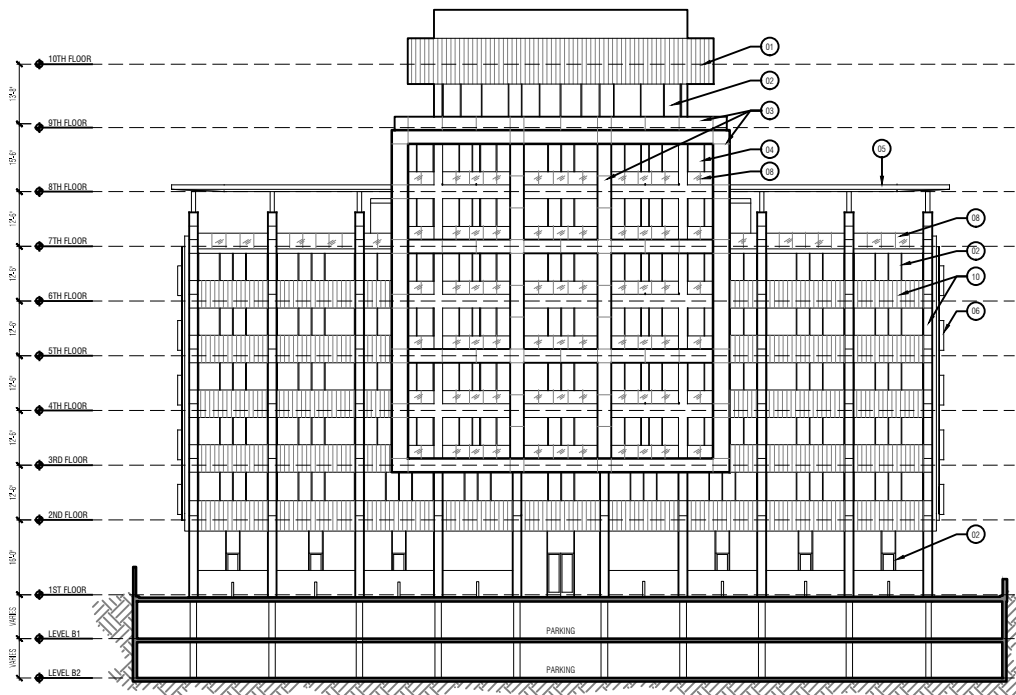
1 EXISTING SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/16" = 1'-0"



3 PROPOSED SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 PROPOSED NORTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

- 01 EXISTING METAL WALL PANELS
- 02 EXISTING ALUM. STOREFRONT - REGLAZED, SEALED, & PAINTED
- 03 NEW METAL WALL PANELS
- 04 NEW ALUM. WINDOW WALL SYSTEM
- 05 NEW METAL CANOPY & STRUCTURE
- 06 NEW ALUM. WINDOWS CUT INTO EXIST. PRE-CAST CONC. WALL CLADDING
- 07 EXISTING CONC. WALL - PAINTED
- 08 NEW GLASS GUARDRAIL
- 09 NEW CONC. RAMP & STEPS
- 10 EXISTING CONC. COLUMN - PAINTED
- 11 EXISTING PRE-CAST CONC. WALL CLADDING - PAINTED
- 12 EXISTING CONC. WALL W/ NEW PLASTER FINISH - PAINTED
- 13 EXISTING VEHICLE RAMP - NEW PAVING

PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

XXX

COE ARCHITECTURE
INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

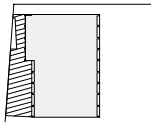


ARCHITECT/ENGINEER SEAL

The drawings and specifications, taken, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these conditions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office shall be notified of any variation from the dimensions and conditions shown by these drawings. Your article must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2012



KEY PLAN

NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES

DRAWN BY DL

CHECKED BY CC

SCALE

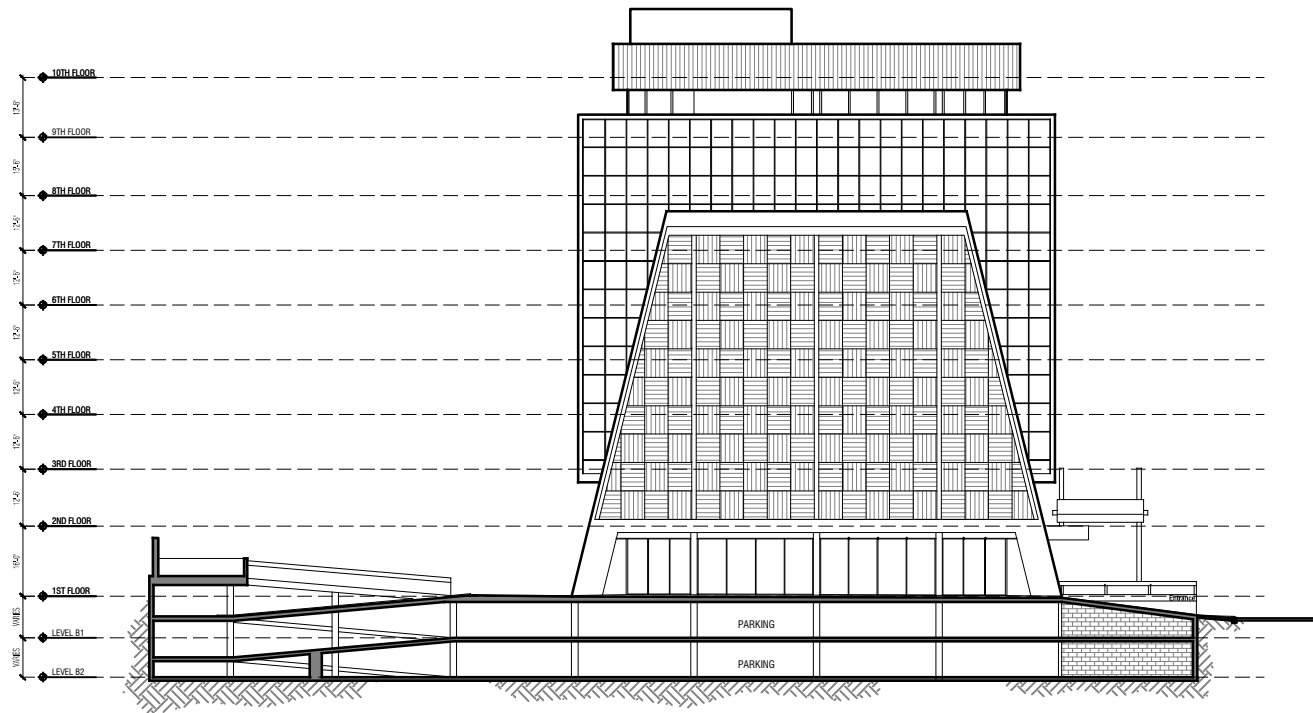
DATE 10/30/12

PROJECT NO.

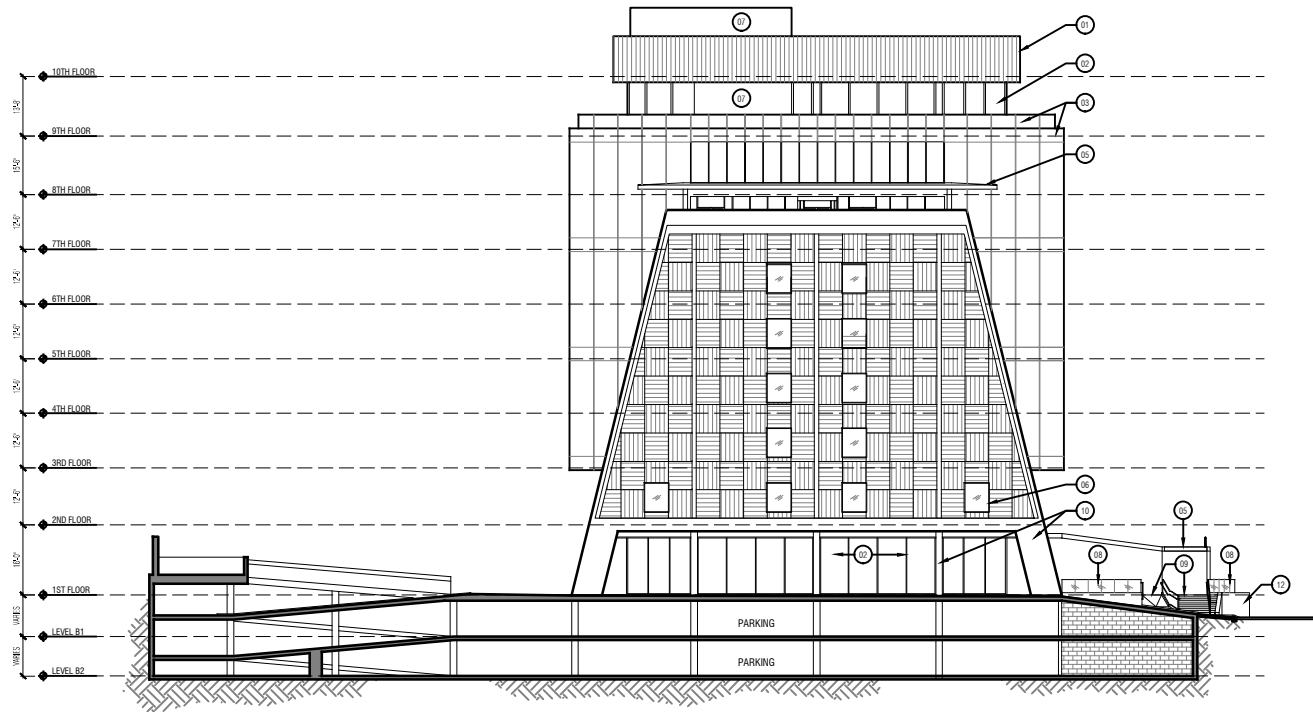
EXISTING & PROPOSED
BUILDING ELEVATIONS

A312

SHEET NO.



1 EXISTING WEST ELEVATION (EAST SIM.)
SCALE: 1/16" = 1'-0"



2 PROPOSED WEST ELEVATION (EAST SIM.)
SCALE: 1/16" = 1'-0"

KEYNOTES

- 01 EXISTING METAL WALL PANELS
- 02 EXISTING ALUM. STOREFRONT - REGLAZED, SEALED, & PAINTED
- 03 NEW METAL WALL PANELS
- 04 NEW ALUM. WINDOW WALL SYSTEM
- 05 NEW METAL CANOPY & STRUCTURE
- 06 NEW ALUM. WINDOWS CUT INTO EXIST. PRE-CAST CONC. WALL CLADDING
- 07 EXISTING CONC. WALL - PAINTED
- 08 NEW GLASS GUARDRAIL
- 09 NEW CONC. RAMP & STEPS
- 10 EXISTING CONC. COLUMN - PAINTED
- 11 EXISTING PRE-CAST CONC. WALL CLADDING - PAINTED
- 12 EXISTING CONC. WALL W/ NEW PLASTER FINISH - PAINTED
- 13 EXISTING VEHICLE RAMP - NEW PAVING

PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

XXX

COE ARCHITECTURE
INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

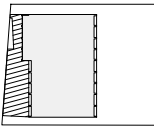


ARCHITECT/ENGINEER SEAL

The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office shall be notified of any variation from the dimensions and conditions shown by these drawings. Such details must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2012



KEY PLAN

NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES

DRAWN BY _____ DL

CHECKED BY _____ CC

SCALE _____

DATE _____ 10/30/12

PROJECT NO. _____

EXISTING & PROPOSED
BUILDING ELEVATIONS

A313

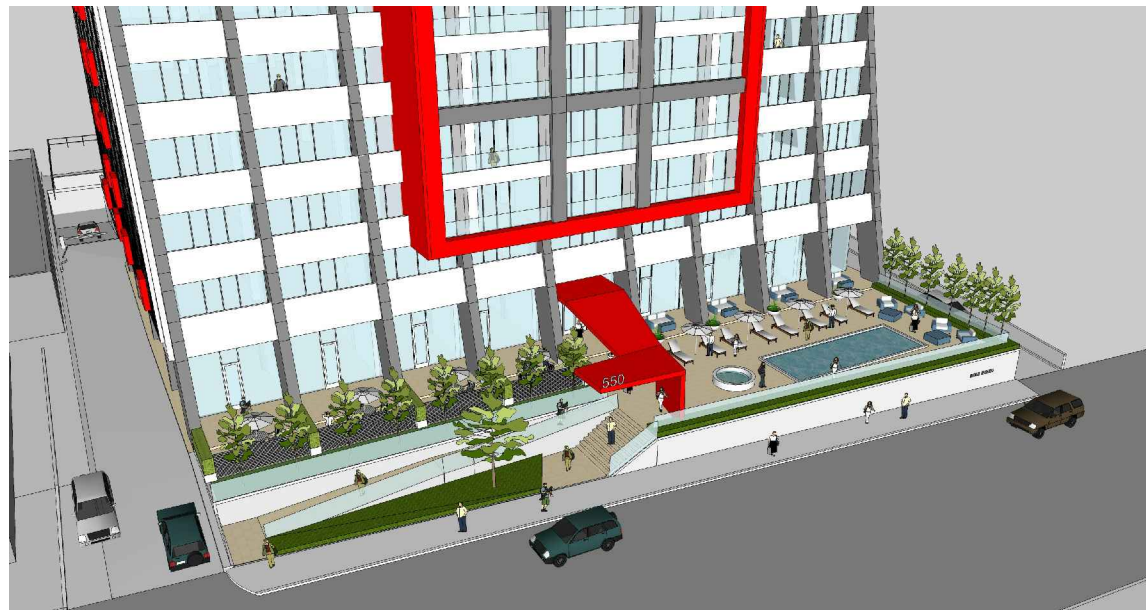
SHEET NO.



1 EXISTING BUILDING AERIAL VIEW - SOUTH PODIUM LOOKING NE
SCALE:



2 EXISTING BUILDING AERIAL VIEW - SOUTH PODIUM LOOKING NW
SCALE:



3 PROPOSED BUILDING AERIAL VIEW - SOUTH PODIUM LOOKING NE
SCALE:



2 PROPOSED BUILDING AERIAL VIEW - SOUTH PODIUM LOOKING NW

PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

COE ARCHITECTURE
INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT

4901 Birch Street
Newport Beach, CA 92660

Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

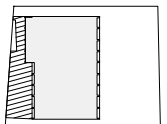


ARCHITECT/ENGINEER SEAL

The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Written consent shall be given only for the drawings or specifications that constitute evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over stated dimensions. The architect shall verify and be responsible for the dimensions and conditions of the job and this office must be notified of any variation from the dimensions and conditions shown by the drawings. Such notice must be submitted to this office immediately before proceeding with fabrication.

© COE Architecture International 2012



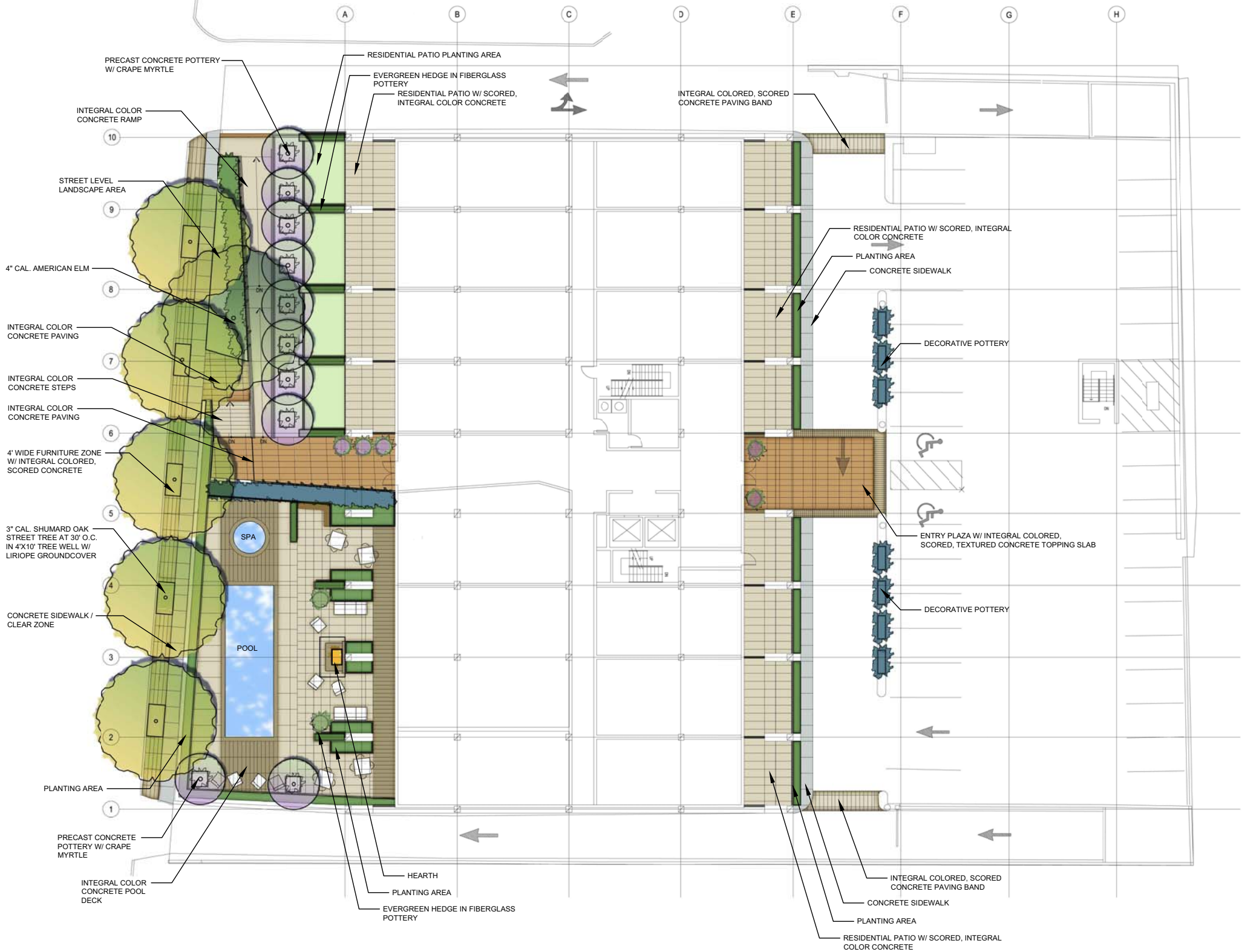
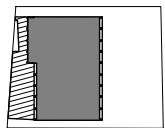
NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

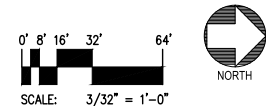
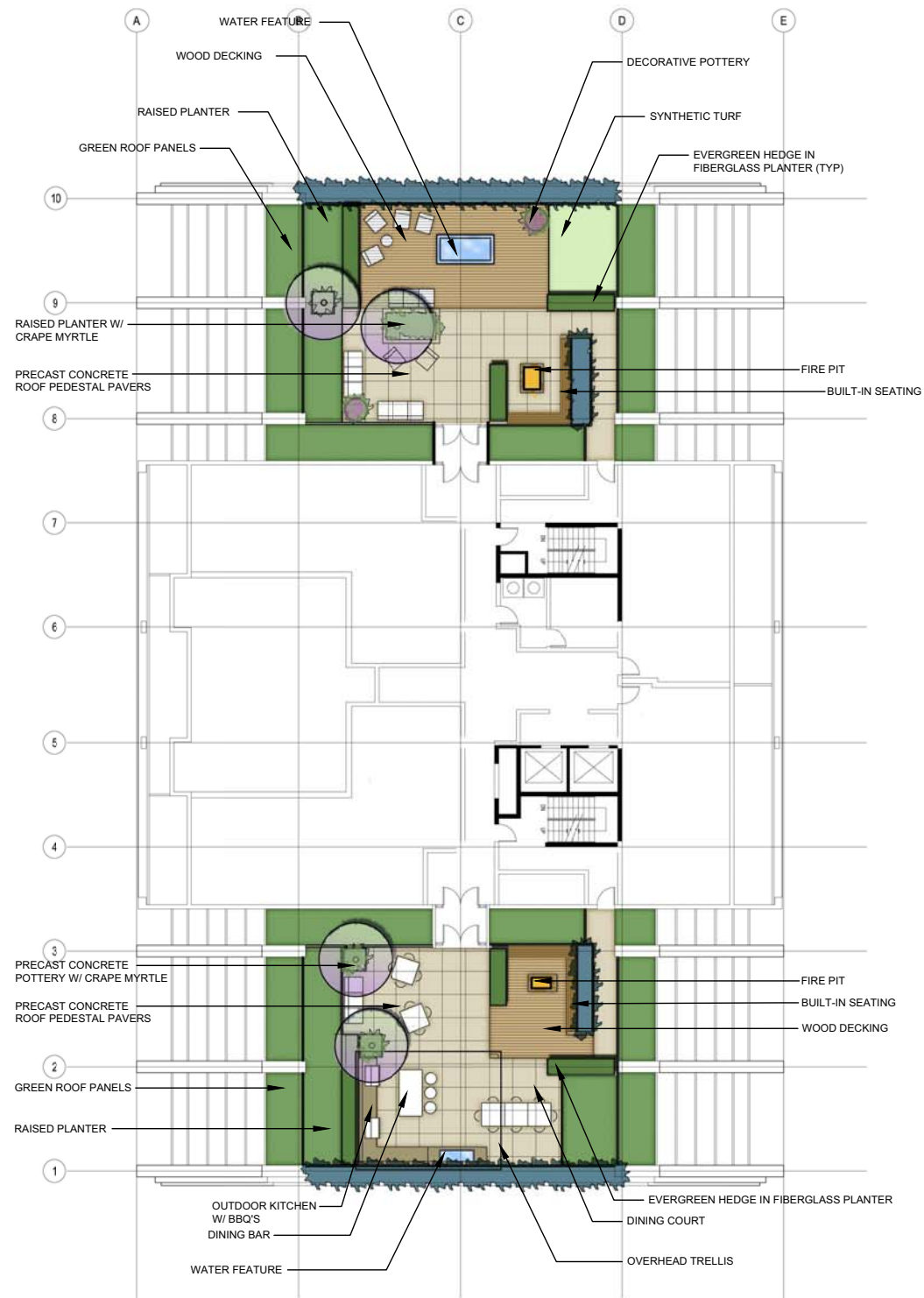
BASE FILE NAMES	
DRAWN BY	DL
CHECKED BY	CC
SCALE	
DATE	10/30/12
PROJECT NO.	

EXISTING AND PROPOSED VIEWS OF SOUTH PODIUM

A451

SHEET NO.





PROJECT

550 Pharr

550 PHARR RD,
ATLANTA, GA 30305

ARCHITECT

COE ARCHITECTURE INTERNATIONAL

5870 W. JEFFERSON BLVD, SUITE J
LOS ANGELES, CA 90016
213.458.6332 T

OWNER

**LYON REALTY ADVISORS, INC
D.B.A.
LYON COMMUNITIES
DEVELOPMENT**

4901 Birch Street
Newport Beach, CA 92660
Tel: 949.252.9101 Fax: 949.252.9202

CONSULTANT

DWANE BORDER DESIGN

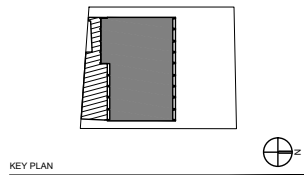
12524 Culver Boulevard | Suite 12
Los Angeles | CA | 90066
t: 310.701.8460
www.dwaneborder.com

ARCHITECT/ENGINEER SEAL

The drawings and specifications, ideas, designs, and arrangements are and shall remain the property of the architect. No part thereof shall be copied or used in connection with any work or project other than the specific project for which they have been prepared without the written consent of the architect. Visual contact with these drawings or specifications shall constitute evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

© COE Architecture International 2010



NO.	DATE	ISSUED FOR	BY
01	11/06/12	SPECIAL ADMINISTRATIVE PERMIT	

BASE FILE NAMES	
DRAWN BY	DB
CHECKED BY	DB
SCALE	3/32" = 1'-0"
DATE	NOVEMBER 5, 2012
PROJECT NO.	12.04.02

**ROOF DECK
LANDSCAPE
CONCEPT PLAN**

L- 1.02

SHEET NO.