

October 28, 2016

Mr. Karl Smith-David  
Principal Planner  
City of Atlanta Office of Planning  
55 Trinity Ave. SW, Suite 3350  
Atlanta, GA 30303

**RE: Variation Requests; AMLI Site B, Atlanta Georgia; SAP Application in SPI-12**

Dear Karl,

Due to several hardships related to the site's development, we are respectfully requesting an administrative variation for the following:

1. Supplemental Zone – Elevation and Grade: An administrative variation is requested to allow two (2) residential units along Oak Valley to have stoops in excess of 36" above finished sidewalk grade. **(Sec. 16-18L.010.1)**

**Comment:**

The existing topographical conditions along Oak Valley are severe; the grade change between the north and south sides of our site along this existing road are in excess of 96". Because of this, where we provide stoops between the sidewalk and the building, said stoops are greater than 36" tall.

2. Supplemental Zone – Cantilevered Portions of Buildings: An administrative variation is requested to reduce the required height for portions of buildings cantilevered over the supplemental zone to be reduced from 24' above finished supplemental zone grade to 16'-0". **(Sec. 16-18L.010.5)**

**Comment:**

We have raised a portion of the north end of the tower to provide additional exterior space for the use and enjoyment of the residents. As a result, the space between the sidewalk and building façade at grade has been defined as a supplemental zone. As a supplemental zone is not required, and the space is meant for the use and enjoyment of our residents, we have designed the space to support the intended function.

3. Relationship of Building to Street – Major Sidewalk-Level Building Facades – Major Sidewalk-Level Entrances: An administrative variance is requested to allow two (2) units along Oak Valley to not have direct access from a public sidewalk **(Sec. 16-18L.011.2.b.i)**

**Comment:**

The existing topographical conditions along Oak Valley are severe; the grade change between the north and south sides of our site along this existing road are in excess of 96". Because of this, at the

southern end of this road, we cannot provide a 48" wide access stoop and maintain necessary clearances.

4. Driveway curb cuts, driveways, parking facilities – Street Types: An administrative variance is requested to allow forty-eight feet (48') of curb cut along Wright Avenue, supplementing the allowed thirty-six feet (36'). **(Sec. 16-18L.014.2.b)**

**Comment:**

The future character along Oak Valley Road will be primarily residential and commercial due to this and other planned developments. Wright Avenue, however, is currently fronted by two open parking decks that are accessed from said road. To support the planned nature of Oak Valley, we are proposing to provide the secondary access to AMLI Site B's motor court and service court off of Wright Avenue, in keeping with its current function.

We believe the existing hardships of the site and its development justify these requested variations and feel they are in keeping with the overall goal of the SPI-12 guidelines. If you have any questions, please do not hesitate to contact me at your convenience.

Sincerely,

Fred Schreiber  
Senior Vice President  
AML Development Co., LLC

AMLI Site B  
Narrative Description of Work  
October 28, 2016

AMLI Site B is the newest phase of the AMLI CityPlace development located in Atlanta, Georgia. Bounded by Lakeview Drive, Wright Avenue, and Oak Valley Road, the 2.82 acre parcel is situated at the west end of the recently completed Sims Park. By extending the public space across its eastern façade and along its northern property line, Site B will create a linear park that establishes the fourth boundary line, and connects Oak Valley with Sims Park.

Including 391 residential units and 2,742sf of commercial space, AMLI Site B is poised to continue the high level of design, finishes, and amenities established by AMLI Buckhead and 3464. The tower component will have twenty four levels of Type II-A construction, and house the commercial and leasing spaces. The tower will also feature such residential amenities as a business center, fitness facility, rooftop clubroom and terrace, and private rooftop terrace for penthouse residents. The parking deck will be located along Wright Avenue, and be accessed from that road and an interior motor court. Providing parking for residents, guests, and the commercial space, the 675 space deck will be capped with an amenity deck housing an additional clubroom, grilling areas, and a resort-style swimming pool. The final element of AMLI Site B will be five stories of Type III-B construction, which will screen the parking deck from Oak Valley and the newly created linear park.

The applicant will ask for four variances in an accompanying variation request letter.

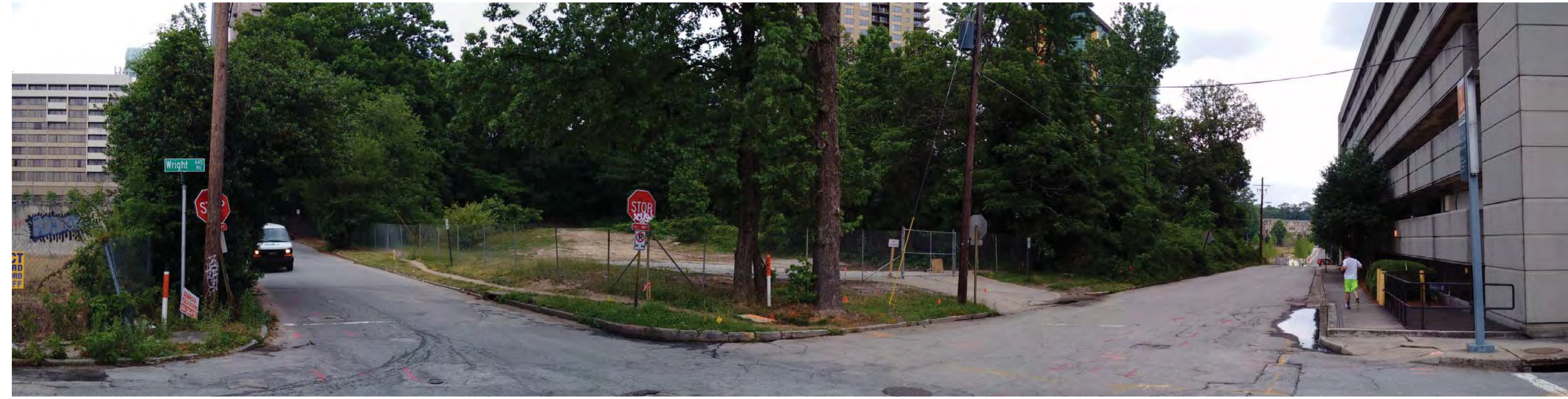




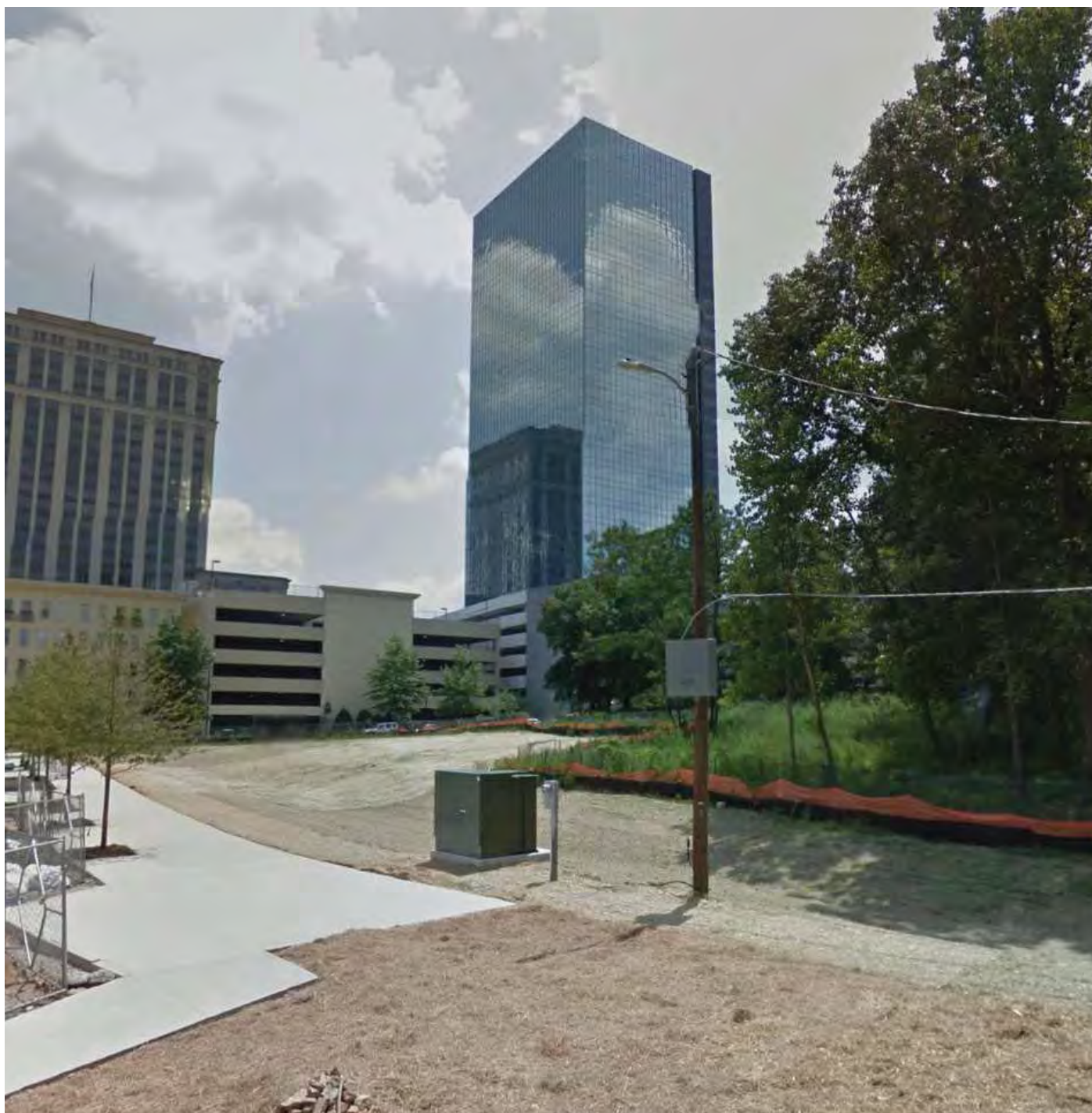
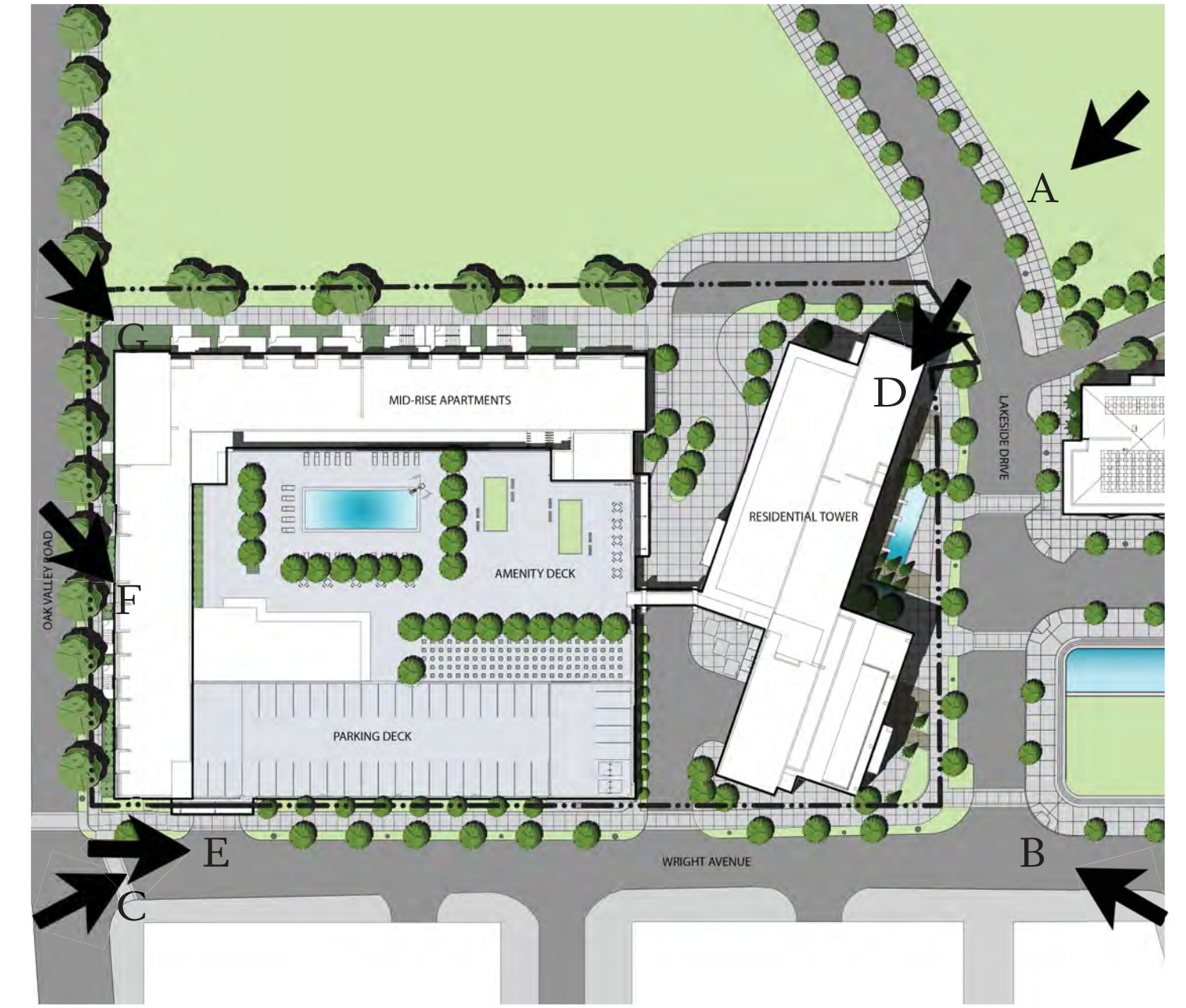
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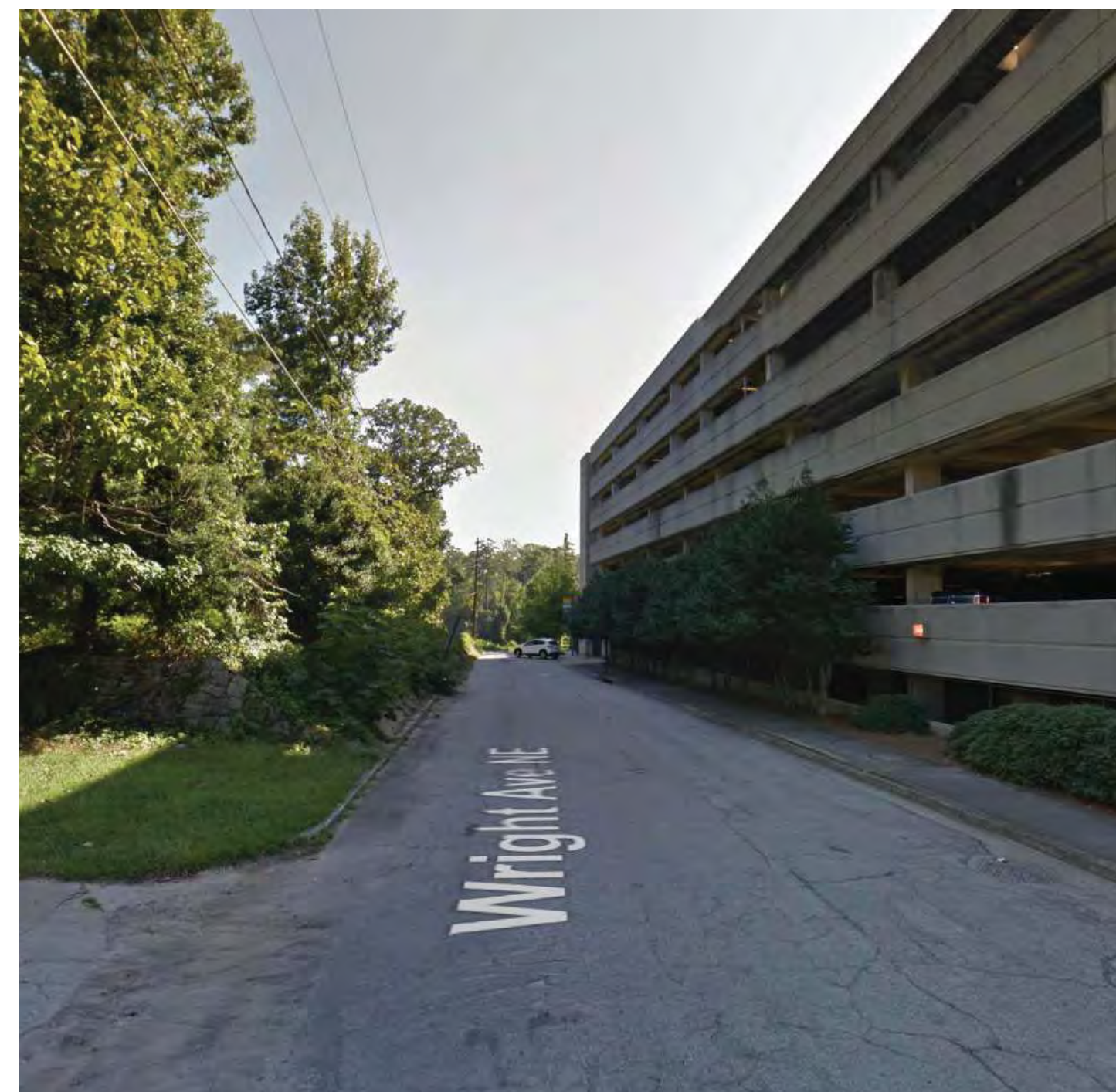
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C



D



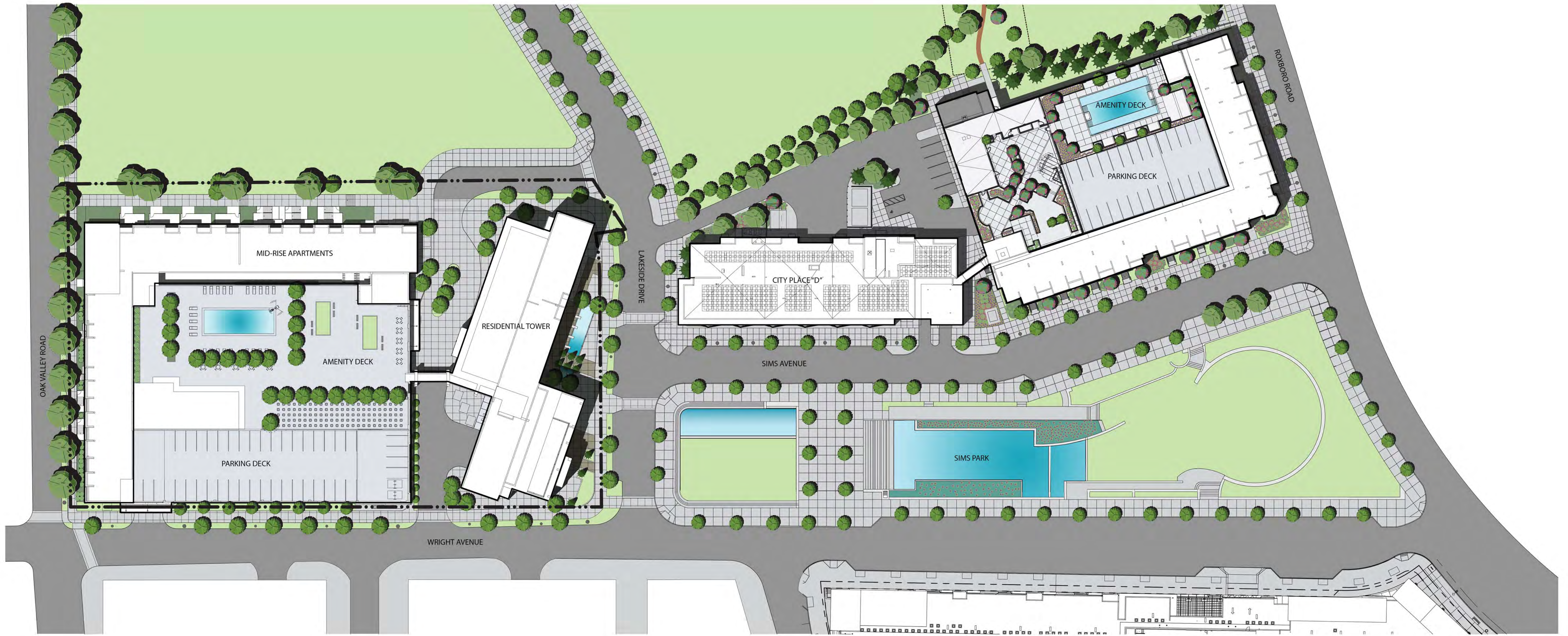
E



F



G





# SPI-12 SUMMARY



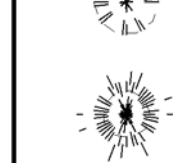
<b>SEC. 16-18L.003 - BOUNDARIES OF DISTRICT ESTABLISHED</b>
PROJECT IS LOCATED IN SPI-12 - SUBAREA 2 - BUCKHEAD HEIGHTS
<b>SEC. 16-18L.006 - PERMITTED PRINCIPAL USES AND STRUCTURES</b>
MULTI-FAMILY DWELLINGS AND COMMERCIAL/RETAIL ARE A PERMITTED RESIDENTIAL AND DWELLING USE PER TABLE 1: SPI-12 BUCKHEAD / LENOX STATIONS TABLE OF USES - SUBAREA 2
<b>SEC. 16-18L.007 - DEVELOPMENT CONTROLS AND BUILDING HEIGHTS</b>
16-18L.007.1: THE SITE HAS NO MAXIMUM TOTAL FAR PER TABLE 2: SPI-12 BUCKHEAD / LENOX STATIONS DEVELOPMENT CONTROLS TABLE
THE SITE HAS NO REQUIRED FRONT YARD MINIMUM PER TABLE 2: SPI-12 BUCKHEAD / LENOX STATIONS DEVELOPMENT CONTROLS TABLE, BUT MUST MEET ALL SIDEWALK AND SUPPLEMENTAL ZONE REQUIREMENTS
THE SITE HAS NO MINIMUM SIDE AND REAR YARD REQUIREMENTS PER TABLE 2: SPI-12 BUCKHEAD / LENOX STATIONS DEVELOPMENT CONTROLS TABLE
16-18L.007.2: NO MINIMUM HEIGHT REQUIRED PER TABLE 3A: SPI-12 BUCKHEAD / LENOX STATIONS BUILDING HEIGHT TABLE - MINIMUM FACADE
16-18L.007.3: BASELINE HEIGHT OF 225' PERMITTED TRANSIT STATION HEIGHT BONUS = 100' TOTAL ALLOWABLE HEIGHT = 325' (225' + 100') - 274'-7" PROVIDED
16-18L.007.5: SEE NORTH AND SOUTH ELEVATIONS FOR COMPLIANCE
<b>SEC. 16-18L.008 - OPEN SPACE REQUIREMENTS</b>
16-18L.008.1: 25% OPEN SPACE REQUIRED PER TABLE 4: SPI-12 BUCKHEAD / LENOX STATIONS OPEN SPACE TABLE
SITE AREA: 122,893 SF OPEN SPACE REQUIRED: 30,723 SF OPEN SPACE PROVIDED: 52,275 SF
16-18L.008.4: 500 SF PET WALK AREA PROVIDED WITHIN 1,000'
<b>SEC. 16-18L.009 - SIDEWALKS</b>
16-18L.009.1: 5' AMENITY ZONE PROVIDED PER TABLE 5: SPI-12 BUCKHEAD / LENOX STATIONS SIDEWALK TABLE
16-18L.009.2: 10' WALK ZONE PROVIDED PER TABLE 5: SPI-12 BUCKHEAD / LENOX STATIONS SIDEWALK TABLE
16-18L.009.4: STREET TREES PROVIDED AT 30' ON CENTER PER TABLE 5: SPI-12 BUCKHEAD / LENOX STATIONS SIDEWALK TABLE
16-18L.009.5: STREETLIGHTS PROVIDED AT 60' ON CENTER PER TABLE 5: SPI-12 BUCKHEAD / LENOX STATIONS SIDEWALK TABLE
<b>SEC. 16-18L.010 - SUPPLEMENTAL ZONE</b>
16-18L.010: SUPPLEMENTAL ZONE REQUIREMENTS PER TABLE 6: SPI-12 BUCKHEAD / LENOX SUPPLEMENTAL ZONE TABLE - 0'-10' REQUIRED, 0'-10' PROVIDED
16-18L.010.3.a: STREET LEVEL RESIDENTIAL UNITS HAVE A TERRACE SPACE PROJECTING BEYOND THE BUILDING CONNECTED TO THE PUBLIC WAY BY A 5'-0" SIDEWALK.
16-18L.010.3.c: 25% OF SUPPLEMENTAL ZONE ALONG ROXBORO ROAD AND PARK DRIVE 'A' IS LANDSCAPED.
16-18L.010.4: ALL TERRACE FENCES AND WALLS PER THIS SECTION WHERE ALLOWABLE BY TOPOGRAPHY
<b>SEC. 16-18L.011 - RELATIONSHIP OF BUILDING TO STREET</b>
16-18L.011.1.b: MAJOR SIDEWALK LEVEL FACADE IS LAKEVIEW (AS SELECTED BY APPLICANT - ALL STREETS ARE LOCAL)
16-18L.011.1.d: RESIDENTIAL PROVIDED AS ACTIVE USE AS DESIGNATED IN TABLE 1: SPI-12 BUCKHEAD / LENOX STATIONS USE TABLE
16-18L.011.2.a: SEE LAKEVIEW ELEVATION
16-18L.011.2.b: RESIDENT ENTRY PROVIDED - SEE PLAN
16-18L.011.2.c: SEE LAKEVIEW ELEVATION
16-18L.011.3.a: WRIGHT AVENUE, OAK VALLEY ROAD, AND NEW PEDESTRIAN WALKWAY PER THIS SECTION
16-18L.011.4-10: SEE PLANS AND ELEVATIONS
<b>SEC. 16-18L.012 - DUMPSTERS, LOADING, LOADING AREAS AND ENTRANCES, MECHANICAL AND ACCESSORY FEATURES, AND FENCES AND WALLS</b>
16-18L.012.1: 3 LOADING SPACES PROVIDED PER TABLE 8: SPI-12 BUCKHEAD / LENOX STATIONS LOADING TABLE
16-18L.012.2.4: SEE PLANS AND ELEVATIONS
<b>SEC. 16-18L.013 - SIGNS</b>
16-18L.013: SIGNS PER SPI-12 REGULATIONS
<b>SEC. 16-18L.014 - DRIVEWAY CURB CUTS, DRIVEWAYS, PARKING FACILITIES</b>
16-18L.014.1: SEE PLAN FOR CURB CUT LOCATIONS AND ORIENTATION
16-18L.014.2.b: 3 CURB CUTS PROVIDED PER TABLE 8: SPI-12 BUCKHEAD / LENOX STATIONS LOADING TABLE
16-18L.014.3: SEE PLAN FOR CURB CUT - SIDEWALK INFORMATION
<b>SEC. 16-18L.015 - CONNECTIVITY AND BLOCK STANDARDS</b>
16-18L.015: CONNECTIVITY AND BLOCK STANDARDS PER SAP-XX-XXX, APPROVED XX/201X
<b>SEC. 16-18L.016 - OFF-STREET PARKING REQUIREMENTS</b>
16-18L.016.2: MINIMUM PARKING - 0 SPACES ALLOWED PER THIS SECTION
16-18L.016.2: MAXIMUM PARKING - 924 RESIDENTIAL SPACES AND 13 RETAIL/COMMERCIAL SPACES ALLOWED PER TABLE 9: SPI-12 BUCKHEAD / LENOX STATIONS PARKING TABLE (391 UNITS PROVIDED) (662 RESIDENTIAL PARKING SPACES PROVIDED) (2,476 SF RETAIL PROVIDED) (13 RETAIL/COMMERCIAL PARKING SPACES PROVIDED)
675 OFF-STREET SPACES PROVIDED
<b>SEC. 16-18L.017 - MINIMUM BICYCLE PARKING</b>
16-18L.017: A MINIMUM OF 79 BICYCLE PARKING SPACES PROVIDED PER TABLE 10: SPI-12 BUCKHEAD / LENOX STATIONS BICYCLE PARKING TABLE - SEE PLAN FOR LOCATION
<b>SEC. 16-18L.018 - TRANSPORTATION MANAGEMENT PLANS</b>
16-18L.018: TRANSPORTATION MANAGEMENT PLAN TO BE PROVIDED PRIOR TO BUILDING CO PER THIS SECTION
<b>SEC. 16-18L.019 - ROOFS, BRIDGES, AND TUNNELS</b>
16-18L.019.1: ROOF SURFACE TO BE PROVIDED PER THIS SECTION

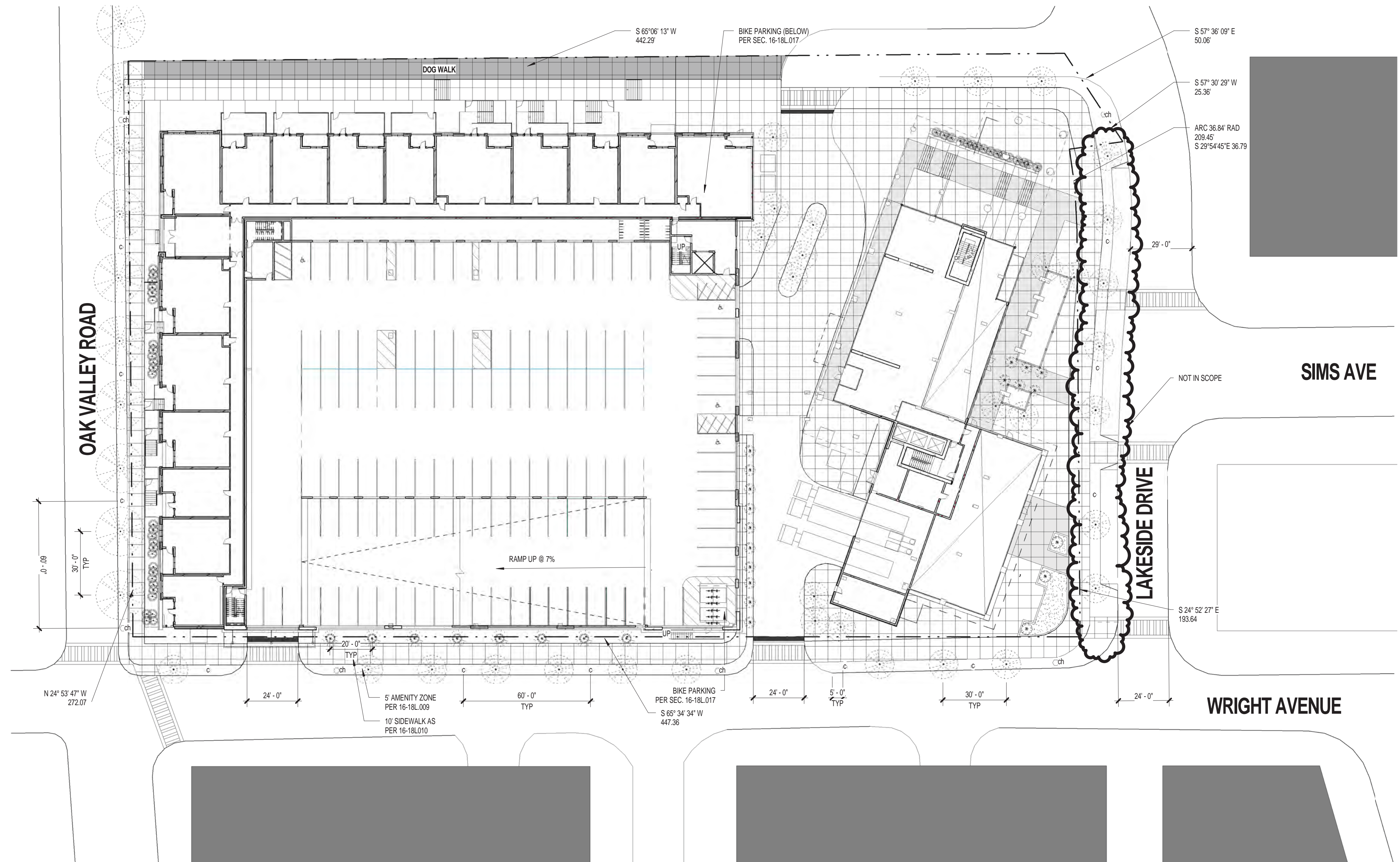
## SITE PLAN SYMBOL LEGEND

### STREET LIGHT TYPES

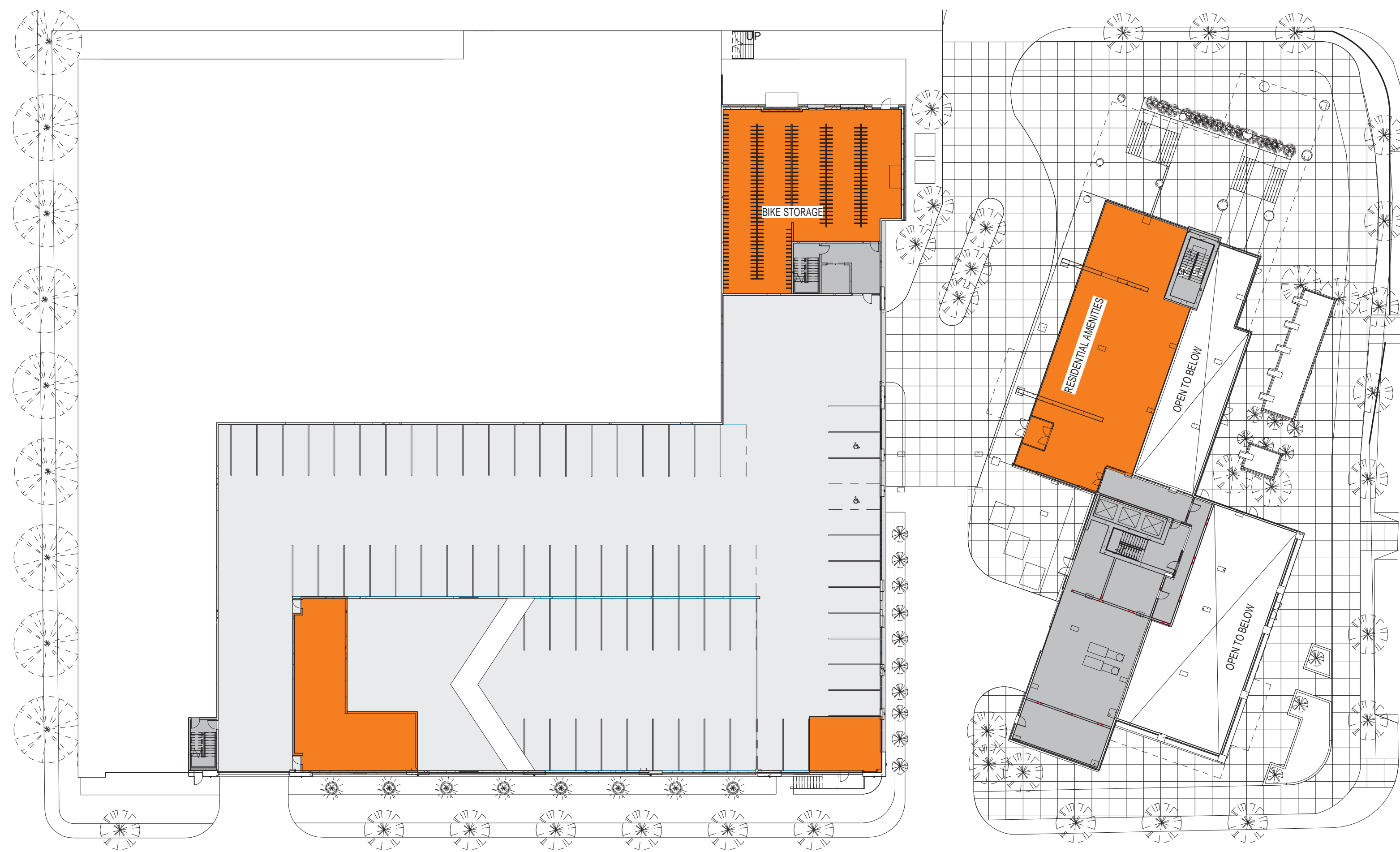
-  ch COBRA HEAD STREET LIGHTS
-  C ATLANTA LIGHT STREET LIGHTS

### TREE TYPES

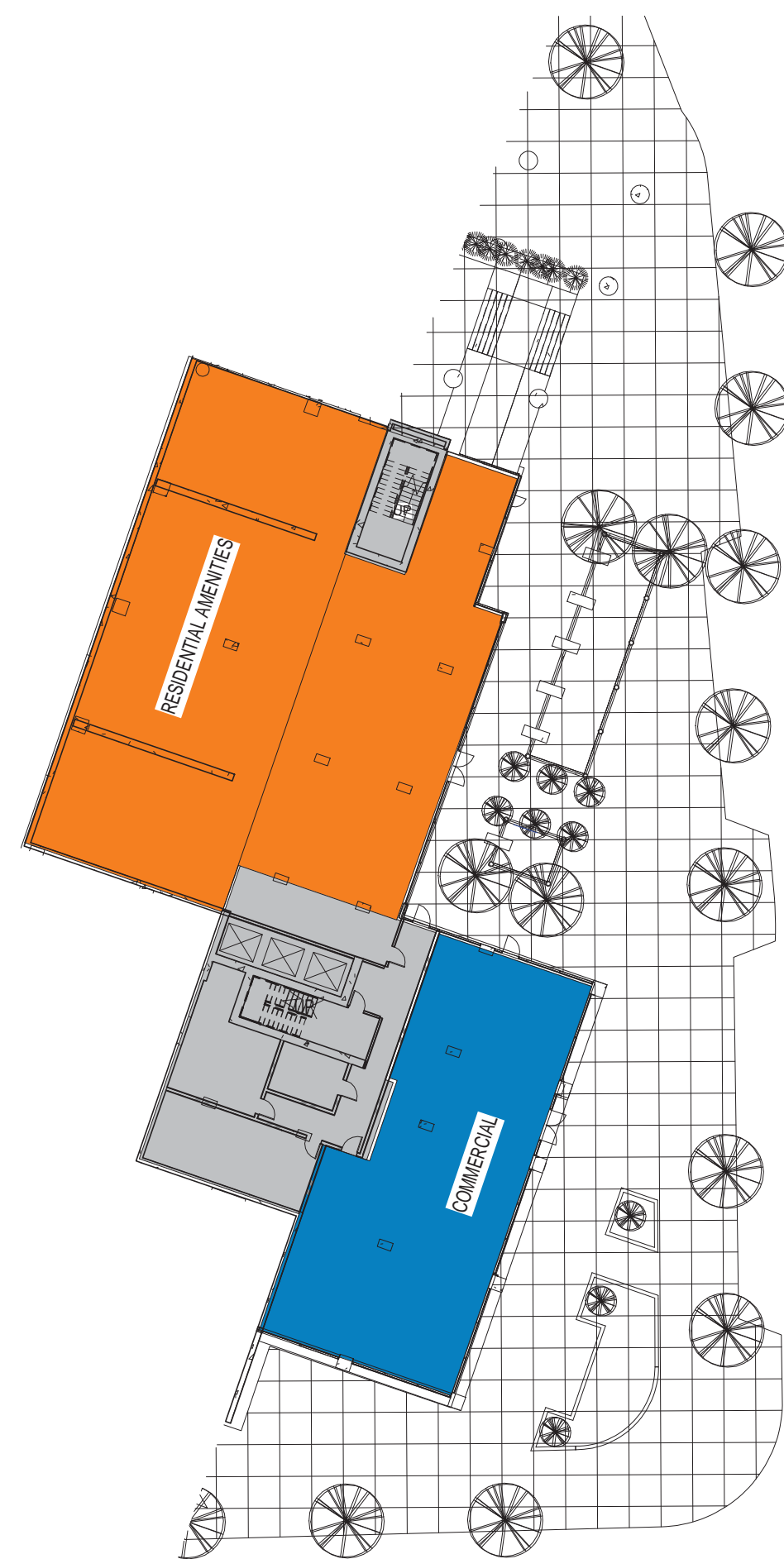
-  OAK TREES
-  EXISTING STREET TREE TYPE
-  EVERGREEN



**1** LEVEL 1 FLOOR PLAN OVERALL  
PG02.11 SCALE: 1" = 30'-0"



2 LEVEL 2 TOWER  
PG02.41 SCALE: 1" = 30'-0"

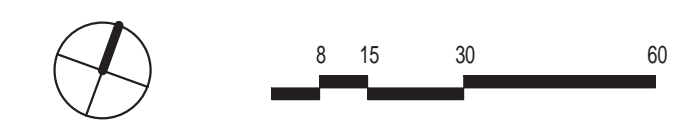


1 LEVEL 1 TOWER  
PG02.41 SCALE: 1" = 30'-0"

PLAN KEY	
	RESIDENTIAL
	RESIDENTIAL TERRACE
	AMENITY / LOBBY
	AMENITY TERRACE
	CORRIDOR / SERVICE
	PARKING
	COMMERCIAL

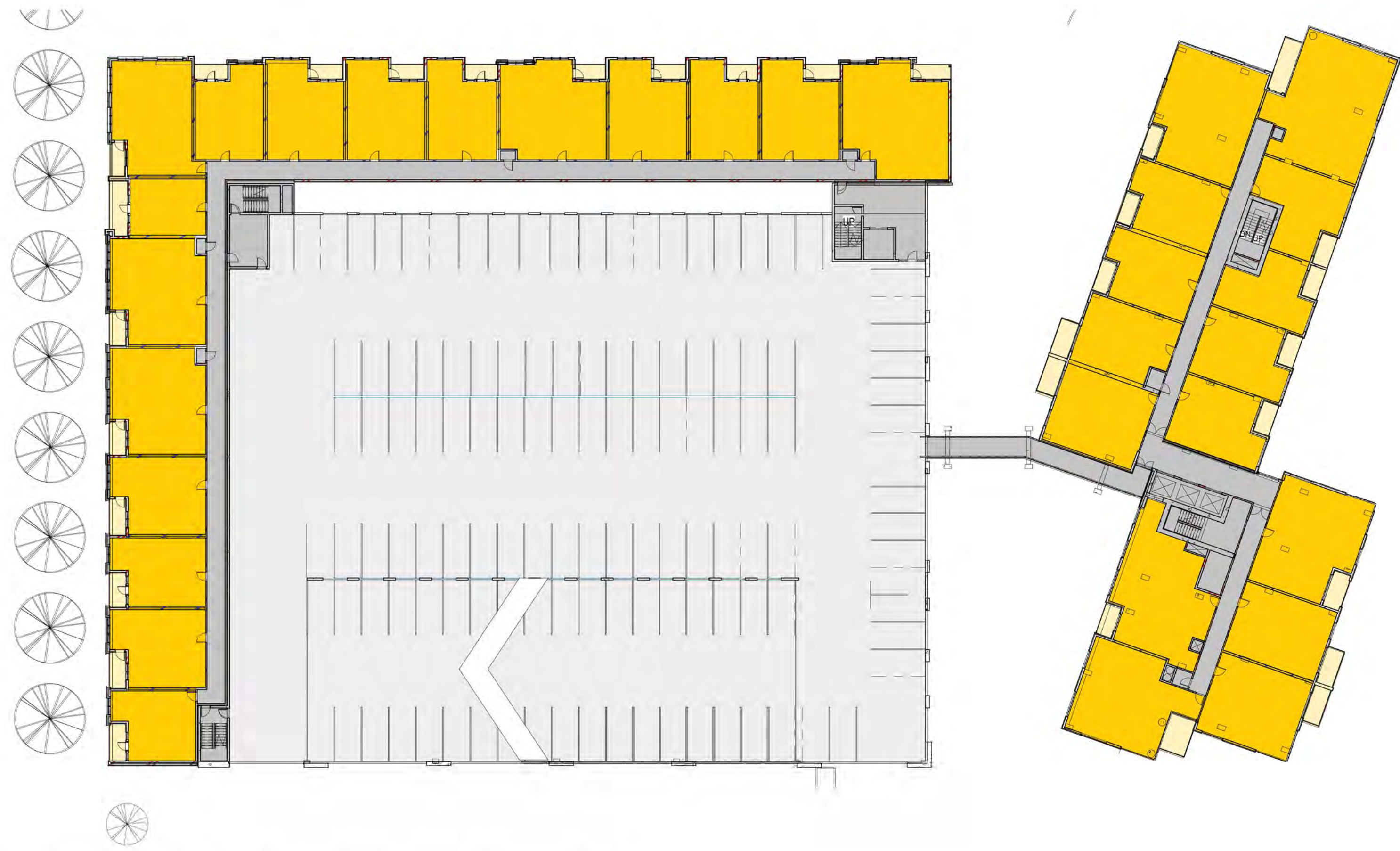
BLOCK B - LEVEL 2 TOWER	
BUILDING AREA:	7,400 GSF THIS LEVEL
CORRIDOR / SERVICE:	4,430 SF
PARKING:	30,379 SF
AMENITY:	3,532 SF
BIKE STORAGE:	3,245 SF

BLOCK B - LEVEL 1 TOWER	
BUILDING AREA:	11,424 GSF THIS LEVEL
CORRIDOR / SERVICE:	2,218 SF
COMMERCIAL:	2,261 SF
AMENITY:	6,146 SF



LEVEL 1 TOWER, LEVEL 2 TOWER





PLAN KEY	
<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	RESIDENTIAL
<span style="display:inline-block; width:15px; height:10px; background-color:lightyellow;"></span>	RESIDENTIAL TERRACE
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	AMENITY / LOBBY
<span style="display:inline-block; width:15px; height:10px; background-color:lightorange;"></span>	AMENITY TERRACE
<span style="display:inline-block; width:15px; height:10px; background-color:grey;"></span>	CORRIDOR / SERVICE
<span style="display:inline-block; width:15px; height:10px; background-color:lightgrey;"></span>	PARKING
<span style="display:inline-block; width:15px; height:10px; background-color:blue;"></span>	COMMERCIAL

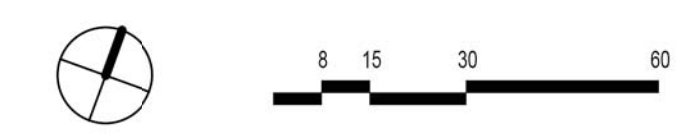
BLOCK B - LEVEL 4	
BUILDING AREA:	32,214 GSF THIS LEVEL
UNITS:	32
RESIDENTIAL AREA:	27,858 SF
CORRIDOR / SERVICE:	7,320 SF
PARKING:	41,168 SF
TERRACE AREA:	2,381 SF

BLOCK B - LEVEL 3	
BUILDING AREA:	27,301 GSF THIS LEVEL
UNITS:	26
RESIDENTIAL AREA:	22,808 SF
CORRIDOR / SERVICE:	7,320 SF
PARKING:	41,198 SF
TERRACE AREA:	2,501 SF








**2** LEVEL 4 TOWER / TYPICAL PARKING DECK/ TYPICAL MID-RISE  
 PG02.42 SCALE: 1" = 30'-0"



**1** LEVEL 3 TOWER / TYPICAL PARKING DECK/ LEVEL 1 MID-RISE  
 PG02.42 SCALE: 1" = 30'-0"



**PLAN KEY**

	RESIDENTIAL
	RESIDENTIAL TERRACE
	AMENITY / LOBBY
	AMENITY TERRACE
	CORRIDOR / SERVICE
	PARKING
	COMMERCIAL

**BLOCK B - AMENITY LEVEL**

BUILDING AREA:	18,646 GSF THIS LEVEL
CORRIDOR / SERVICE:	1,648SF
PARKING:	14,258 SF
AMENITY:	23,452 SF

**BLOCK B - LEVEL 23**

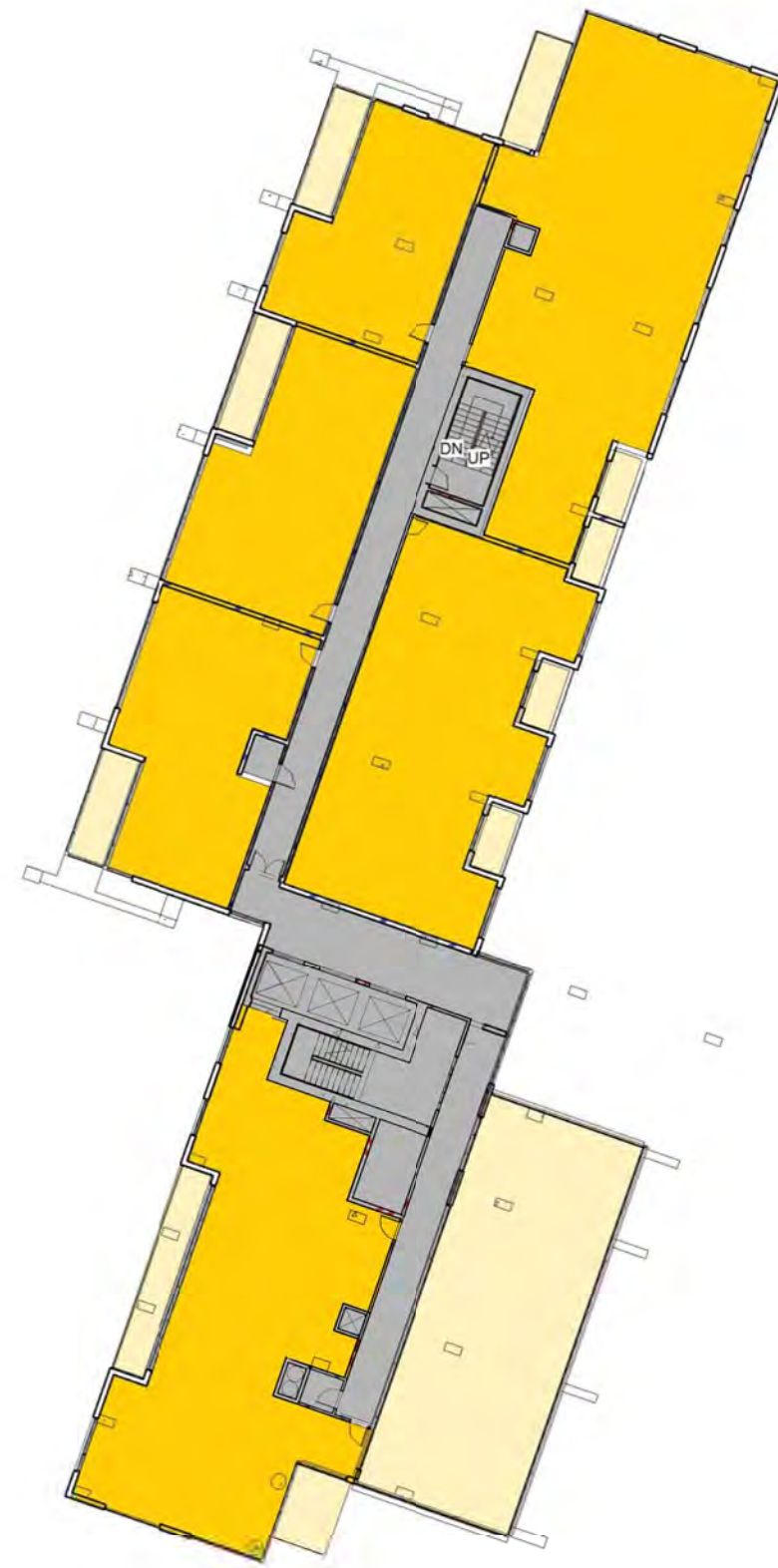
BUILDING AREA:	13,610 GSF THIS LEVEL
UNITS:	6
RESIDENTIAL AREA:	10,270 SF
CORRIDOR / SERVICE:	2,747.97 SF
TERRACE AREA:	1,937 SF
AMENITY TERRACE:	1,187 SF
AMENITY:	1,571 SF

**BLOCK B - LEVEL 24**

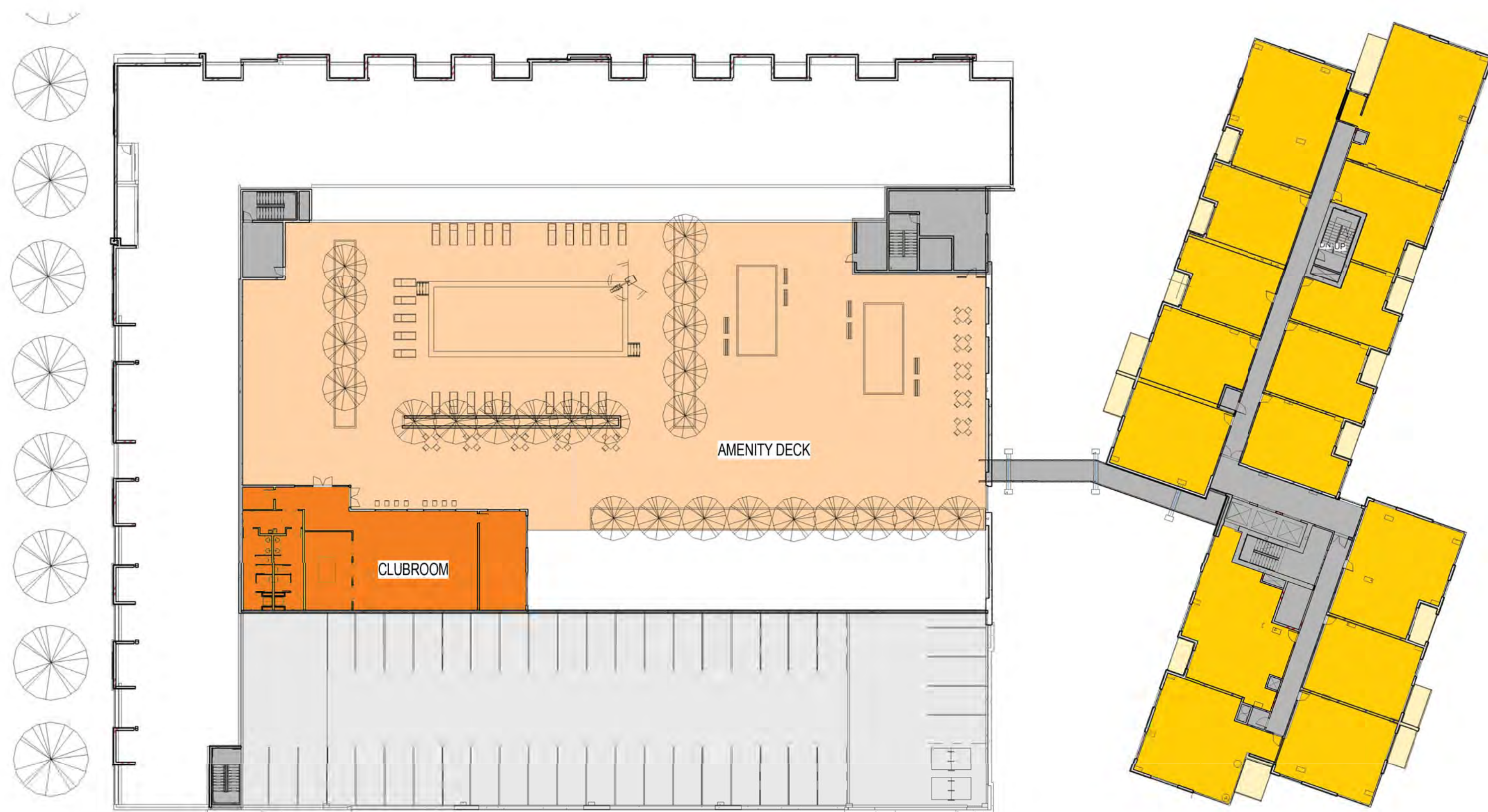
BUILDING AREA:	11,636 GSF THIS LEVEL
UNITS:	6
RESIDENTIAL AREA:	10,018 SF
CORRIDOR / SERVICE:	2,677 SF
TERRACE AREA:	927 SF
AMENITY TERRACE:	1,673 SF



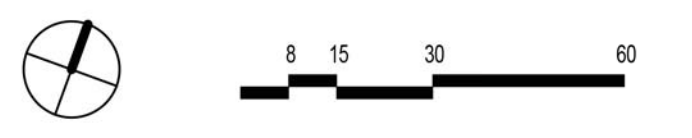
**2** LEVEL 23  
PG02.43 SCALE: 1" = 30'-0"



**3** LEVEL 24  
PG02.43 SCALE: 1" = 30'-0"



**1** AMENITY LEVEL  
PG02.43 SCALE: 1" = 30'-0"



AMENITY LEVEL / LEVEL 23-24 TOWER

MID-RISE APARTMENTS  
84 UNITS

TOWER APARTMENTS  
307 UNITS

PARKING DECK  
675 SPACES

OAK VALLEY ROAD NE

LAKESIDE DRIVE NE

WRIGHT AVENUE NE







EIFS WALL SYSTEM

BRICK VENEER WALL SYSTEM

PUNCHED WINDOW OPENING

9'-5"

68'-7 1/2"

67'-2 1/4"

EIFS WALL SYSTEM

BRICK VENEER WALL SYSTEM

PUNCHED WINDOW OPENING

2'-0"

67'-10 1/4"

70'-10"

MID-RISE - WEST ELEVATION

GLASS RAIL SYSTEM  
 PICKET RAIL SYSTEM  
 WINDOW WALL SYSTEM  
 PICKET RAIL SYSTEM  
 EIFS WALL SYSTEM  
 WINDOW WALL SYSTEM  
 EIFS WALL SYSTEM  
 RUBBED CONCRETE COLUMN



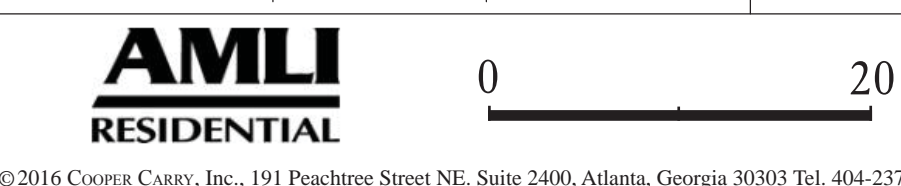
WINDOW WALL SYSTEM  
 PICKET RAIL SYSTEM  
 EIFS WALL SYSTEM

EIFS WALL SYSTEM  
 BRICK VENEER SYSTEM  
 PUNCHED WINDOW OPENING

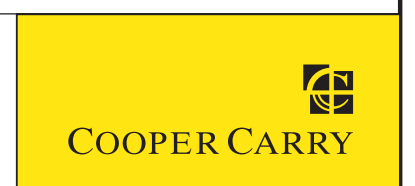
68' - 7 1/2"

NORTH ELEVATION

PROJECT # 20160099 | 11.02.2016



AML SITE B  
 ATLANTA, Georgia

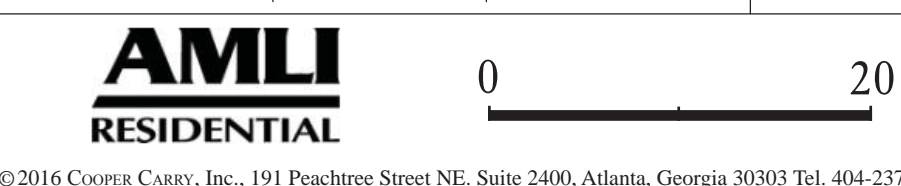


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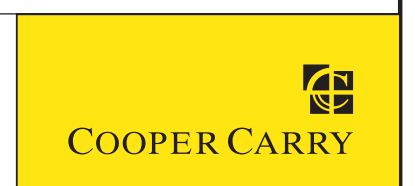
TOWER - EAST ELEVATION

PROJECT # 20160099 | 11.02.2016



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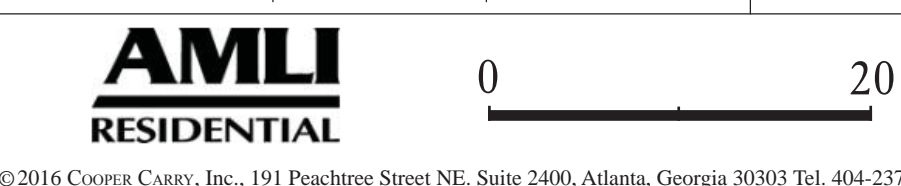
AML SITE B  
ATLANTA, Georgia





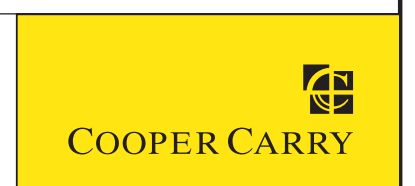
TOWER - WEST ELEVATION

PROJECT # 20160099 | 11.02.2016

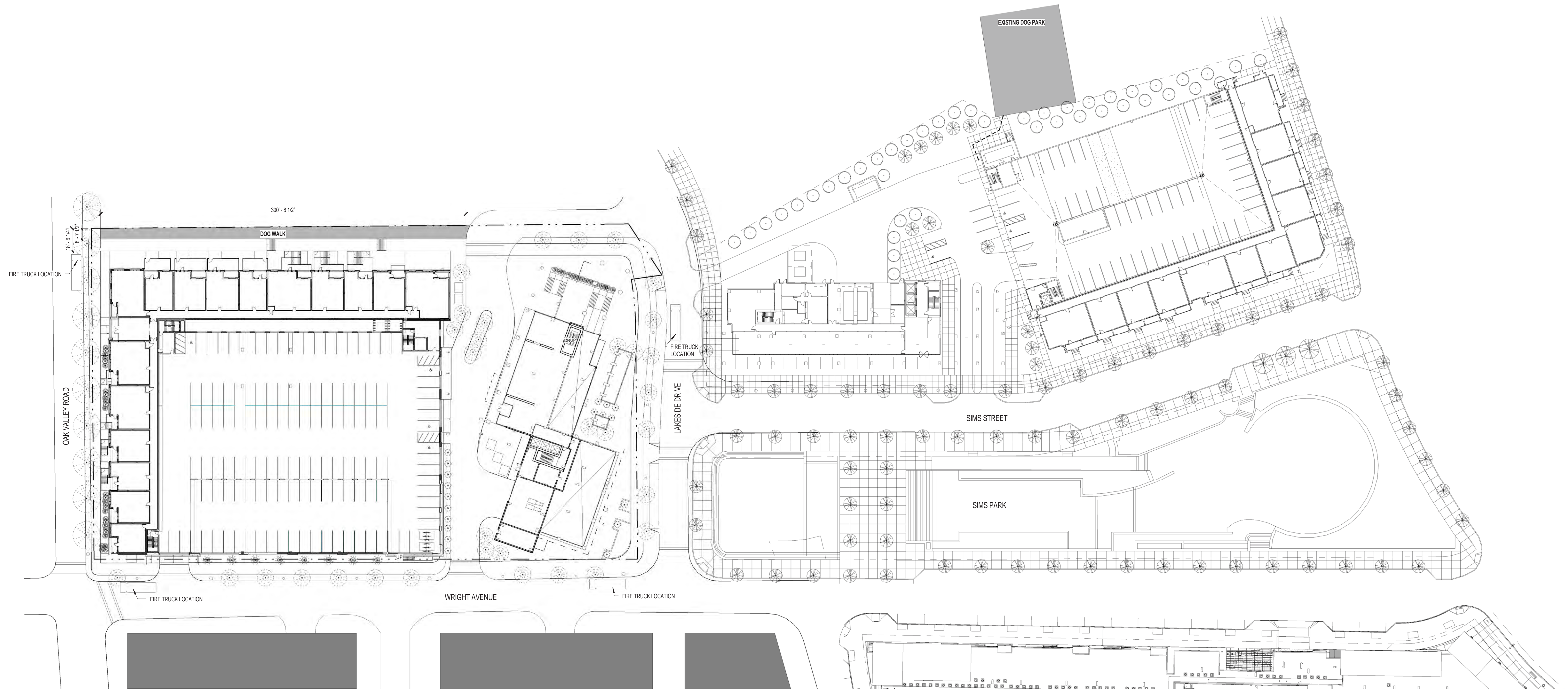


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AML SITE B  
ATLANTA, Georgia







1 SITE FIRE TRUCK LOCATION AND DOG PARK LOCATION  
 PG02.38 SCALE: 1" = 40'-0"



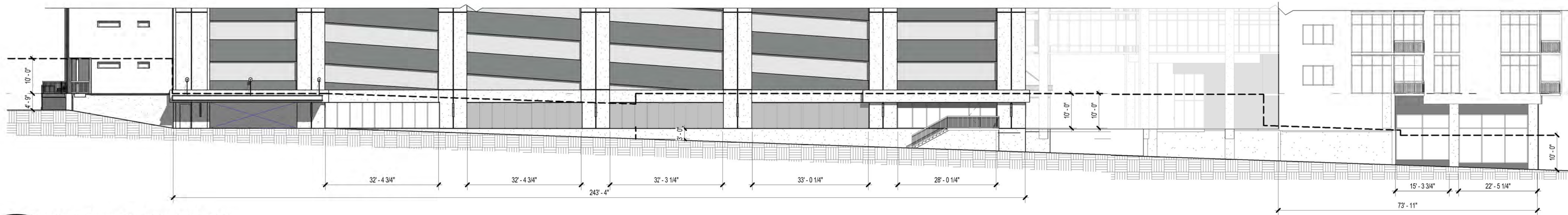
FIRE TRUCK AND DOG PARK LOCATIONS



4 NORTH ELEVATION - TOWER - FENESTRATION  
PG02.37 SCALE: 1/16" = 1'-0"



3 OAK VALLEY ROAD FENESTRATION  
PG02.37 SCALE: 1/16" = 1'-0"



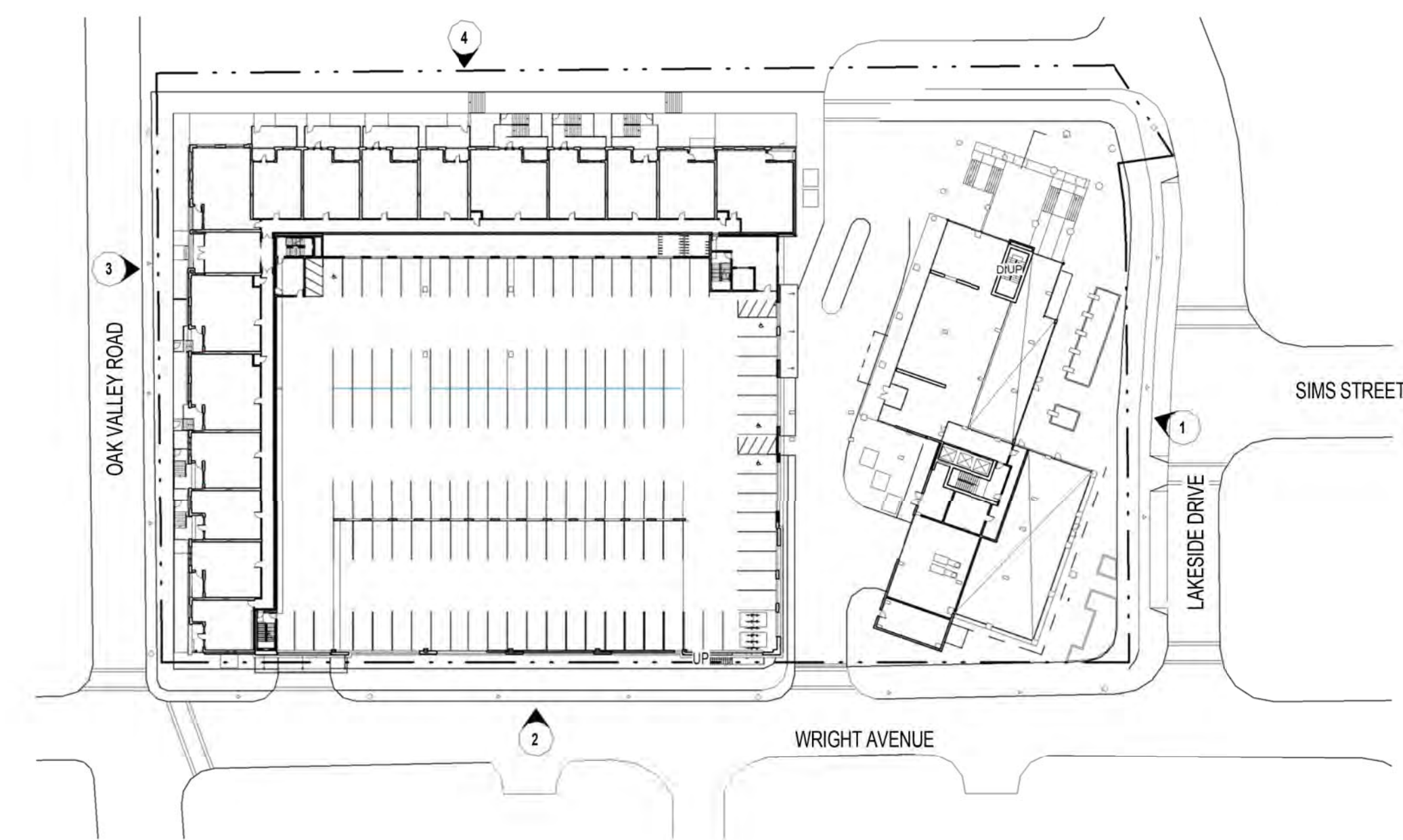
2 WRIGHT AVENUE FENESTRATION  
PG02.37 SCALE: 1/16" = 1'-0"



1 LAKESIDE DRIVE FENESTRATION  
PG02.37 SCALE: 1/16" = 1'-0"

LOW RISE FENESTRATION			
STREET	BLDG LENGTH (L)	REQUIRED FENESTRATION	PROVIDED FENESTRATION
LAKESIDE DRIVE	N/A	(L X 0.5) N/A	N/A
WRIGHT AVENUE (PARKING)	272.75FT	(L X 0.25) = 68.25FT	130.1FT
(GLAZING)	272.75FT	(68.25 X 0.5) = 34.125FT	60.5 FT
OAK VALLEY	233FT	(L X 0.5) = 117FT	139.5FT
NORTH ELEVATION	280.25FT	(L X 0.25) = 70FT	156.3FT

TOWER FENESTRATION			
STREET	BLDG LENGTH (L)	REQUIRED FENESTRATION = (L X 0.25)	PROVIDED FENESTRATION
LAKESIDE DRIVE	188.9FT	(L X 0.5) = 94.45FT	154.8FT
WRIGHT AVENUE	112.75FT	(L X 0.25) = 28.1FT	31.6FT
OAK VALLEY	N/A	N/A	N/A
NORTH ELEVATION	103.89FT	(L X 0.25) = 25.9FT	90.0FT



8 FENESTRATION KEY PLAN  
PG02.37 SCALE: 1" = 60'-0"



VIEW FROM NORTH WEST

PROJECT # 20160099 | 11.02.2016



VIEW FROM NORTH